

Consultant:



**ALLEN & MAJOR  
ASSOCIATES, INC.**

civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
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Revision:

1. 11/9/20 BULLETIN #1

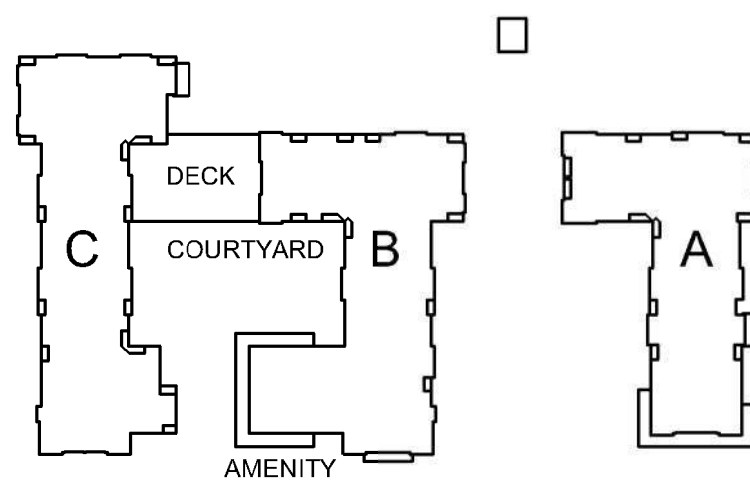
Engineer of Record:

Drawn: SJL/ND

Checked: CMQ

Scale: 1" = 40'

Key Plan:



Project Name:

**ALTA AT RIVER'S  
EDGE**

**490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778**

Sheet Name:

**LAYOUT &  
MATERIALS  
PLAN**

Project Number:

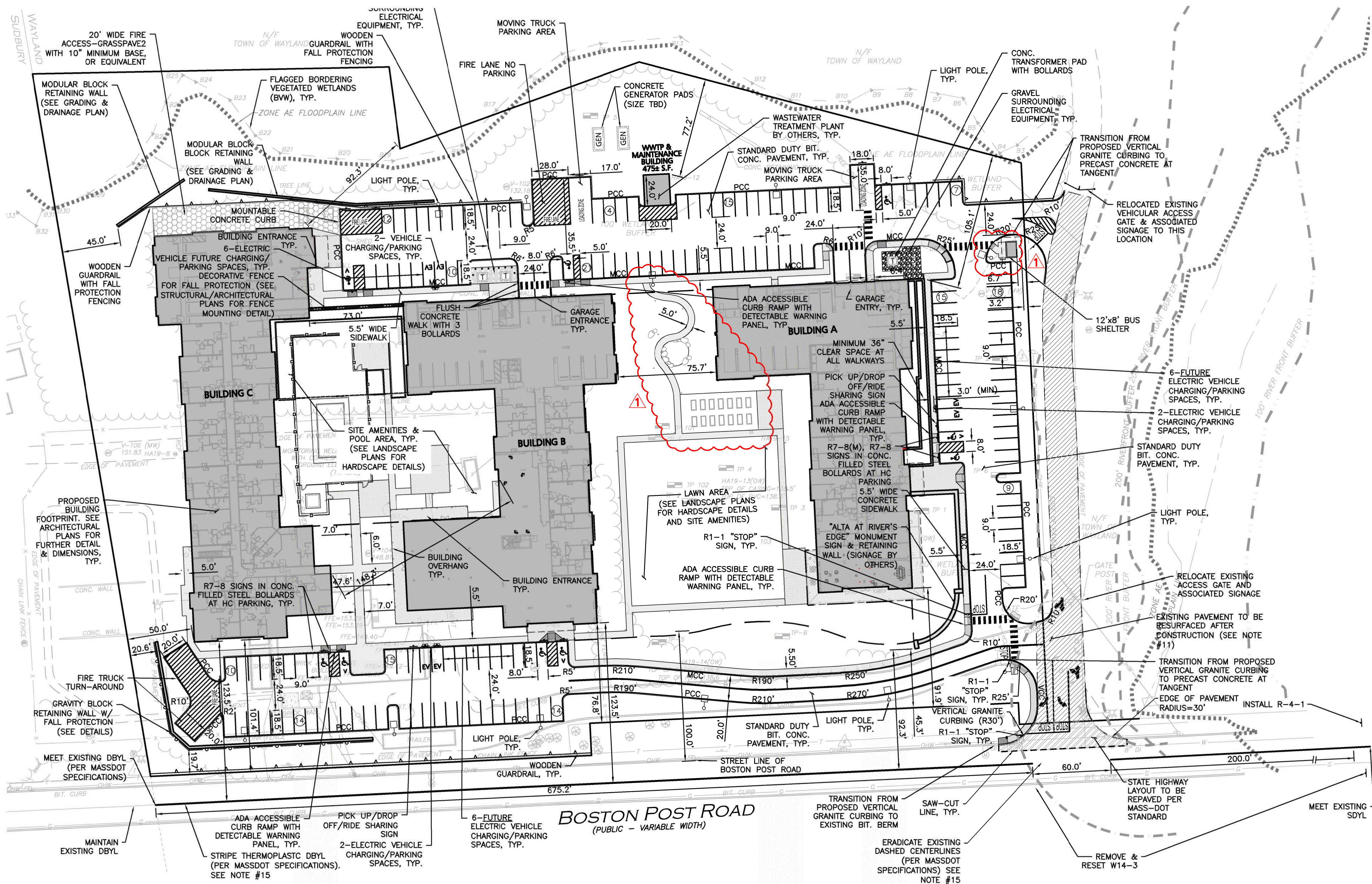
1670-09A

Issue Date:

SEPTEMBER 23, 2020

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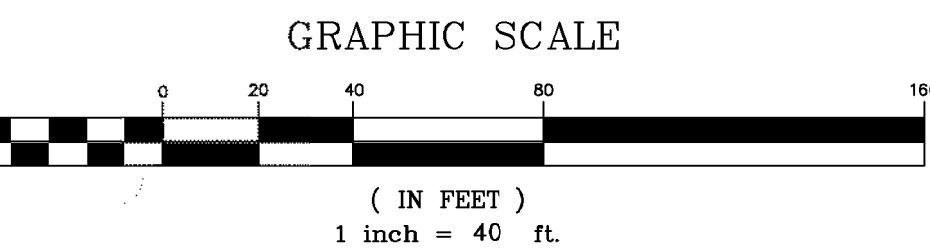
**C-102**



LEGEND	
PROPERTY LINE	---
SIGN	—
BOLLARD	—
BUILDING	—
BUILDING ARCHITECTURE	—
CURB	—
RETAINING WALL	—
PARKING STRIPING	—
TRAFFIC ARROWS	—
HEAVY DUTY CONCRETE	—
SIDEWALK	—
ADA ACCESSIBLE RAMP	—
ADA DET. WARNING SURFACE	—
SETBACK LINE	—
PARKING COUNT	—
TREE LINE	—
TRANSFORMER	—
MONOLITHIC CURBING	MONO.
PRECAST CONC. CURB	PCC

#### NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF WAYLAND DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.  
DIGSAFE: 1-800-344-7233  
WAYLAND DEPT. OF PUBLIC WORKS: (508) 358-3672
- SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
- ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED. ALL RADII AND DIMENSIONS MEASURED AT FACE OF CURB.
- ALL ADA RAMP ARE TO BE CONCRETE UNLESS SPECIFIED OTHERWISE.
- EXISTING CONDITIONS BASE PLAN TAKEN FROM AN EXISTING CONDITIONS BASE PLAN ENTITLED "EXISTING CONDITIONS", PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., ORIGINAL SCALE 1"=40', DATED MAY 8, 2019.
- RIVERFRONT FLAGGINGS (RA SERIES) AND A&B SERIES WETLANDS FLAGGINGS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS SURVEY - 494-490 BOSTON POST ROAD - WAYLAND, MASSACHUSETTS," PREPARED BY WSP SELLS DATED JULY 16, 2015, SCALE 1"=60'.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE COORDINATED WITH THE WAYLAND DPW AND SHALL CONFIRM TO THE LATEST MUTCD STANDARDS.
- ALL SIDEWALK MEASUREMENTS TAKEN FROM FACE OF CURB.
- THE EXISTING PAVEMENT SHALL BE MILLED AND PAVED, PER DPW SPECIFICATIONS, FROM BOSTON POST ROAD TO THE PROPOSED GATE LOCATION ONCE CONSTRUCTION IS COMPLETE.
- ALL EXISTING SIGNS WITHIN THE LIMIT OF WORK SHALL BE RETAINED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL MARKINGS OUTSIDE THE DEVELOPMENT PARCEL SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- THE MINIMUM MOUNTING HEIGHT OF POST MOUNTED SIGNS, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE CURB OR SIDEWALK, OR ELEVATION OF THE NEAR EDGE OF TRAVEL WAY, SHALL BE 7 FEET, UNLESS OTHERWISE NOTED.
- REMOVE THE EXISTING PASSING ZONE BY STRIPING NEW CENTERLINE PAVEMENT MARKINGS AS SHOWN. RELOCATE EXISTING SIGNAGE FROM THE EXISTING ZONE TERMINUS TO THE PROPOSED ZONE TERMINUS. ERADICATE CONFLICTING CENTERLINE PAVEMENT MARKINGS AS NECESSARY.



#### PARKING SUMMARY CHART

USE:  
RIVER'S EDGE HOUSING OVERLAY DISTRICT (REHOD)

PARKING SPACES SHALL BE PROVIDED AT A MINIMUM RATIO OF 1.25 PARKING SPACES PER DWELLING UNIT<sup>(1)</sup>

(218 UNITS TOTAL) \* (1.25 SPACES/UNITS) = 273 SPACES  
TOTAL OFF-STREET PARKING REQUIREMENT = 273 SPACES

THEREFORE, 273 PARKING SPACES ARE REQUIRED AT A MINIMUM RATIO OF 1.25 SPACES PER 1 DWELLING UNIT.

345 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, INCLUDING 181 SPACES WITHIN THE PODIUM PARKING AREAS AND 164 SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.58 SPACES PER 1 DWELLING UNIT.

1.58 > 1.25, THEREFORE PROPOSED PARKING COUNT MEETS/EXCEEDS MINIMUM REQUIRED.

ADA REQUIRED: THERE ARE BETWEEN 301 AND 400 TOTAL PARKING SPACES REQUIRING 8 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED: 13 ADA ACCESSIBLE SPACES, 5 OF WHICH SHALL BE VAN ACCESSIBLE

SURFACE PARKING			STRUCTURED PARKING			TOTAL PARKING	
STANDARD SPACES	EV SPACES	ADA SPACES	STANDARD SPACES	EV SPACES	ADA SPACES	TOTAL PROVIDED	TOTAL REQUIRED
149	6	9	171	6	4	345	273

#### PARKING NOTES:

- ...AND MAXIMUM OF 15 PARKING SPACES FOR ANY ACCESSORY CAFE OR DINER IN ADDITION TO SAID DWELLING UNIT PARKING SPACES. IF OVER 50% OF THE TOTAL NUMBER OF DWELLING UNITS ARE AGE RESTRICTED AS SET FORTH IN § 19B-2506.6 BELOW, PARKING MAY BE PROVIDED AT A MINIMUM OF 0.50 PARKING SPACE PER AGE-RESTRICTED DWELLING UNIT.
- INCLUDES 3 VAN ACCESSIBLE PARKING STALLS WITHIN STRUCTURED PODIUM PARKING.

DIG SAFE



BEFORE YOU DIG  
CALL 811 OR  
1-888-DIG-SAFE  
1-888-344-7233



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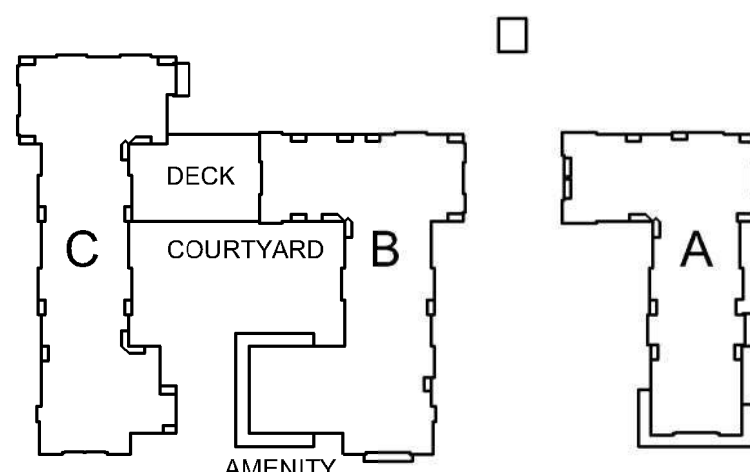
Engineer of Record:

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Scale: 1" = 40'

Key Plan:



Project Name:

**ALTA AT RIVER'S  
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490, 492, 494 BOSTON  
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Sheet Name:

**GRADING & DRAINAGE  
PLAN**

Project Number:

