

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

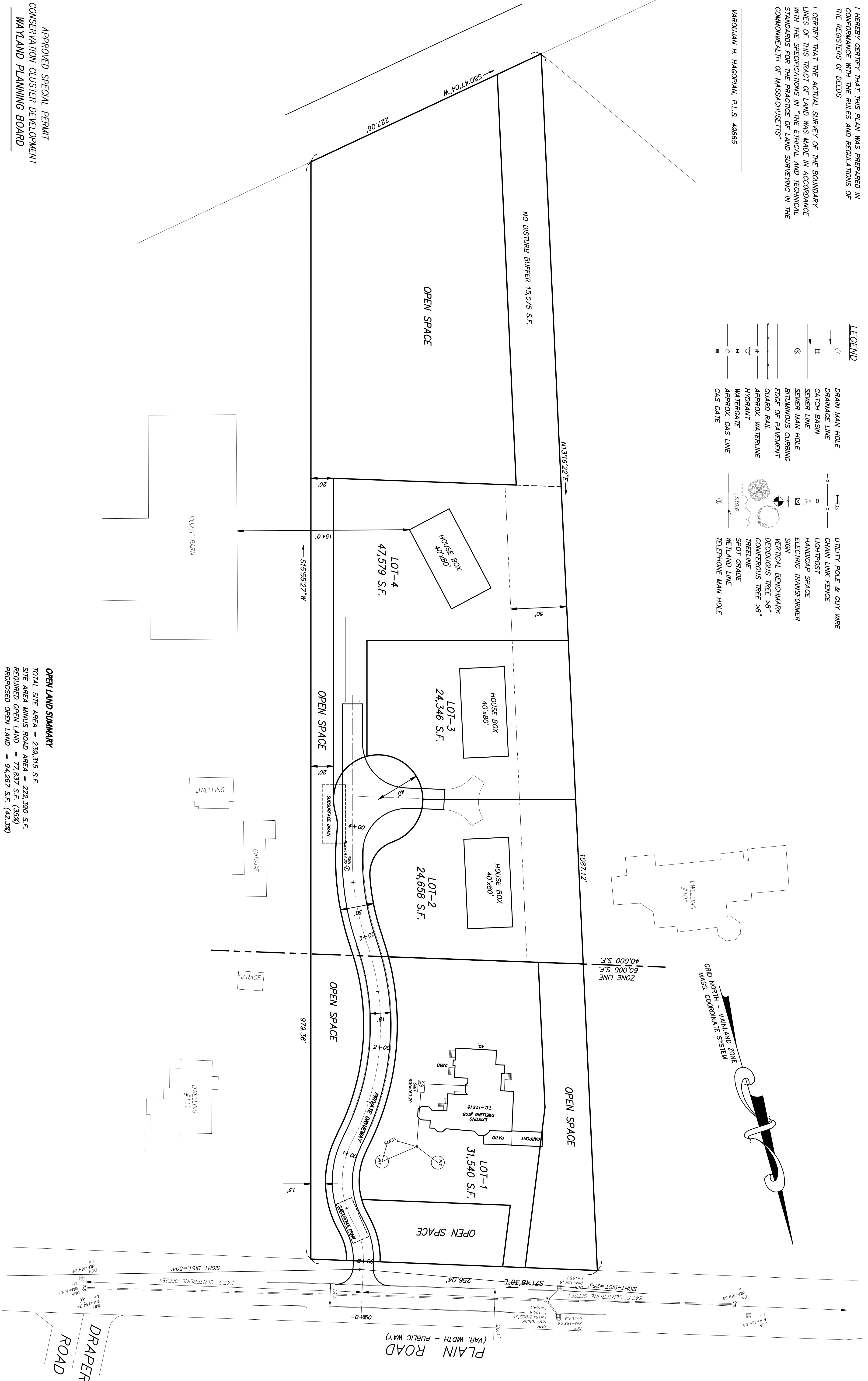
I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY LINES OF THIS TRACT OF LAND WAS MADE IN ACCORDANCE WITH THE SPECIFICATIONS IN "THE ETHICAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS"

VAROLIAN H. HAGOPIAN, P.L.S. 49665

LEGEND

- DRAIN MAN HOLE
- DRAINAGE LINE
- CATCH BASIN
- SEWER LINE
- SEWER MAN HOLE
- BITUMINOUS CURBING
- EDGE OF PAVEMENT
- GUARD RAIL
- APPROX. WATERLINE
- HYDRANT
- WATERGATE
- APPROX. GAS LINE
- GAS GATE
- UTILITY POLE & GUY WIRE
- CHAIN LINK FENCE
- HANDICAP SPACE
- ELECTRIC TRANSFORMER
- SIGN
- VERTICAL BENCHMARK
- DECIDUOUS TREE >8"
- CONIFEROUS TREE >8"
- TREE LINE
- SPOT GRADE
- WETLAND LINE
- TELEPHONE MAN HOLE