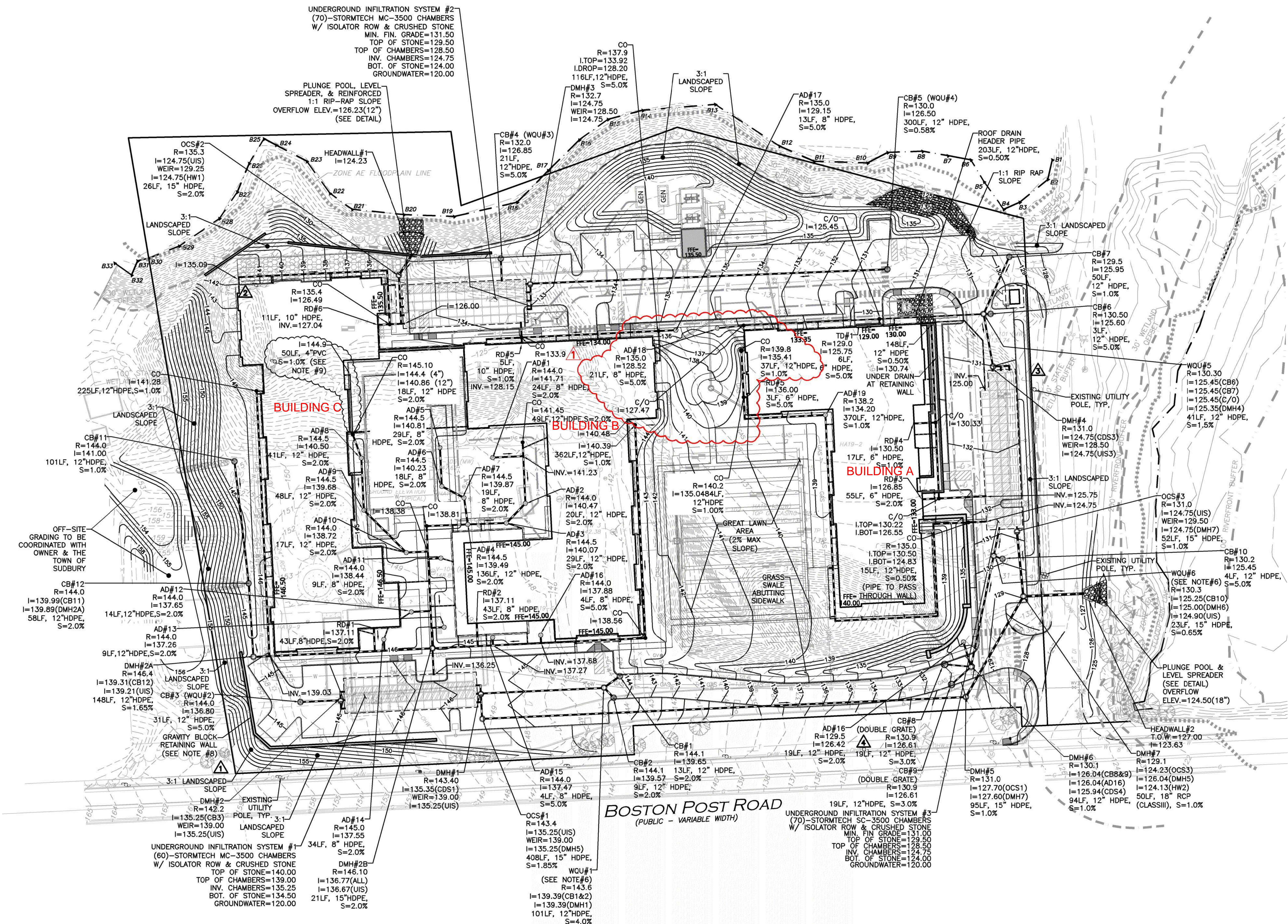
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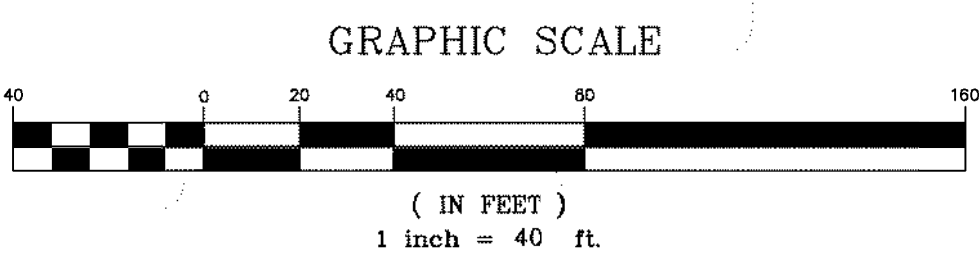
SEPTEMBER 23, 2020

Sheet Number:

**C-103A**



BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
1	X-CUT ON HYDRANT FLANGE BOLT	116.23
2	WESTERLY TOP CORNER OF JERSEY BARRIER	127.81
3	RAILROAD SPIKE IN UTILITY POLE (NO #)	131.93
4	RAILROAD SPIKE IN UTILITY POLE #276/110	135.95



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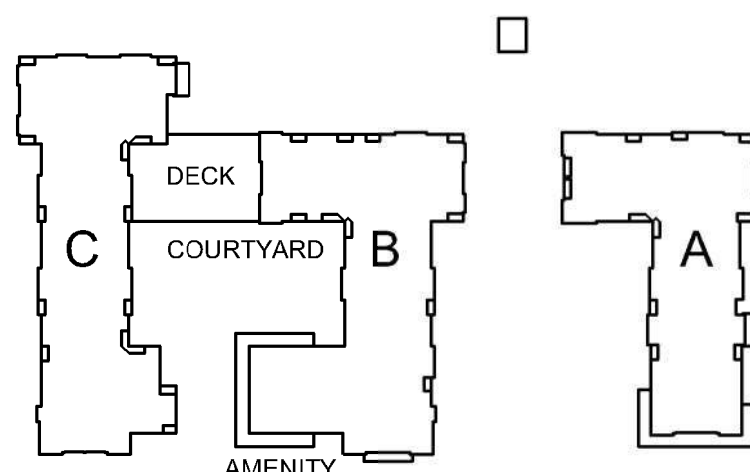
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Key Plan:



Project Name:

**ALTA AT RIVER'S  
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490, 492, 494 BOSTON  
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Sheet Name:

**UTILITIES  
PLAN**

Project Number:

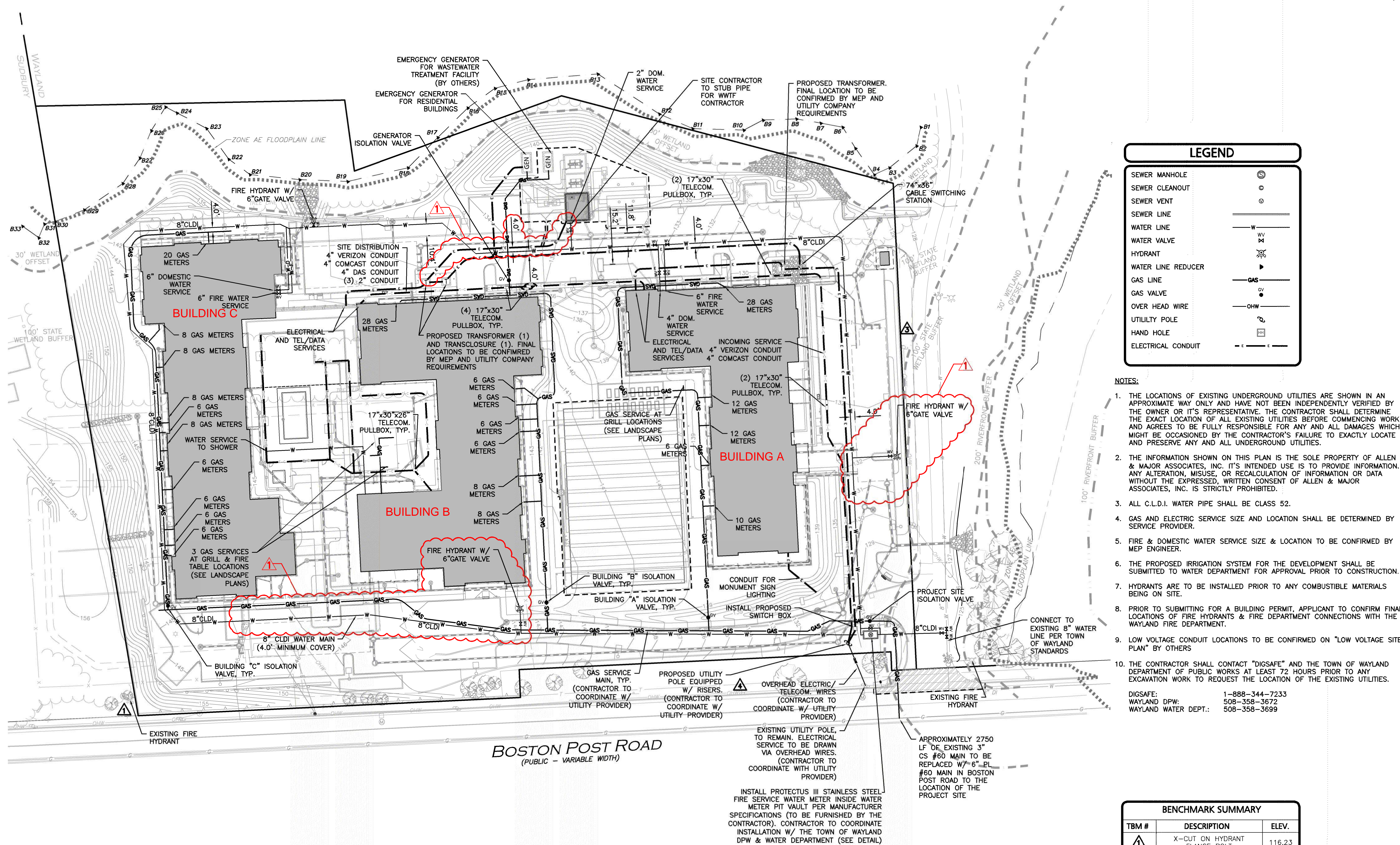
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SEPTEMBER 23, 2020

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**C-104B**



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LANDSCAPE MATERIAL NOTES

1.

THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION.
2.

THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH SITE EXAMINATION TO SATISFY THEMSELVES AS TO THE ACTUAL SITE CONDITIONS BEFORE SUBMISSION OF BIDS.
3.

CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
4.

CONTRACTOR SHALL ARRANGE PRE-INSTALLATION CONFERENCES AT PROJECT SITE FOR WALLS AND PAVEMENT WORK. ATTENDEES SHALL INCLUDE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS DIRECTLY CONCERNED WITH THE WORK.
5.

CONTRACTOR SHALL PREPARE SUBMITTALS TO THE LANDSCAPE ARCHITECT FOR ALL COMPONENTS OF THE FINISHED WORK, INCLUDING SHOP DRAWINGS, PRODUCT DATA, MATERIAL CERTIFICATIONS, MIX DESIGNS AND SAMPLES.
6.

CONTRACTOR SHALL FURNISH AND INSTALL CONSTRUCTED SAMPLES (MOCK-UPS) DEMONSTRATING ALL COMPONENTS OF THE DESIGN, INCLUDING FINISHED EXPOSED EDGES AND SURFACES, COLORS AND JOINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING FINAL WORK. MOCK-UPS MAY BE PART OF THE FINAL CONSTRUCTION. MOCK-UPS SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE DURATION OF THE PROJECT AND WILL SERVE AS PROJECT STANDARD. CONTRACTOR SHALL DEMOLISH AND RECONSTRUCT MOCK-UP

7.

UNTIL APPROVAL FROM LANDSCAPE ARCHITECT. MOCK-UPS SHALL INCLUDE: 6'X6' MOCK UP OF EACH COLOR AND PATTERN TYPE FOR STAMPED AND COLORED CONCRETE.
8.

THE DIMENSIONS OF PAVEMENT JOINTS AS SHOWN ON THE DRAWINGS ARE TO THE CENTER LINE OF EACH TYPE OF JOINT EXCEPT WHERE PAVEMENT MEETS A VERTICAL FACE; AT THIS LOCATION DIMENSIONS ARE TO THE VERTICAL FACE. THE DIMENSIONS SHOWN ON DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS. ALL ALIGNMENTS SHALL BE INSTALLED AS SHOWN.
9.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING THE LOCATIONS OF ALL EXISTING SITE ELEMENTS TO BE RESET IN THEIR SAME HORIZONTAL LOCATION.
10.

THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE INSIDE OR OUTSIDE OF LIMIT OF WORK LINE DUE TO THEIR CONSTRUCTION OPERATIONS.
11.

STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS APPROVED BY THE LANDSCAPE ARCHITECT.
12.

WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
13.

AT ALL LOCATIONS WHERE EXISTING BITUMINOUS CONCRETE PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN SMOOTH EDGE.

MATERIALS LEGEND

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- STAMPED AND COLORED CONCRETE (POOL) BROMANITE: COLOR COQUINA, PATTERN COQUINA FRAYED EDGE 4.5'X4.5'
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- PRECAST CONCRETE UNIT PAVING
- DOUBLE RAILING VINYL FENCING
- ORNAMENTAL FENCE
- 6' HT POOL FENCE
- PROPERTY LINE
- LIMIT OF WORK
- P/A PLANT AREA
- EXPANSION JOINT

tat

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Revision:

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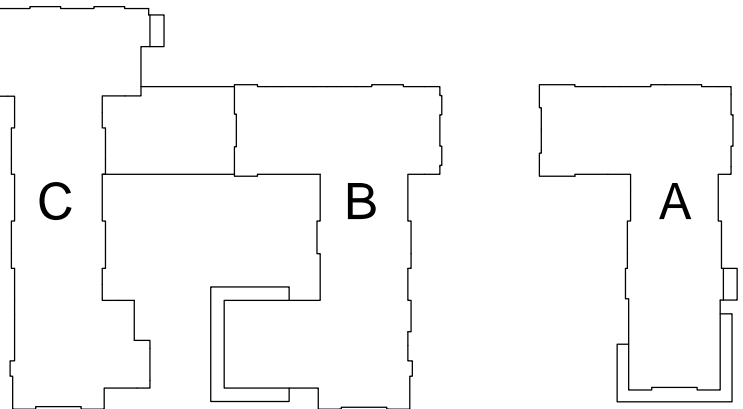


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Checked: AA

Scale: 1" = 30'-0"

Key Plan:



Project Name:

ALTA AT RIVER'S  
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490, 492, 494 BOSTON  
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Materials  
Plan

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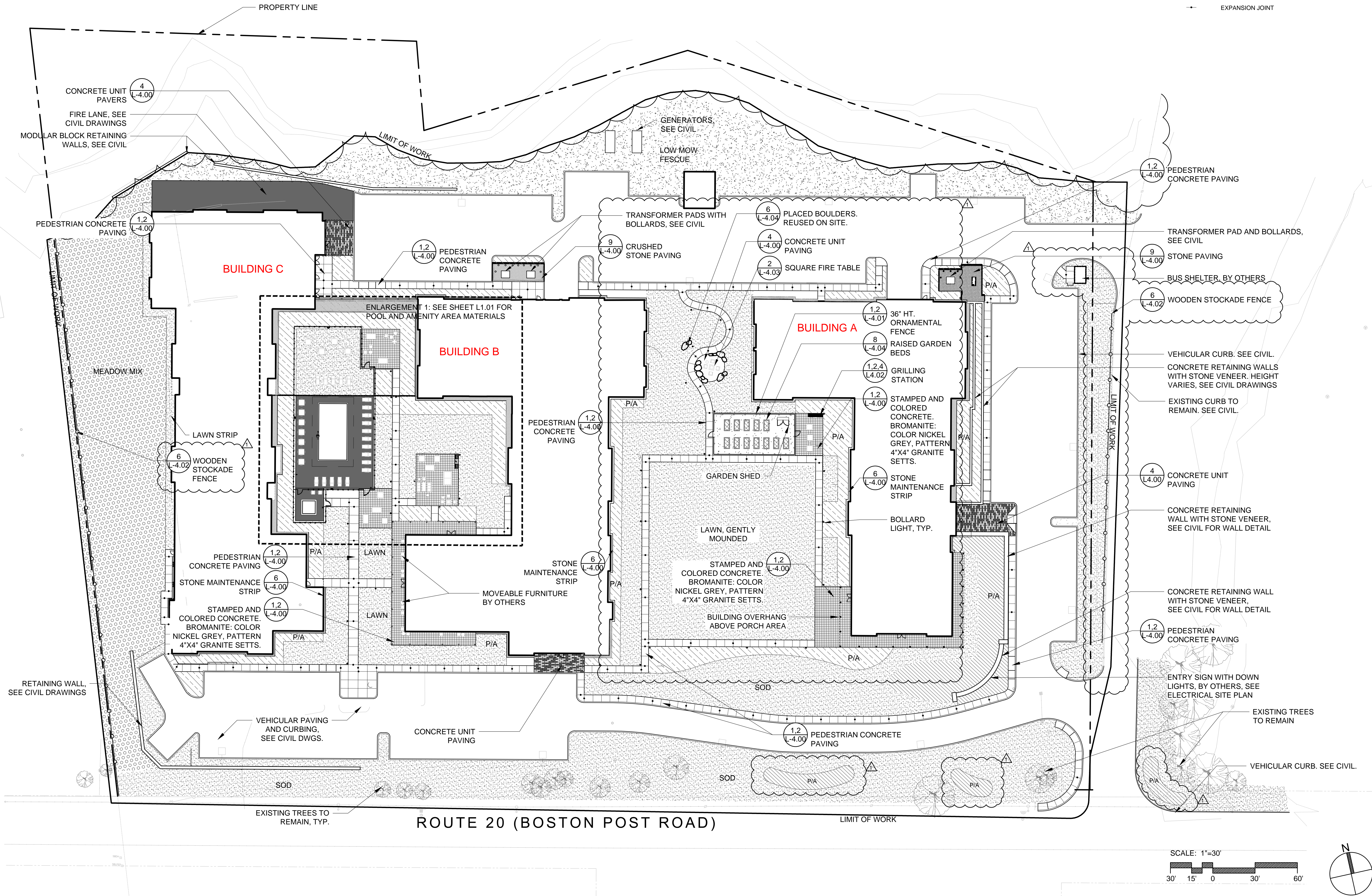
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Issue Date:

SEPTEMBER 23, 2020

Sheet Number:

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LANDSCAPE MATERIAL NOTES

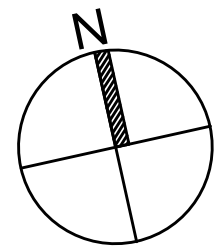
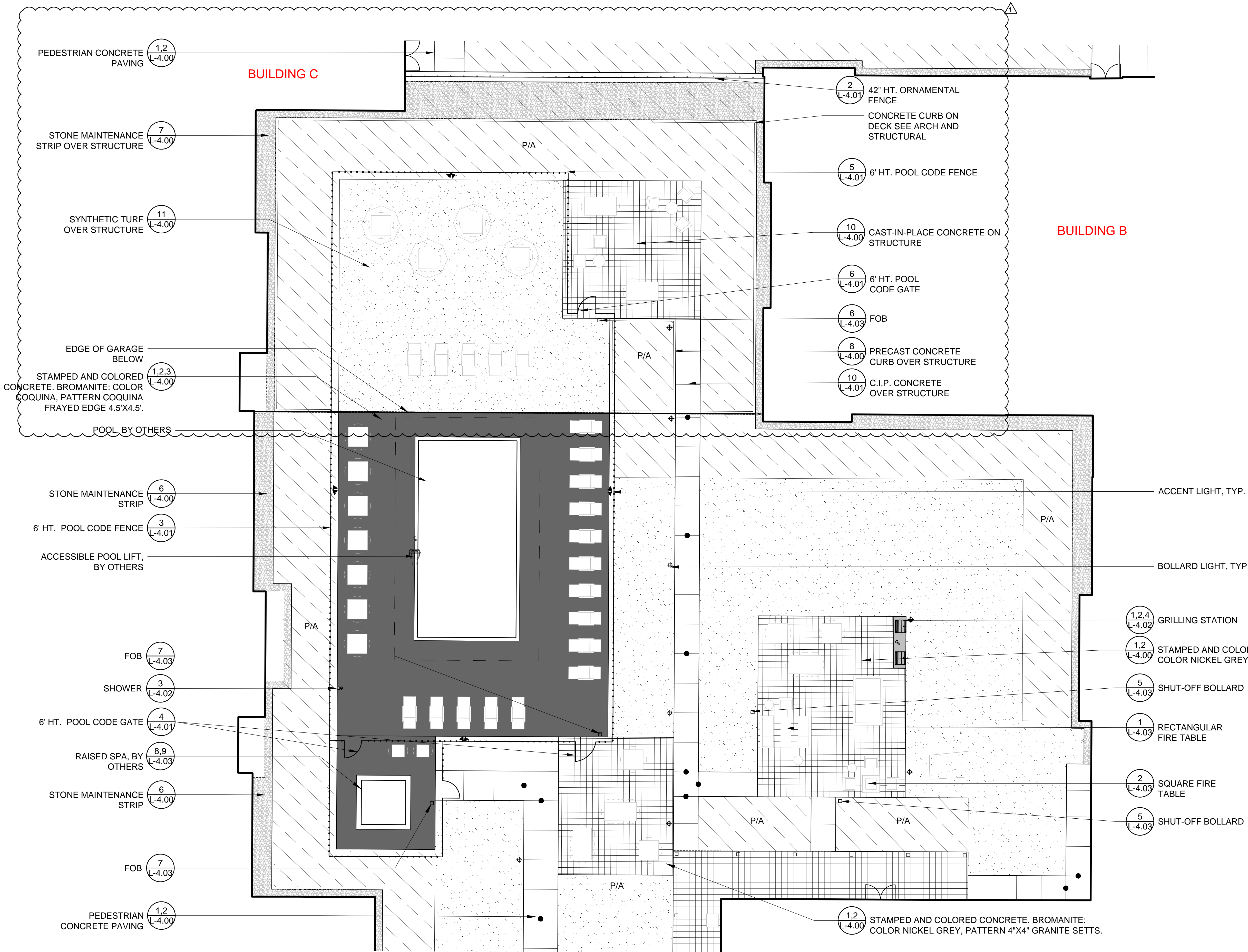
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- LIMIT OF WORK
- P/A

PLANT AREA
- EXPANSION JOINT



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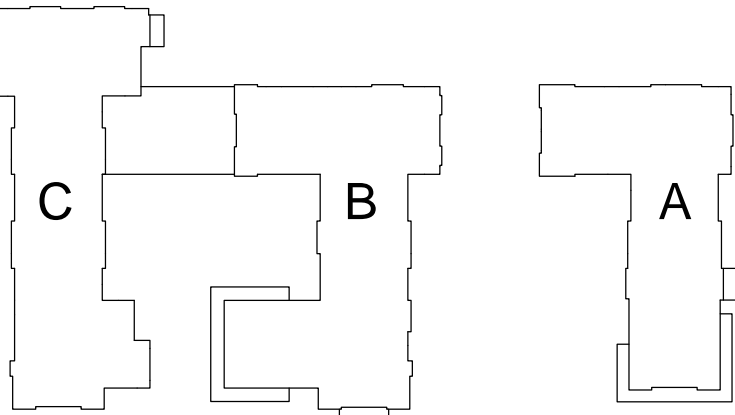


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Key Plan:



Project Name:

ALTA AT RIVER'S  
EDGE

490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778

Sheet Name:

Materials Plan:  
Enlargement 1

Project Number:

15151.00

Issue Date:

SEPTEMBER 23, 2020

Sheet Number:

L 1.01



PLANTING AND SOIL NOTES

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- THE LANDSCAPE ARCHITECT SHALL ONLY REVIEW TREES THAT ARE IN THE GROUND AT THE NURSERY. NO PRE-DUG TREES WILL BE ACCEPTED. THEREFORE TIMING OF IN-GROUND REVIEWS MUST BE COORDINATED WITH EXPECTED INSTALLATION DATES.
- ALL NEW PLANTS TO BE BALLED & BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.

- ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR.
- CONFIRM ALL QUANTITIES AGAINST PLANTING PLANS, GRADING PLANS, AND SPECIFICATIONS, INCLUDING SITE DISTURBANCE OUTSIDE OF THE LIMIT OF GRADING NECESSITATED TO FACILITATE CONSTRUCTION.
- WHERE SAND AND GRAVEL ARE SPECIFIED FOR A DRAINAGE LAYER, EXTEND DRAINAGE LAYER TO ASSOCIATED DRAIN LINES, DRAINAGE AREAS, OR DAYLIGHT.
- WHERE ONE SOIL TYPE MEETS ANOTHER SOIL TYPE, FORM A 1:1 SLOPED BOUNDARY TRANSITION.
- WHERE A SOIL PROFILE ENCROACHES WITHIN THE DRIP LINE OF EXISTING TREES, CONSULT WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCING EXCAVATION.
- ALL EXCAVATION AND PLACEMENT OF SOILS WITHIN THE DRIP LINE OF EXISTING TREES TO BE PERFORMED BY HAND.
- SCARIFY SUBGRADE AS SPECIFIED BEFORE PLACEMENT OF ANY PLANTING SOILS.
- DO NOT PLACE OR HANDLE SOILS THAT ARE WET.
- PROTECT ALL EXISTING SOILS AGAINST COMPACTION, CONTAMINATION WITH CONSTRUCTION MATERIALS, AND ALL DISTURBANCE.
- CONTRACTOR IS RESPONSIBLE FOR ACTUAL SITE CONDITIONS, COORDINATION OF SOILS PLACEMENT, AND PLANTING SUBDRAINAGE.
- DO NOT PLACE ANY PLANTING SOIL PRIOR TO INSPECTION BY LANDSCAPE ARCHITECT.
- EXTENTS OF SAND BASED STRUCTURAL SOIL (SBSS) ARE APPROXIMATE. PROVIDE A MINIMUM OF 1,000 C.F. OF SBSS FOR EACH TREE.

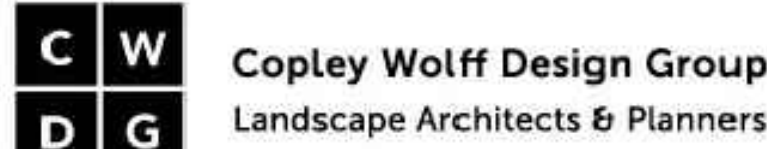
PLANT LIST: TREES

Symbol	Qty	Botanical Name	Common Name	Size	MBOT Spread	Comments
<b>Shade Trees</b>						
AFA	1	Acer x freemanii 'Armstrong'	Armstrong Maple	3-3.5" CAL	10-15'	
AR	11	Acer rubrum 'October Glory'	October Glory Red Maple	3-3.5" CAL	30-40'	
AS	2	Acer saccharum 'Legacy'	Legacy Sugar Maple	3-3.5" CAL	30-60'	
BN	5	Betula nigra 'Duraheal'	River Birch	2-2.5" CAL	25-35'	Single Stem
GBS	2	Ginkgo biloba 'JIN9' Sky Tower	Fastigiate Ginkgo	3-3.5" CAL	10-15'	
LT	3	Liriodendron tulipifera	Tulip Tree	3-3.5" CAL	30-50'	
NS	1	Nyssa sylvatica	Black Tupelo	3-3.5" CAL	20-30'	
QB	8	Quercus bicolor	Swamp White Oak	3-3.5" CAL	50-60'	
QR	7	Quercus rubra	Red Oak	3-3.5" CAL	50-60'	
UA	9	Ulmus americana 'Princeton'	Princeton American Elm	3-3.5" CAL	30-50'	
<b>Ornamental Trees</b>						
AC	20	Amelanchier canadensis	Shadblow Serviceberry	6-8" HT.	15-20'	Multi Stem
CA	4	Cornus alternifolia	Pagoda Dogwood	2-2.5" CAL	20-30'	Specimen
CF	3	Cornus 'Rutcan' Constellation	Constellation Dogwood	2-2.5" CAL	12-18'	Specimen
MSR	5	Magnolia stellata 'Royal Star'	Royal Star Magnolia	2-2.5"	8-15'	Specimen
<b>Evergreen Trees</b>						
AB	8	Abies balsamea	Balsam Fir	8-10' HT	15-25'	
JV	2	Juniperus virginiana	Eastern Red Cedar	8-10' HT	8-25'	
PB	2	Pinus banksiana	Jack Pine	10-15' HT	20-30'	
PG	12	Picea glauca	White Spruce	8-10' HT	10-20'	

tat

50 Commandant's Way at  
Admiral's Hill  
Ohelsea MA  
02150  
F 617.889.4402  
617.884.4329  
architecturalteam.com

Consultant:



Revision:

1 11/9/20 BULLETIN 1

Architect of Record:

DRB/PB CONDITIONS:

- Resident entry to the east of Building A (not the corner but the main entry concrete area)
- Adjustments to the new path between Buildings A/B
- The resident garden
- Refinement of the area opposite the main entry curb cut



490. 492. 494 BOSTON



Project Number:

15151.00

Issue Date:

SEPTEMBER 23, 2020

Sheet Number:

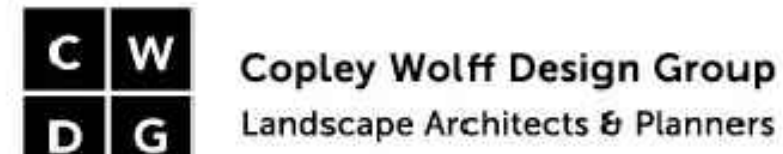
L 2.00



tat

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Admiral's Hill  
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02150  
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617.884.4329  
architecturalteam.com

Consultant:



Revision:

1 11/9/20 BULLETIN 1

Architect of Record:

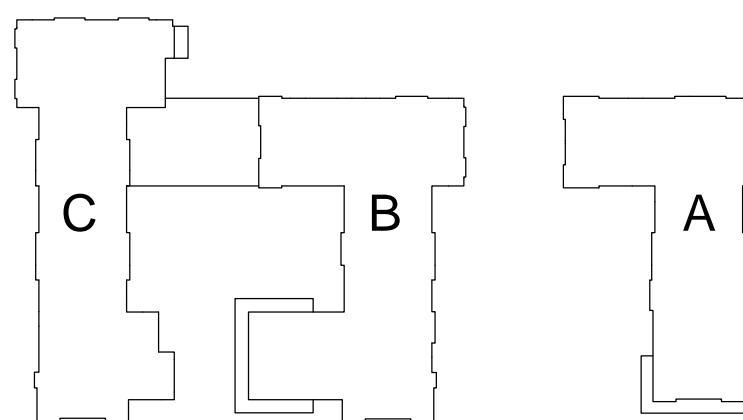


Drawn: SAS

Checked: AA

Scale: 1" = 20'-0"

Key Plan:



Project Name:

ALTA AT RIVER'S  
EDGE

490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778

Sheet Name:

Planting Plan:  
Enlargement 1

Project Number:

15151.00

Issue Date:

SEPTEMBER 23, 2020

Sheet Number:

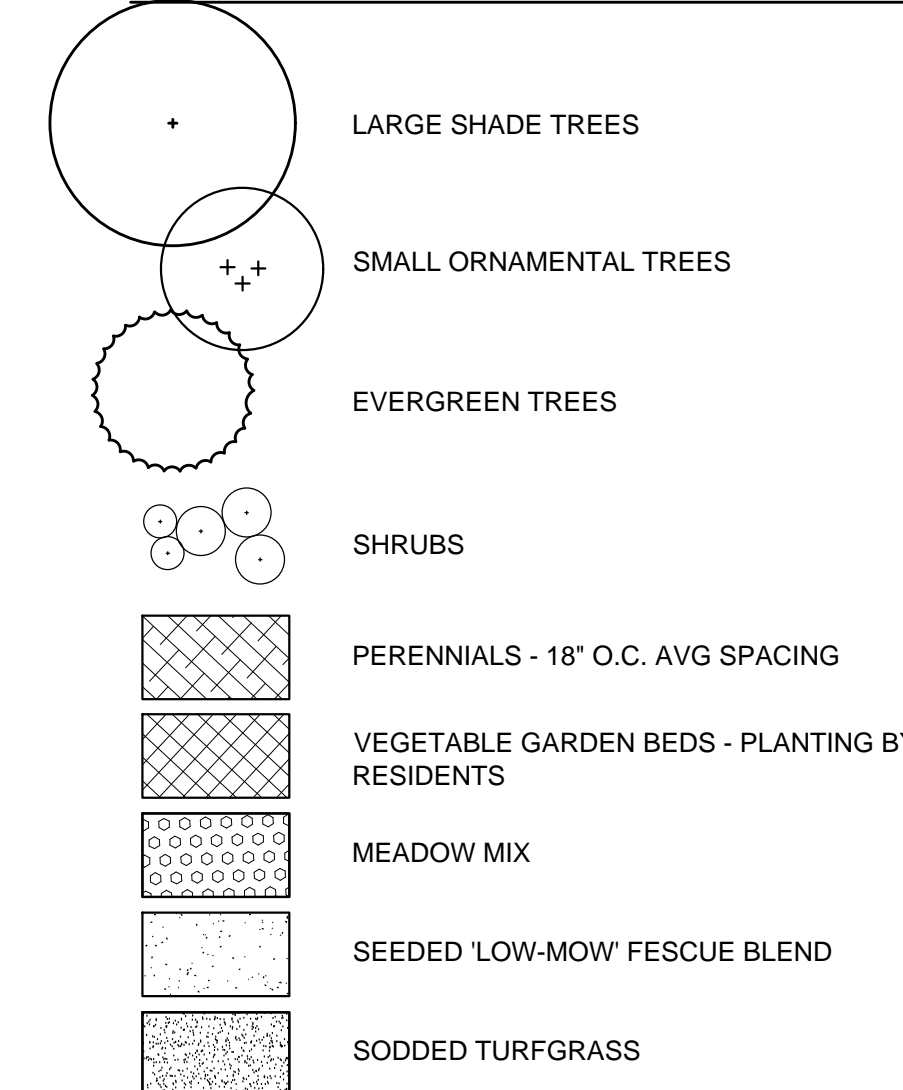
L 2.01

©ALTA RIVER'S EDGE, L.L.C.

## PLANT LIST: ENLARGEMENT 1

Symbol	Qty	Botanical Name	Common Name	Size	Spacing	Comments	MBOT Spread
<b>Shrubs and Groundcover</b>							
CAH	9	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Sweet Pepperbush	24-30" ht.			3'-5'
CP	33	<i>Comptonia peregrina</i>	Sweet Fern	24-36" ht.	36" O.C.		4'-8'
CAS	37	<i>Cornus sericea</i> 'Farrow' Arctic Fire	Dwarf Red Twig Dogwood	24-36" ht.	42" O.C.		3'-4'
CSF	10	<i>Cornus sericea</i> 'Flaviramea'	Yellow Twig Dogwood	36-42" ht.			5'-6'
FGM	35	<i>Fothergilla gardenii</i> 'Mount Airy'	Mount Airy Dwarf Fothergilla	24-36" ht.	36" O.C.		3'-5'
HPL	11	<i>Hydrangea paniculata</i> 'Little Lime'	Little Lime Panicle Hydrangea	24-30" ht.	42" O.C.		3'-5'
HQA	4	<i>Hydrangea quercifolia</i> 'Alice'	Alice Oakleaf Hydrangea	24-36" ht.	5' O.C.		5'-8'
HQS	12	<i>Hydrangea quercifolia</i> 'Snow Queen'	Snow Queen Oakleaf Hydrangea	30-42" ht.	5' O.C.		6'-8'
HQP	10	<i>Hydrangea quercifolia</i> 'Pee Wee'	Dwarf Oakleaf Hydrangea	18-24" ht.	36" O.C.		2'-5'-3'
IGS	29	<i>Ilex glabra</i> 'Shamrock'	Dwarf Inkberry	24-36" ht.	42" O.C.		3'-4'
IVH	27	<i>Ilex virginiana</i> 'Sprinch' Little Henry	Little Henry Virginia Sweetspire	18-24" ht.	36" O.C.		2'-2'-5'
IVR	52	<i>Ilex verticillata</i> 'Wana' Red Sprite	Red Sprite Winterberry	24-32" ht.	36" O.C.		2'-5'-3'
JPS	6	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Chinese Juniper	30-42" ht.	6' O.C.		6'-8'
MP	4	<i>Myrica pensylvanica</i>	Northern Bayberry	36-48" ht.	6' O.C.		5'-10'
RAG	85	<i>Rhus aromatica</i> 'Gro Low'	Gro Low Fragrant Sumac	18-24" ht.	36" O.C.		6'-8'
RDV	24	<i>Rhododendron</i> 'Delaware Valley White'	Delaware Valley White Azalea	18-24" ht.	36" O.C.		3'-4'
RPD	37	<i>Rhododendron</i> 'Pink Discovery'	Pink Discovery Azalea	18-24" ht.	36" O.C.		3'-4'
RMA	3	<i>Rhododendron maximum</i>	Rosebay Rhododendron	36-48" ht.	As shown		5'-12'
TCA	10	<i>Taxus canadensis</i>	Canade Yew	30-42" ht.			25'-35'
VAC	1	<i>Viburnum acerifolium</i>	Maple Leaf Viburnum	24-36" ht.	36" O.C.		2'-4'
VDA	3	<i>Viburnum dentatum</i> 'Autumn Jazz'	Autumn Jazz Arrowwood	36-48" ht.			8'-12'
<b>Perennials / Ornamental Grasses / Groundcover</b>							
ALM	36	<i>Alchemilla mollis</i>	Lady's Mantle	#1 Cont.	18" O.C.		1'-5'-2'-5'
AUM	27	<i>Arctostaphylos uva-ursi</i> 'Massachusetts'	Common Bearberry	#1 Cont.	24" O.C.		3'-6'
ADE	27	<i>Astilbe chinensis</i> 'Deutschland'	Deutschland Astilbe	#1 Cont.	18" O.C.		
AVP	28	<i>Astilbe</i> 'Visions in Pink'	Visions in Pink Astilbe	#1 Cont.	18" O.C.		
AVR	27	<i>Astilbe</i> 'Visions in Red'	Visions in Red Astilbe	#1 Cont.	18" O.C.		
CKF	82	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Grass	#2 Cont.	18" O.C.		2'-3'
DC	242	<i>Dennstaedtia punctilobula</i>	Hay-Scented Fern	#1 Cont.	18" O.C.		2'-3'
DP	277	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	9'-12" ht.	18" O.C.		1'-2'
EPK	46	<i>Echinacea purpurea</i> 'Kim's Knee High'	Kim's Knee High Purple Coneflower	#1 Cont.	18" O.C.		1'-2'
GO	76	<i>Galium odoratum</i>	Sweet Woodruff	#1 Cont.	12" O.C.		9'-1'-5'
GBV	35	<i>Geranium macrorrhizum</i> 'Bevan's Variety'	Bigroot Geranium	#1 Cont.	18" O.C.		9'-1'-5'
LS	333	<i>Liriope spicata</i>	Creeeping Liriope	Plug	9" O.C.		1'-2'
LSB	37	<i>Leucanthemum x superbum</i> 'Becky'	Becky Shasta Daisy	#1 Cont.	24" O.C.		
MSM	90	<i>Miscanthus sinensis</i> 'Morning Light'	Morning Light Miscanthus	#3 Cont.	36" O.C.		2'-5'-4'
NWL	46	<i>Nepeta x faasseni</i> 'Walkers Low'	Walkers Low Catmint	#1 Cont.	24" O.C.		
OC	217	<i>Osmundastrum cinnamomeum</i>	Cinnamon Fern	#1 Cont.	24" O.C.		2'-3'
PPF	198	<i>Panicum</i> 'Prairie Fire'	Prairie Fire Switch Grass	#2 Cont.	18" O.C.		1'-5'-2'
PVS	140	<i>Panicum virgatum</i> 'Squaw'	Squaw Switch Grass	#2 Cont.	18" O.C.		1'-5'-2'
PRS	31	<i>Perovskia atriplicifolia</i>	Russian Sage	#1 Cont.	24" O.C.		2'-4'
SS	454	<i>Schizanthus scoparium</i>	Little Bluestem	#2 Cont.	12" O.C.		1'-5'-2'
SOH	39	<i>Stachys officinalis</i> 'Hummelo'	Betony	#1 Cont.	18" O.C.		1'-5'-2'
VM	361	<i>Vinca minor</i>	Periwinkle	#1 Cont.	12" O.C.		1'-5'-2'

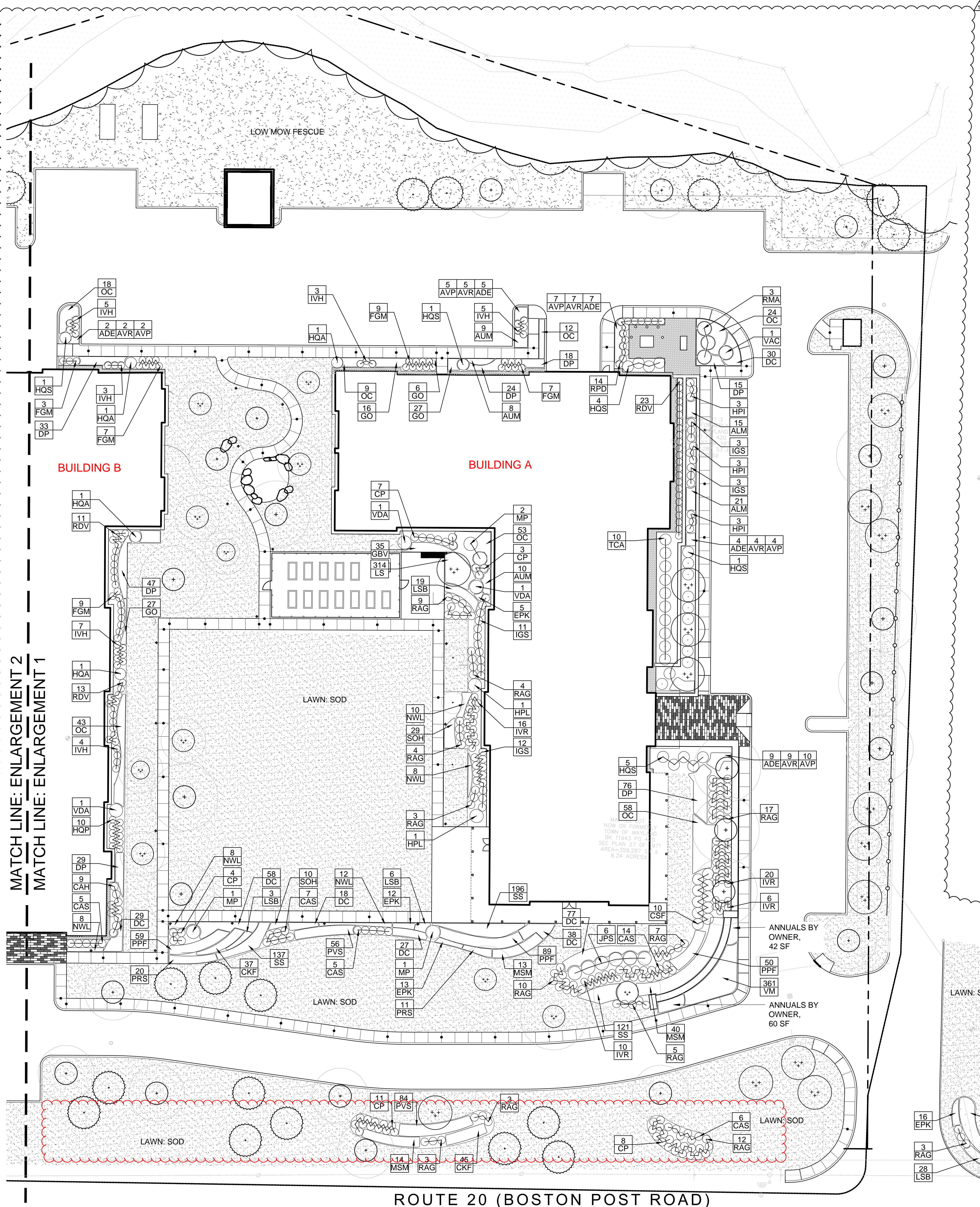
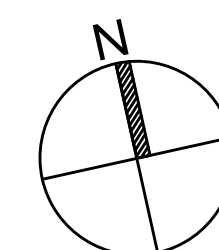
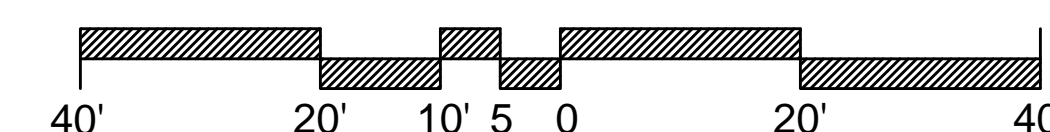
## PLANTING LEGEND



## NOTES:

- See sheet L-2.00 for general planting notes.
- Perennial plant selection is schematic for pricing and species and quantity are subject to change.