GRID NORTH - MAINLAND ZONE
MASS. COORDINATE SYSTEM



OPEN LAND SUMMARY

TOTAL SITE AREA = 239,375 S.F.
SITE AREA MINUS ROAD AREA = 222,390 S.F.
REQUIRED OPEN LAND = 77,857 S.F. (35%)
PROPOSED OPEN LAND = 94,267 S.F. (42.3%)

TOTAL BUILDING LOT AREA, LOTS 1-4 = 128,123 S.F.
BUILDING LOT AREA IN R-40 DIST. = 96,583 S.F. (75.3%)

APPROVED SPECIAL PERMIT
CONSERVATION CLUSTER DEVELOPMENT
WAYLAND PLANNING BOARD

SULLIVAN CONNORS & ASSOCIATES INC. DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES. THAT THE SURVEYOR HAS BEEN ADVISED BY THE CONTRACTOR OF THE LOCATION OF ANY UTILITIES, THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND ELEVATION OF UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DRAWINGS OR FIELD NOTES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT THE TOWN DPW AND DIG SAFE (1-888-344-7235) FOR UTILITY LOCATIONS 72 HOURS BEFORE EXCAVATION.

DATE: _____

GENERAL NOTES:

- THIS PLAN IS BASED ON ALL ON-GROUND SURVEYS BY SULLIVAN CONNORS & ASSOCIATES PERFORMED ON FEBRUARY 2020.
- LEGAL STATUS OF EASEMENTS AND WAIVS, NOT DETERMINED BY THIS SURVEY.
- NO WETLANDS LOCATED ON-SITE.

ZONED: SINGLE RESIDENCE
CONSERVATION CLUSTER
AREA = 20,000 sq'
FRONTAGE = 50 feet
SETBACKS:
30' BETWEEN BUILDINGS
50' TO PERMETER
15' TO OPEN LAND
NO LOT SHALL BE FURTHER DIVIDED SO AS TO CREATE ADDITIONAL LOTS.

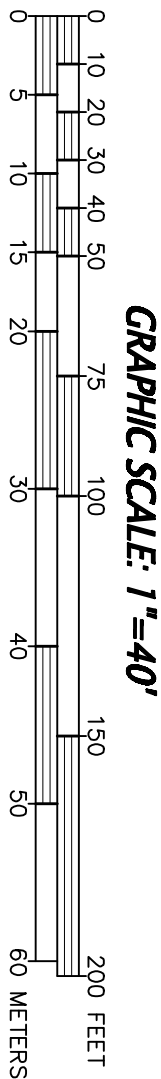
OWNERS:

TAMPOSI BROTHERS I, LLC
37 REVERE STREET, NO. 8
BOSTON, MA 02114

SULLIVAN, CONNORS
AND ASSOCIATES
























LAND SURVEYING AND CIVIL ENGINEERING
121 BOSTON POST ROAD
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566 FAX: 978-443-8915

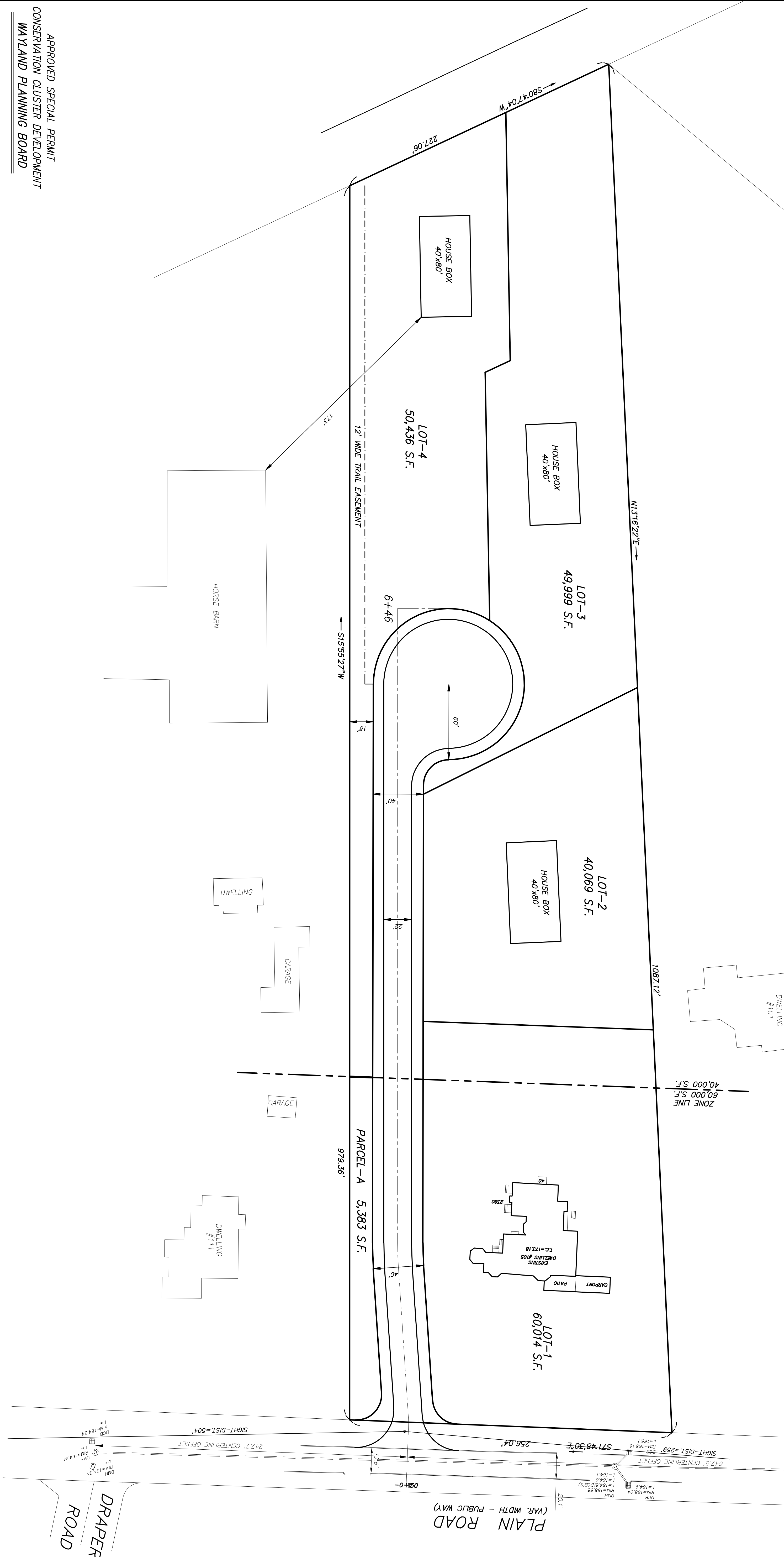
ALTERNATE SKETCH-2
CLUSTER SITE PLAN
PLAN OF LAND
105 PLAIN ROAD
WAYLAND, MA



10-9-2020	REVISED LAYOUT
REVISED	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: SEPTEMBER 23, 2020	
SCALE: 1"=40'	SHEET 2 OF 4.

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY LINES OF THIS TRACT OF LAND WAS MADE IN ACCORDANCE WITH THE SPECIFICATIONS IN "THE ETHICAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS".

	DRAIN MAN HOLE		UTILITY POLE & GUY WIRE
	CATCH BASIN		LIGHT POST
	SEWER LINE		HANDICAP SPACE
	SEWER MAN HOLE		ELECTRIC TRANSFORMER SIGN
	BITUMINOUS CURBING		VERTICAL BENCHMARK
	EDGE OF PAVEMENT		DECIDUOUS TREE > 8"
	GUARD RAIL		CONIFEROUS TREE > 8"
	APPROX. WATERLINE		TEE LINE
	HYDRANT		SPOT GRADE
	WATERGATE		WETLAND LINE
	APPROX. GAS LINE		TELEPHONE MAN HOLE
	GAS GATE		



GRID NORTH - MAINLAND ZONE
MASS. COORDINATE SYSTEM

APPROVED SPECIAL PERMIT
CONSERVATION CLUSTER DEVELOPMENT
WAYLAND PLANNING BOARD

DATE: _____

SULLIVAN OWNERS & ASSOCIATES INC. DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES. THAT ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN, OR THE CHARACTER OF THE UNDERGROUND UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE. LOOKING AT THE UTILITY MAPS OF THE SUBSURFACE GROUND CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE UTILITIES. STRUCTURES ARE REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE TOWN DPW AND THE CIVIL SAFETY (1-888-344-7233) FOR UTILITY LOCATIONS 72 HOURS BEFORE COMMENCEMENT OF CONSTRUCTION.

NO LOT SHALL BE FURTHER DIVIDED SO AS TO CREATE ADDITIONAL LOTS.

GENERAL NOTES:

1. THIS PLAN IS BASED ON AN ON-GROUND SURVEY BY SULLIVAN, CONNORS & ASSOCIATES PERFORMED ON FEBRUARY 2020.
2. LEGAL STATUS OF EASEMENTS AND WAIVERS NOT DETERMINED BY THIS SURVEY.
3. NO WETLANDS LOCATED ON-SITE.

OWNERS:
TAMPOSI BROTHERS I, LLC
37 REVERE STREET, No. 8
BOSTON, MA 02114

**SULLIVAN, CONNORS
AND ASSOCIATES**
LAND SURVEYING AND CIVIL ENGINEERING
121 BOSTON POST ROAD
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566 FAX: 978-443-8911

**ALTERNATE SKETCH-5
CONVENTIONAL LAYOUT
PLAN OF LAND
105 PLAIN ROAD
WAYLAND, MA**

REVISED:	DESCRIPTION:
DESIGN BY: REM	CHECK BY: VC
DATE: OCTOBER 4, 2009	
SCALE: 1"=40'	
SHEET 1 OF 1.	