SCALE: 1"=20'



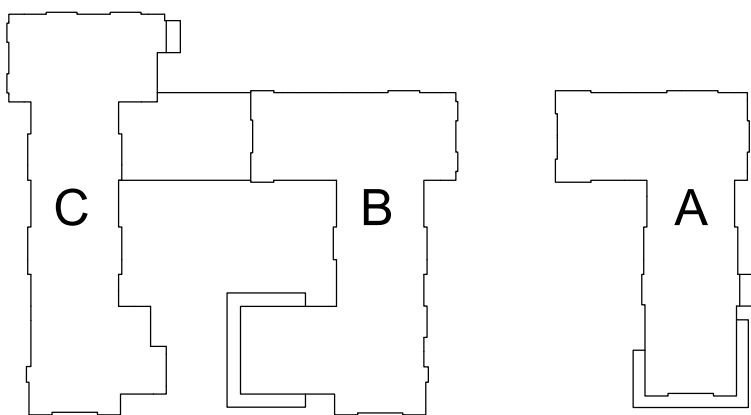




**C W**  
**D G** Copley Wolff Design Group  
Landscape Architects & Planners

1	11/9/20	BULLETIN 1
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## Key Plan



# ALTA AT RIVER'S EDGE

490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778

# Planting Plan: Enlargement 2

15151.00

SEPTEMBER 23, 2020

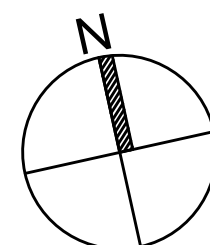
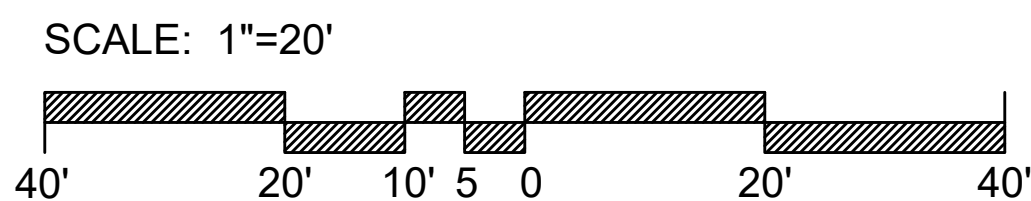
## L 2.02

Perennials / Ornamental Grasses / Vines						
AUM	11	<i>Arctostaphylos uva-ursi</i> 'Massachusetts'	Common Bearberry	#1 Cont.	24" O.C.	3'-6"
ADE	28	<i>Astilbe chinensis</i> 'Deutschland'	Deutschland Astilbe	#1 Cont.	18" O.C.	
AVP	29	<i>Astilbe</i> 'Visions in Pink'	Visions in Pink Astilbe	#1 Cont.	18" O.C.	
AVR	31	<i>Astilbe</i> 'Visions in Red'	Visions in Red Astilbe	#1 Cont.	18" O.C.	
DP	350	<i>Dierisstaedtia punctilobula</i>	Hay-Scented Fern	#1 Cont.	18" O.C.	2'-3"
GO	154	<i>Galium odoratum</i>	Sweet Woodruff	#1 Cont.	12" O.C.	9'-11'5"
LS	1428	<i>Liriope spicata</i>	Creeping Liriope	Plug	9" O.C.	1'-2"
NWA	30	<i>Nepeta racemosa</i> 'Walkers Low'	Walker's Low Catmint	#1 Cont.	24" O.C.	
OC	41	<i>Cinnamodanthum cinnamomeum</i>	Cinnamon Fern	#1 Cont.	24" O.C.	2'-3"
SOH	41	<i>Stachys officinalis</i> 'Hummels'	Betony	#1 Cont.	18" O.C.	1.5'-2'
TC	216	<i>Tillandsia cordifolia</i>	Fawnflower	#1 Cont.	12" O.C.	1.5'-2'
VM	957	<i>Vinca minor</i>	Periwinkle	#1 Cont.	12" O.C.	1.5'-2'

**PLANTING LEVELS**

- LARGE SHADE TREES
- SMALL ORNAMENTAL TREES
- EVERGREEN TREES
- SHRUBS
- PERENNIALS - 18" O.C. AVG S
- VEGETABLE GARDEN BEDS - RESIDENTS
- MEADOW MIX
- SEEDED "LOW-MOW" FESCUE
- SODDED TURFGRASS

1. See sheet L-2.00 for general planting notes.
2. Perennial plant selection is schematic for pricing and species and quantity are subject to change.





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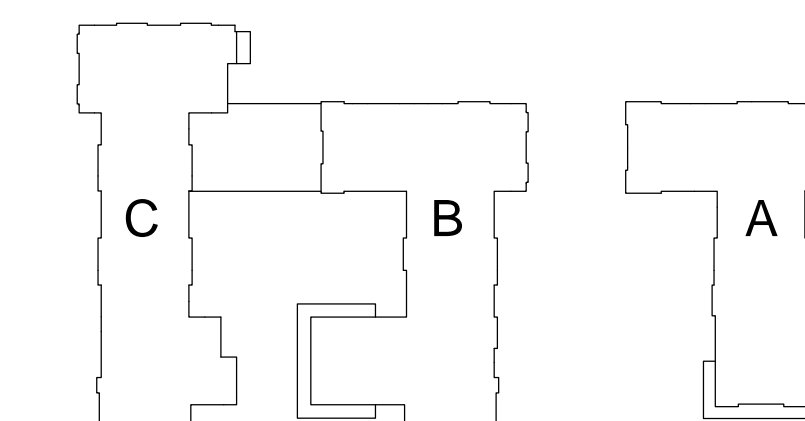
**C W**  
**D G** **Copley Wolff Design Group**  
Landscape Architects & Planners

1 11/09/20 BULLETIN #1

A circular professional seal for Sean Sanger, a Registered Landscape Architect in the State of Massachusetts. The seal features the text "MASSACHUSETTS" at the top, "SEAN SANGER" in the center, and "REGISTERED LANDSCAPE ARCHITECT" around the bottom. A banner at the bottom reads "NO. 1948". The seal is stamped in black ink and is partially obscured by a blue ink signature.

Checked: AA

## Key Plan



## ALTA AT RIVER'S EDGE

Sheet Name:

# LANDSCAPE DETAILS

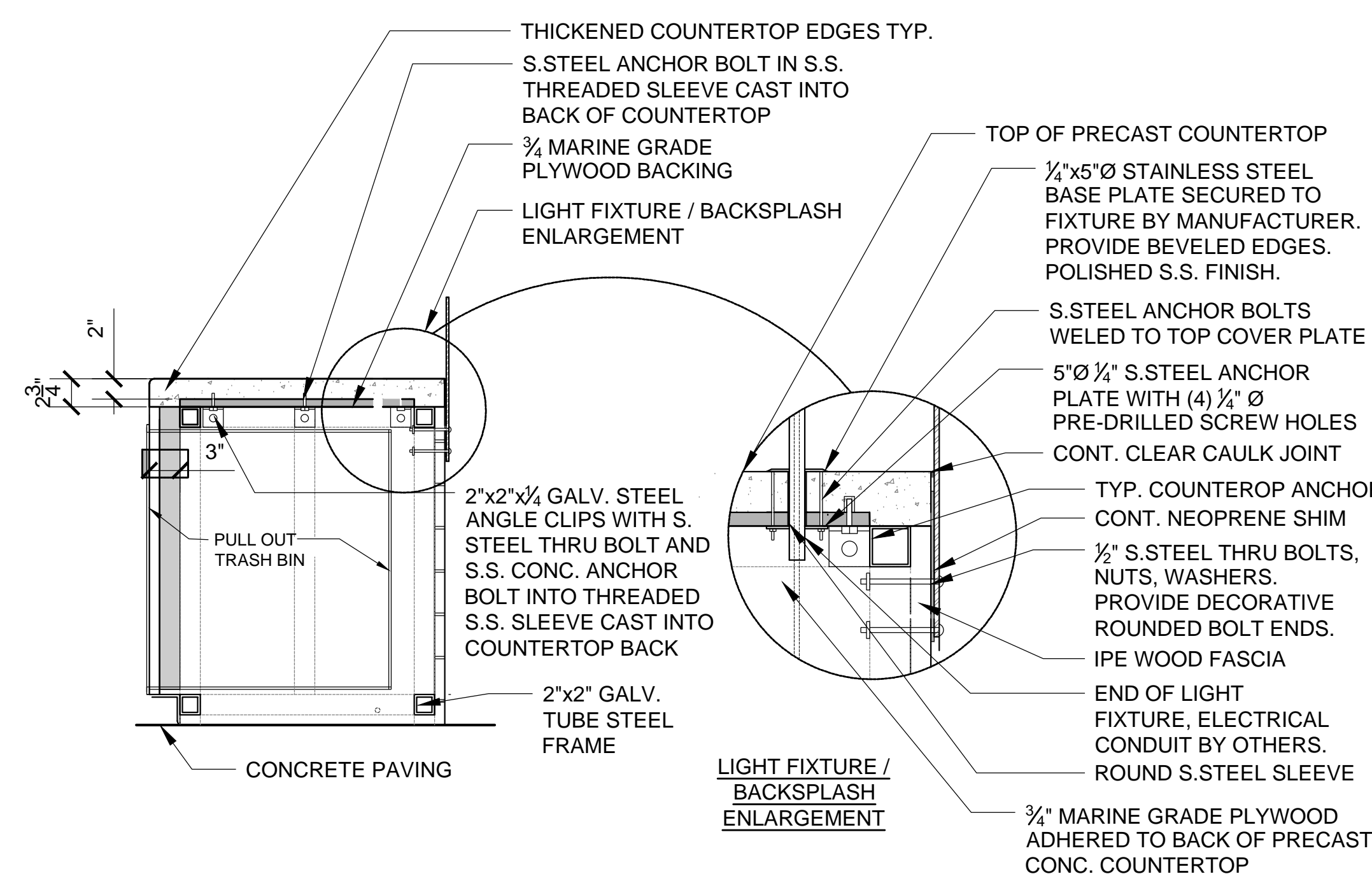
15151.00

SEPTEMBER 23, 2020

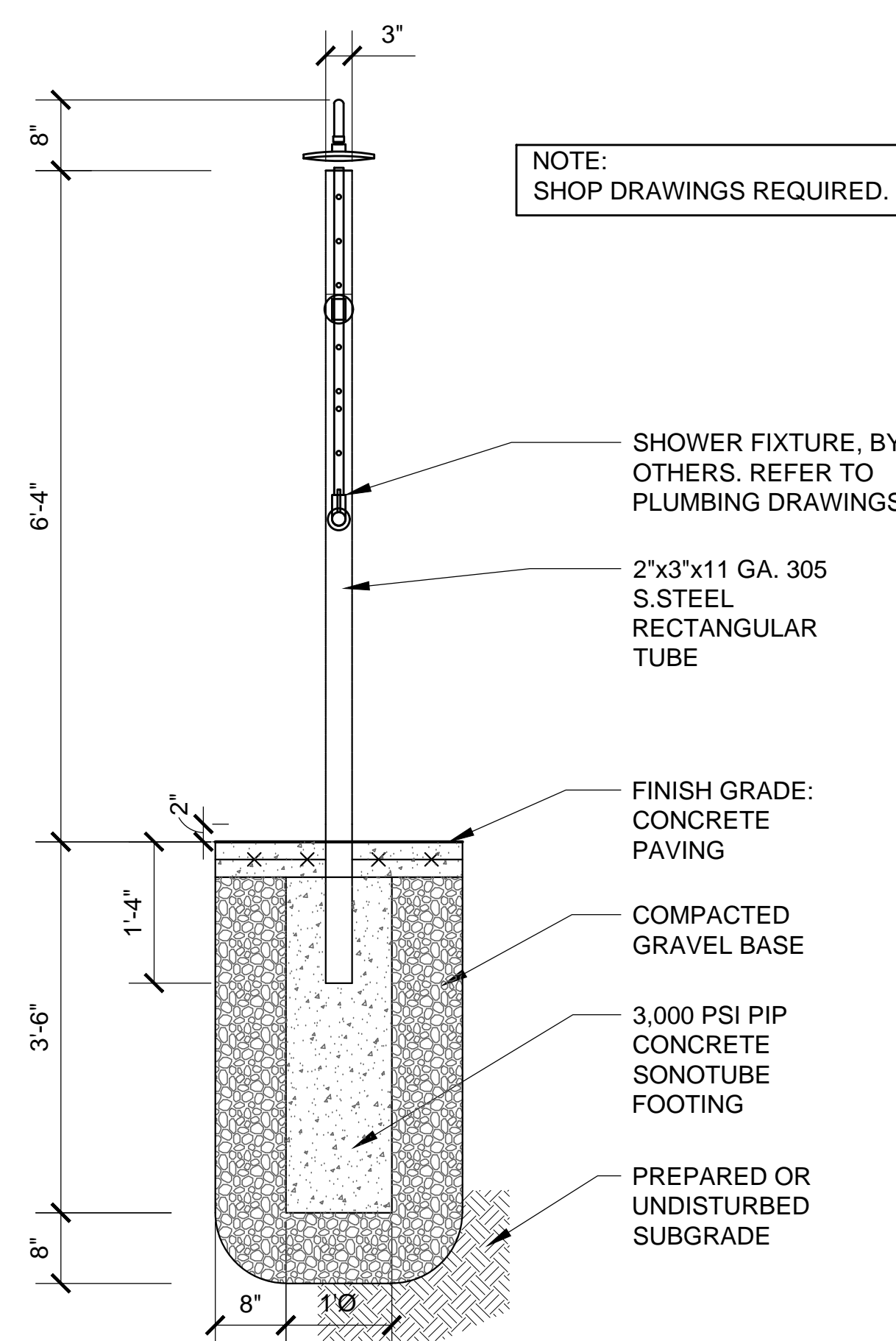
## L4.02

CLEAR CAULK JOINT BETWEEN CENTER HOLE AND FIXTURE  
 STAINLESS ANCHOR BOLTS UNDER PLATE  
 TASK LIGHT  
 2" THICK REINFORCED PRECAST CONCRETE COUNTER TOP DARK GRAY COLOR HONED, POLISHED AND SEALED, ATTACHED TO STEEL FRAME  
 1/2" OXIDIZED ZINC BACKSPASH  
 SS EDGE AT SQ. EDGE OF PRECAST COUNTERTOP.  
 SEAL JOINT WITH TRANSPARENT CAULKING.  
 2x4 NOM. FIRE RATED P.T. WOOD NAILER FRAMING BOLTED TO GALV. STEEL FRAME  
 4"x5" NOM. WOOD CLADDING WITH 1/4" GAP BETWEEN BOARDS. CLADDING SCREWED TO P.T. NAILER FRAMING. COUNTERSINK AND PLUG ALL HOLES WITH WOOD PLUGS TO MATCH CLADDING, TYP. ALL HARDWARE SHALL BE STAINLESS STEEL  
 LIGHT FIXTURE BASE PLATE PLAN  
 SIDE IN ADA GRILL  
 120 VOLT WATERPROOF DUPLEX RECEPTACLE  
 2'-10"  
 3"  
 SS ACCESS DOOR TO LIGHTING  
 2"  
 1/4"  
 3/8"

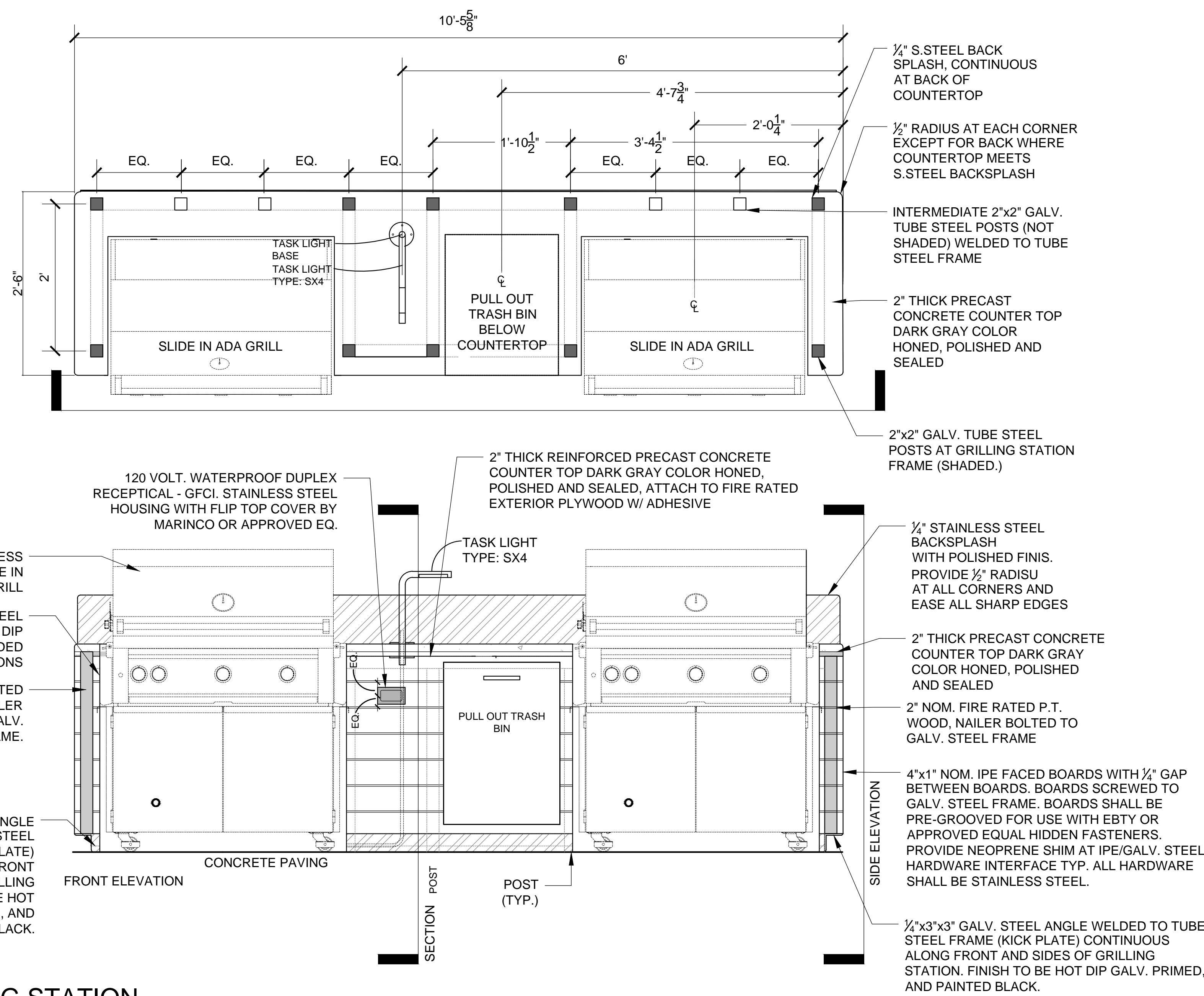
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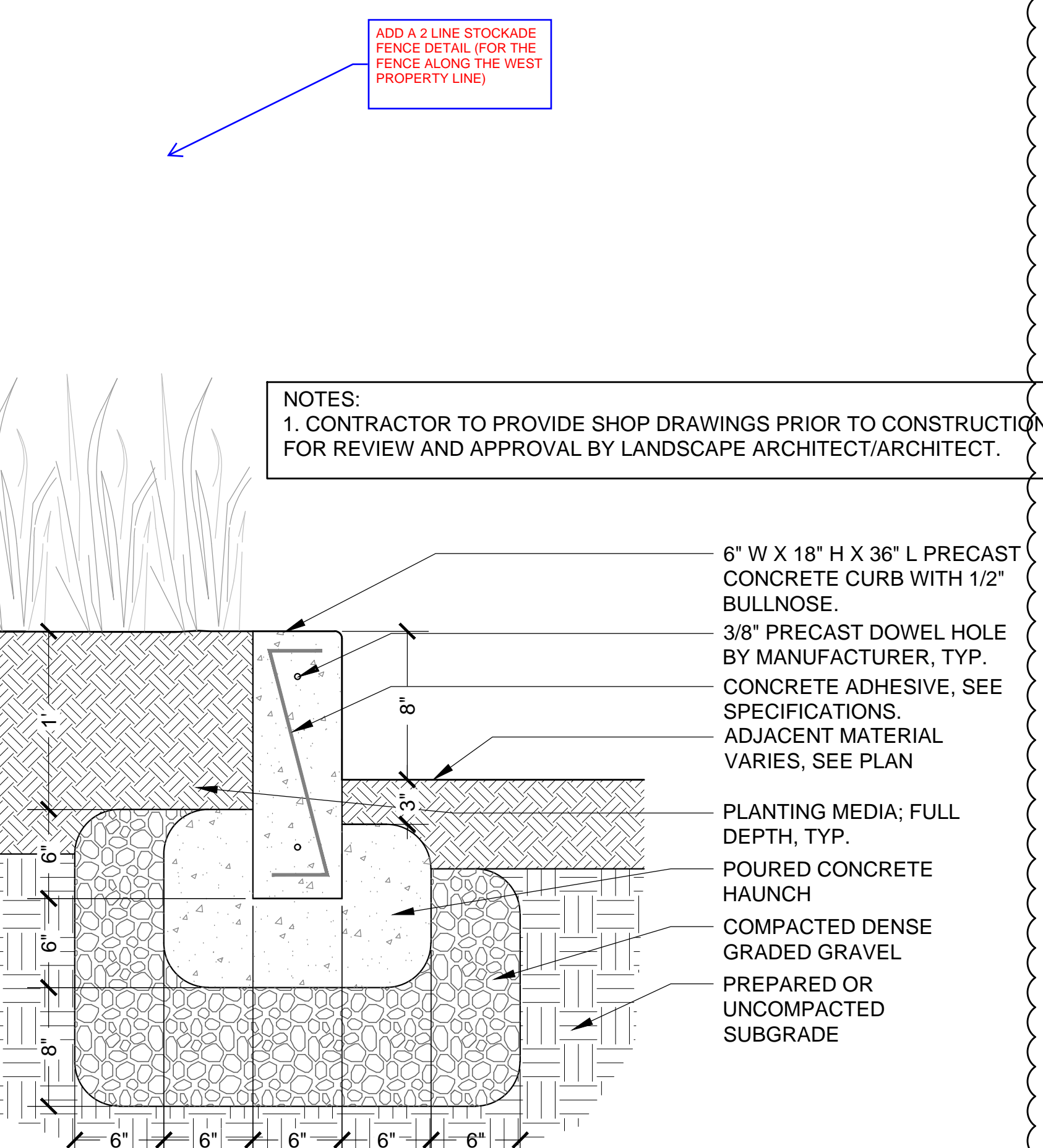
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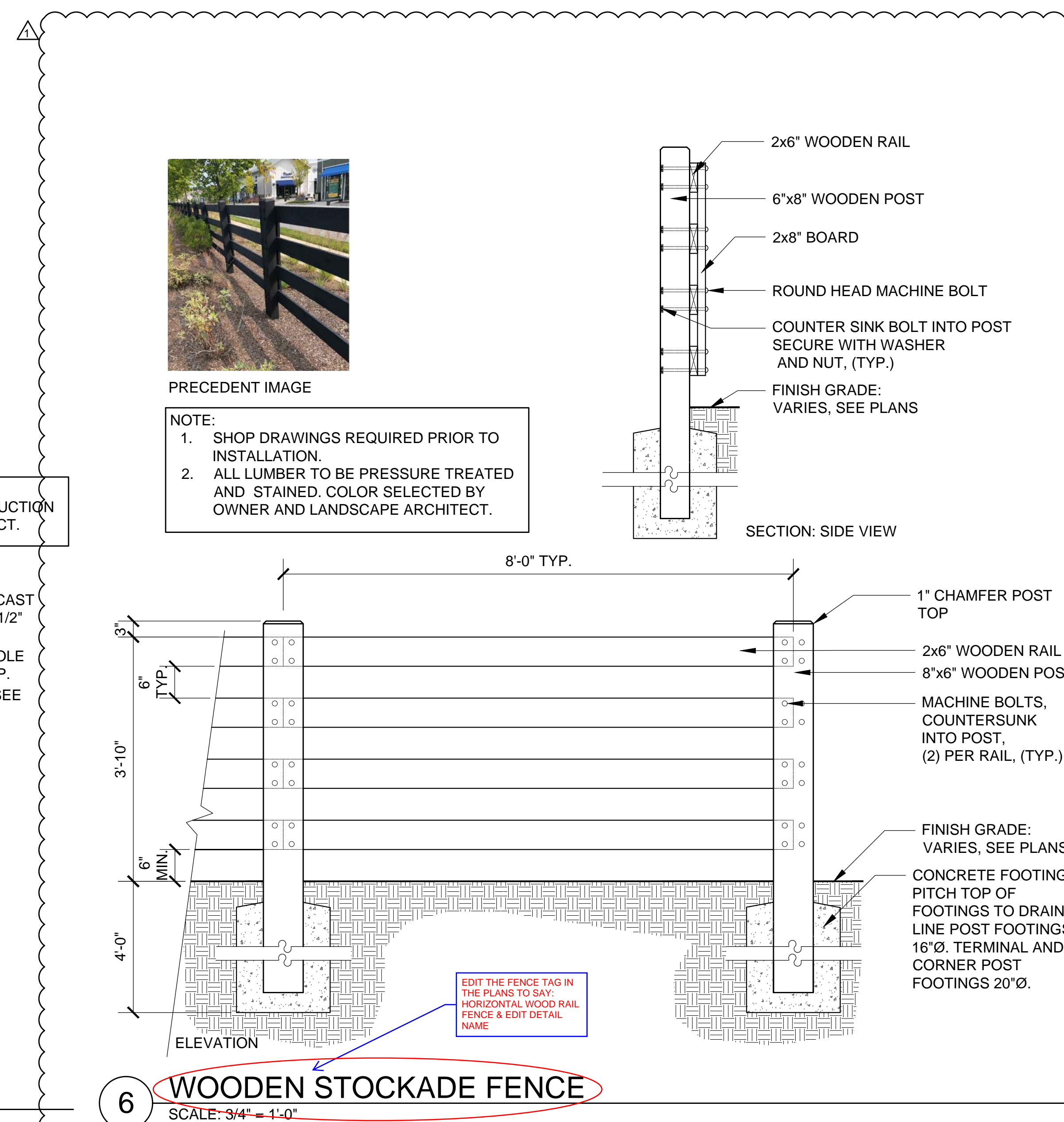
SCALE: 3/4" = 1'-0"



SCALE: 1" = 1'-0"



SCALE: 1-1/2" = 1'-0"



~~SCALE: 3/4" = 1'-0"~~



Consultant:

**WB&A**  
Wozniak & Associates, Inc.  
1076 Washington Street 3rd Floor  
Haverhill, MA 02339  
Tel: (781) 826-4144  
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www.wbanginc.com

Revision:

1 11/09/20 Bulletin #1

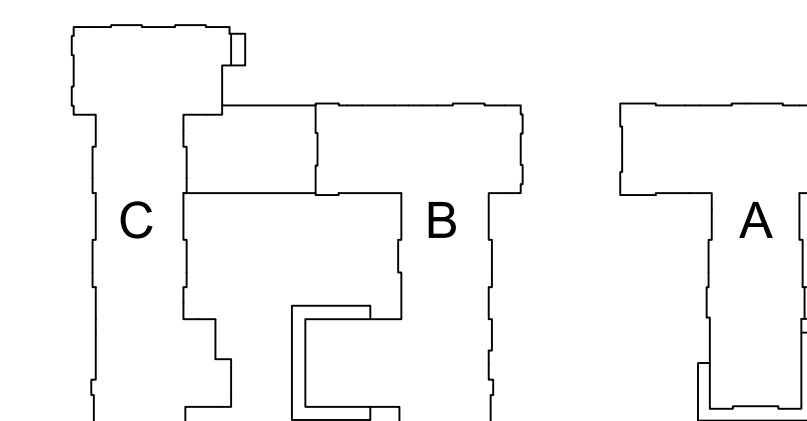
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Drawn: DJQ

Checked: SA

Scale: 1" = 30'-0"

Key Plan:



Project Name:

**ALTA AT RIVER'S  
EDGE**

**490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778**

Sheet Name:

**ELECTRICAL  
SITE LIGHTING &  
POWER PLAN**

Project Number:

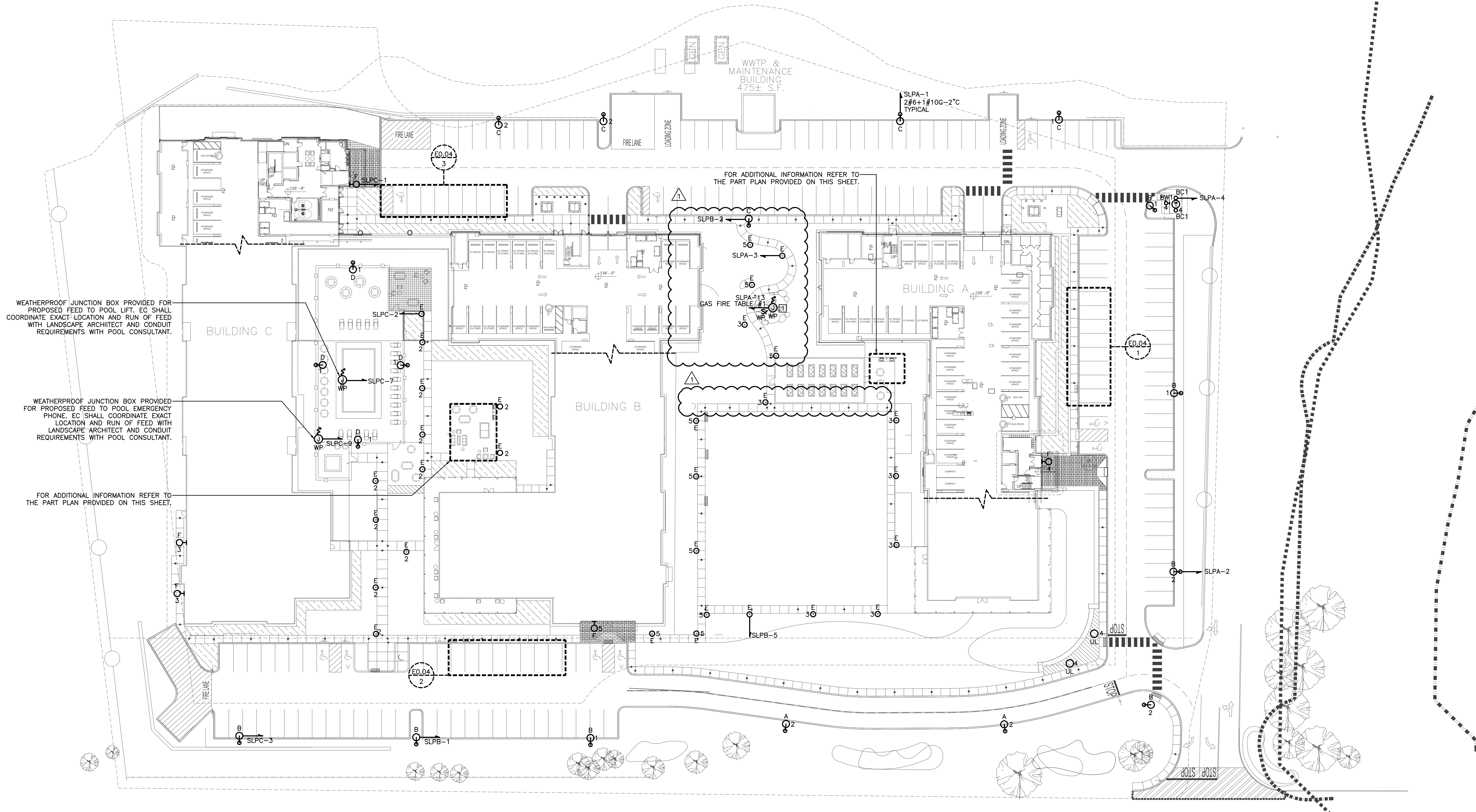
**15151.00**

Issue Date:

**SEPTEMBER 23, 2020**

Sheet Number:

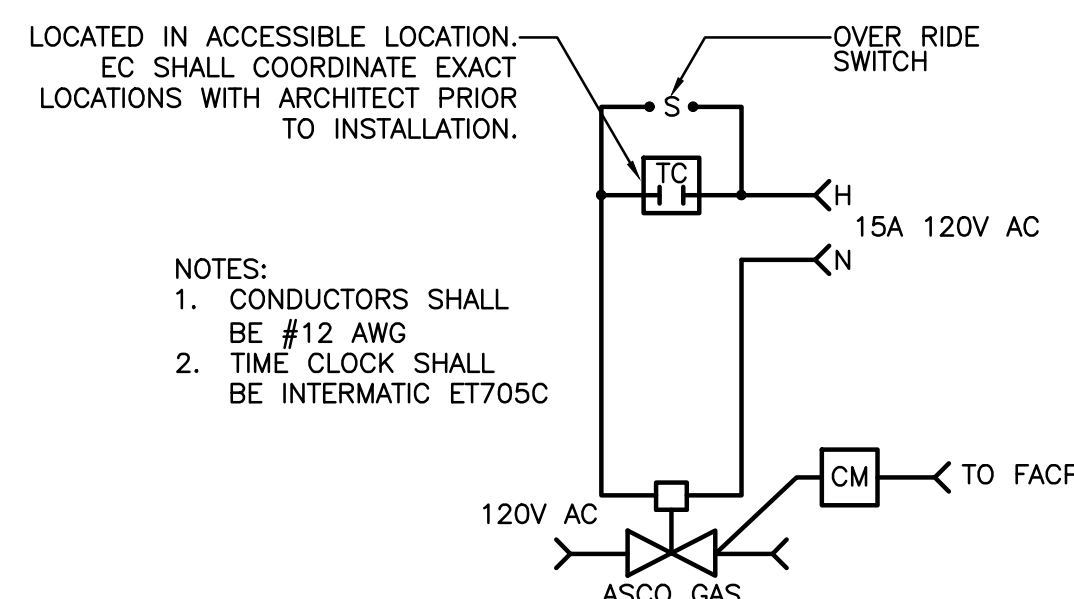
**E0.03**



LIGHTING SCHEDULE						
TYPE	QTY	PART NUMBER	MH	LUMENS	LLF	DESCRIPTION
A	2	PCADL-136LED-4K-3	20'	15677	0.950	136W 4000K LED URBAN TYPE 3
B	9	PCADL-136LED-4K-4	20'	16048	0.950	136W 4000K LED URBAN TYPE 4
C	5	PCPAL-135LED-4K-4W	20'	15573	0.950	135W 4000K LED VIPER TYPE 4W
D	4	PCADS-55LED-4K-3	20'	6250	0.950	55W 4000K LED URBAN TYPE 3
E	31	PCBOR-ASY-4K	3' GRD	941	0.950	31W 4000K ROUND LED BOLLARD ASYMMETRICAL
F	5	P5635-2030K9	7'	352	0.950	9W LED CORNICE WALL SCONCE
UL	2	PCOLF-15LED-3K-KM-BZ	GRD	1507	0.950	15W 3000K LED FLOOD LIGHT

BUS SHELTER LIGHTING FIXTURE SCHEDULE						
MOUNTING	FLUORESCENT	INCANDESCENT/HID	EXIT			
RECESSED	FR	R	XR			
CEILING/SURFACE	FC	C	XC			
PENDANT/SUSPENDED	FP	P	XP			
WALL	FW	W	XW			
TRACK	FT	T				

TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	NUMBER	TYPE	VOLTS	WATTS	REMARKS
BW1	ONE LIGHT LED SMALL WALL LANTERN	PROGRESS LIGHTING P560136-031-30	-	LED	120	11	EC SHALL CONFIRM EXACT LOCATION AND FINAL SELECTION WITH ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. FIXTURE SHALL BE ON 24/7
BC1	INTERIOR CEILING MOUNTED PUCK LIGHT	UTON LQMPD7R (FINISH) T30	-	LED	120	-	EC SHALL CONFIRM EXACT LOCATION AND FINAL SELECTION WITH ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. CONTROLLED VIA OCCUPANCY SENSOR



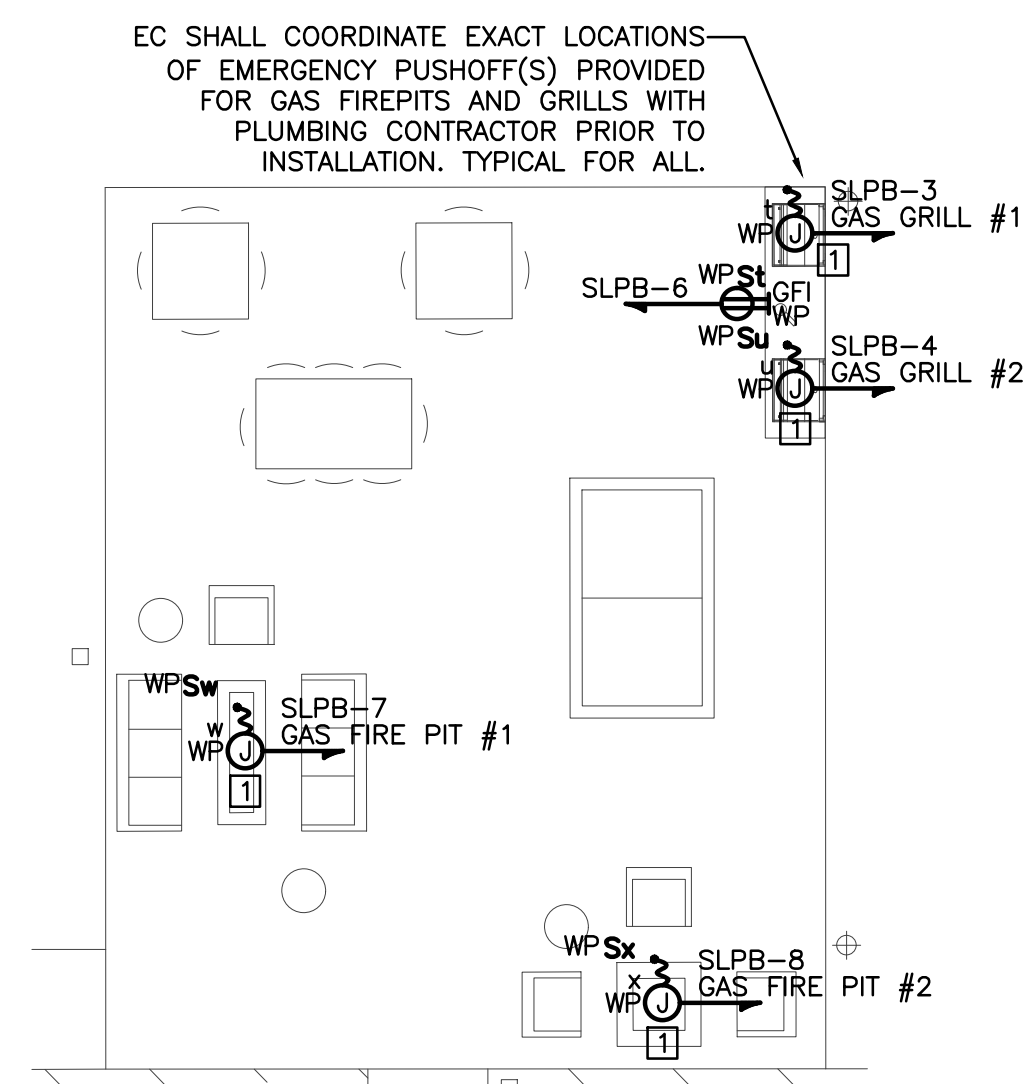
**GAS GRILLS VALVE  
WIRING DETAIL**  
SCALE: NONE

**ELECTRICAL KEYED NOTES:**

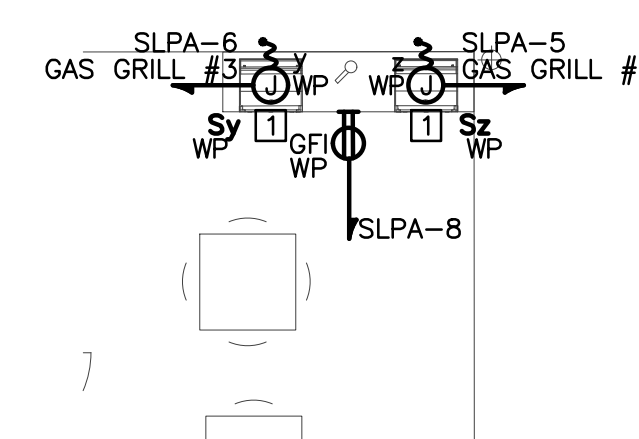
1. ELECTRICAL CONTRACTOR SHALL PROVIDE WEATHERPROOF JUNCTION BOXES AND IGNITION SWITCH FOR INDOOR/OUTDOOR FIREPLACE. COORDINATE WITH PLUMBING CONTRACTOR AND ARCHITECT FOR EXACT LOCATION PRIOR TO INSTALLATION. ALSO PROVIDE CONTROL MODULE TIED INTO FIRE ALARM SYSTEM FOR GAS SOLENOID SHUT-OFF TYPICAL. REFER TO GAS FIRE PIT/GRILL VALVE WIRING DETAIL PROVIDED ON THIS SHEET.



IMAGE OF SITE LIGHT FIXTURE TYPE A & B



1 Electrical Courtyard Part Plan  
Scale: 1/8"=1'-0"

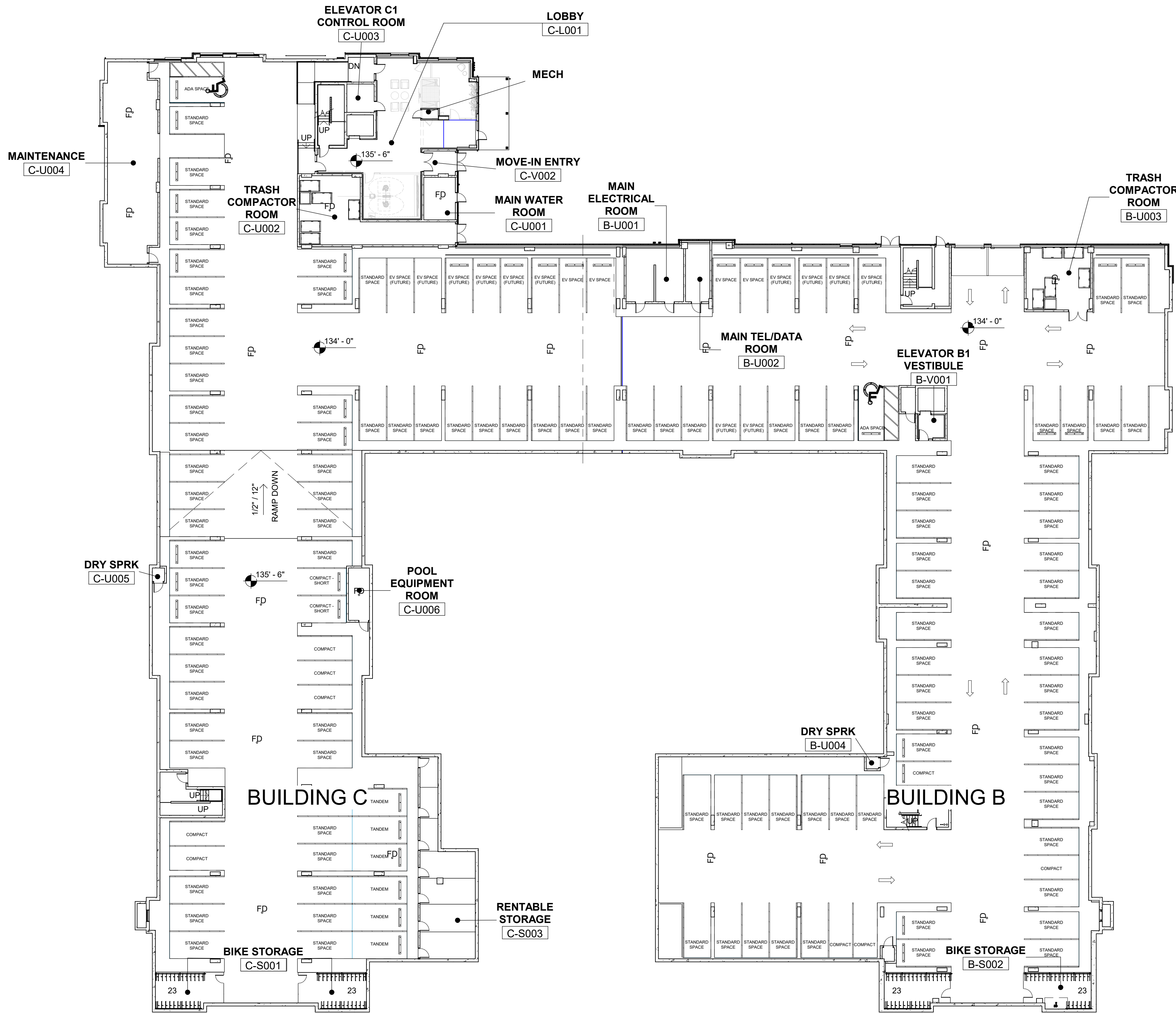


2 Electrical Courtyard Part Plan  
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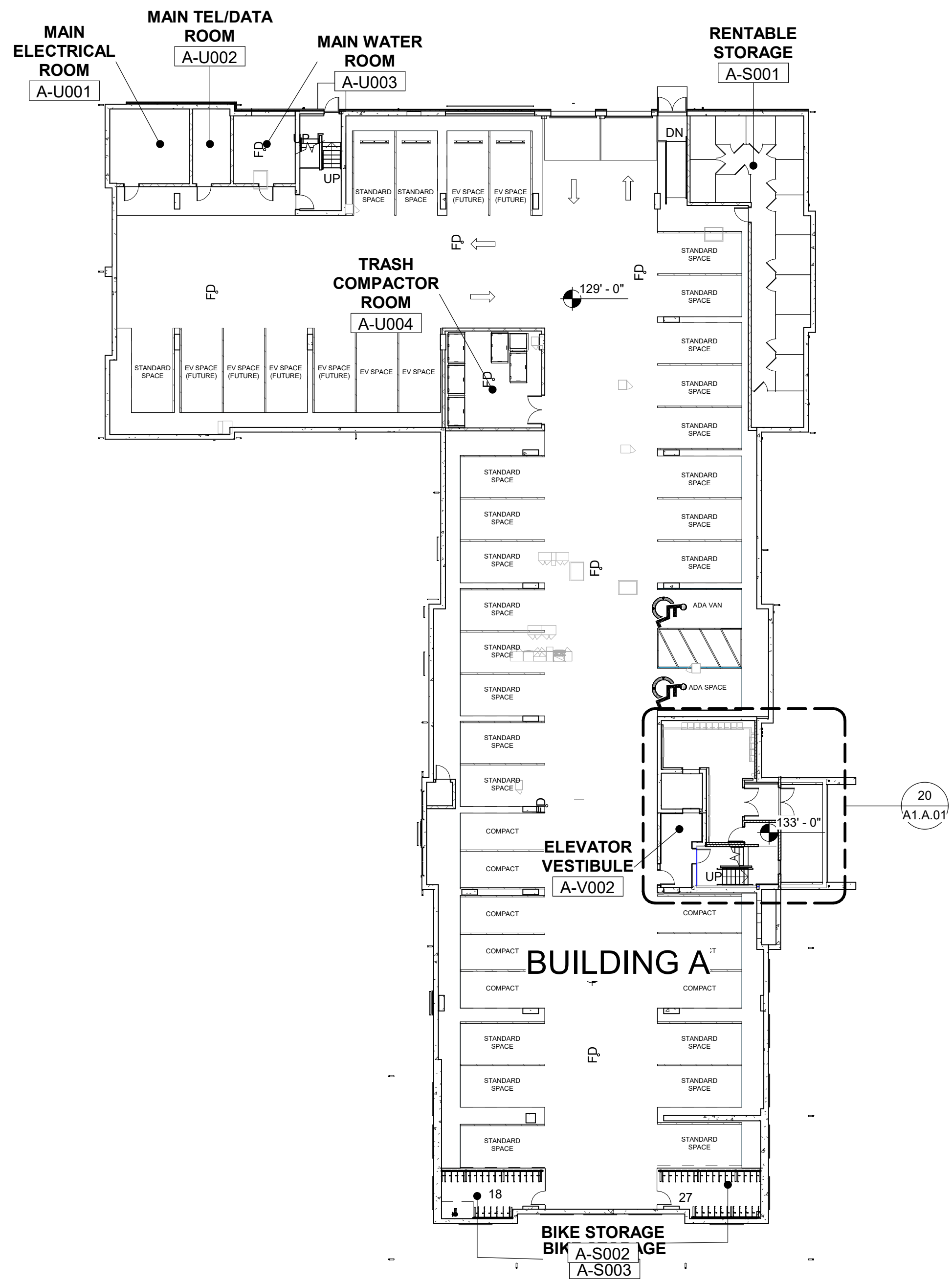
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GARAGE PARKING SCHEDULE	
REMARKS	# of SPACES
BLDG A - LEVEL G	
ADA SPACE	1
ADA VAN	1
COMPACT	8
EV SPACE	2
EV SPACE (FUTURE)	6
STANDARD SPACE	25
	43
BLDG B - LEVEL G	
ADA SPACE	1
COMPACT	4
EV SPACE	4
EV SPACE (FUTURE)	12
STANDARD SPACE	62
	83
BLDG C - LEVEL G	
ADA SPACE	1
COMPACT	5
COMPACT - SHORT	2
STANDARD SPACE	41
TANDEM	6
	55



494 BOSTON POST ROAD

492 BOSTON POST ROAD



490 BOSTON POST ROAD



tat

50 Commandant's Way at Admiral's Hill  
Chelsea MA 02150  
O 617.889.4402  
F 617.884.4329  
architecturalteam.com

Consultant:

Revision:

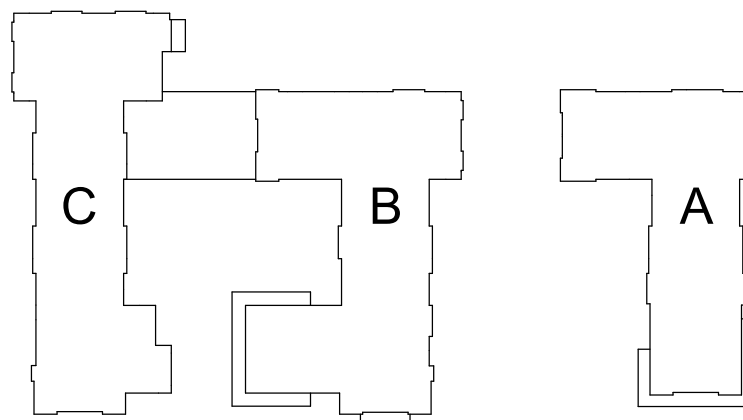
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Drawn: AS

Checked: AS

Scale: 1" = 20'-0"

Key Plan:



Project Name:

ALTA AT RIVER'S  
EDGE

490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778

Sheet Name:

OVERALL PLAN - LEVEL  
G

Project Number:

15151.00

Issue Date:

SEPTEMBER 23, 2020

Sheet Number:

A1.00



Consultant:

Revision:

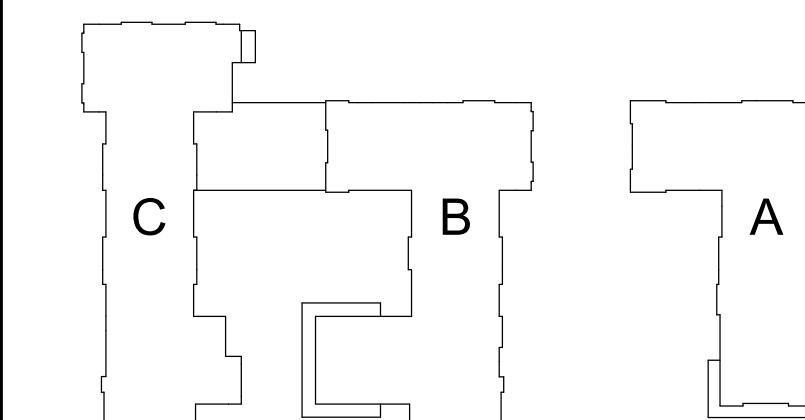
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Drawn: AS

Checked: AS

Scale: As indicated

Key Plan:



Project Name:

ALTA AT RIVER'S  
EDGE

490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778

Sheet Name:

OVERALL PLAN - LEVEL  
1

Project Number:

15151.00

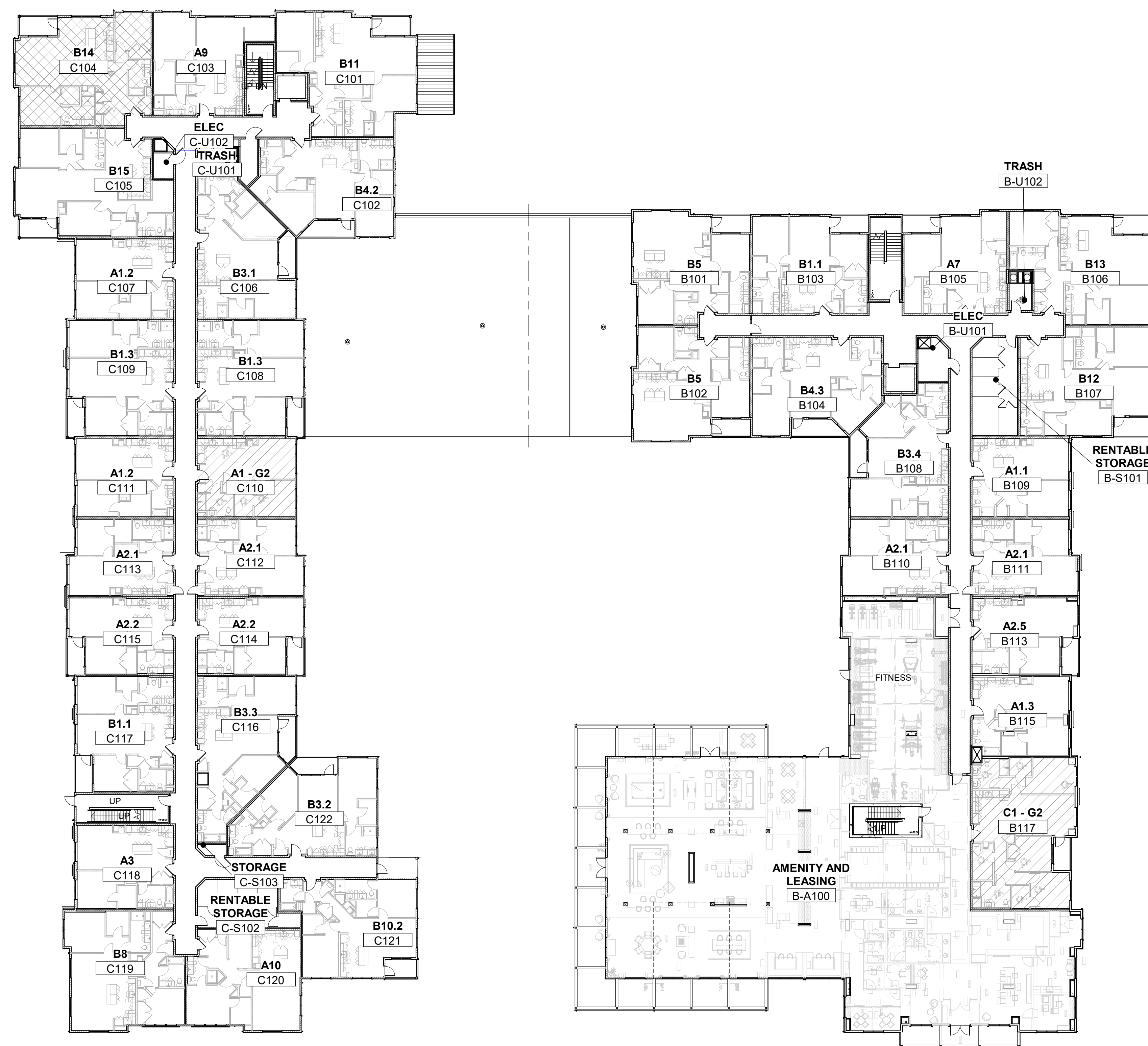
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SEPTEMBER 23, 2020

Sheet Number:

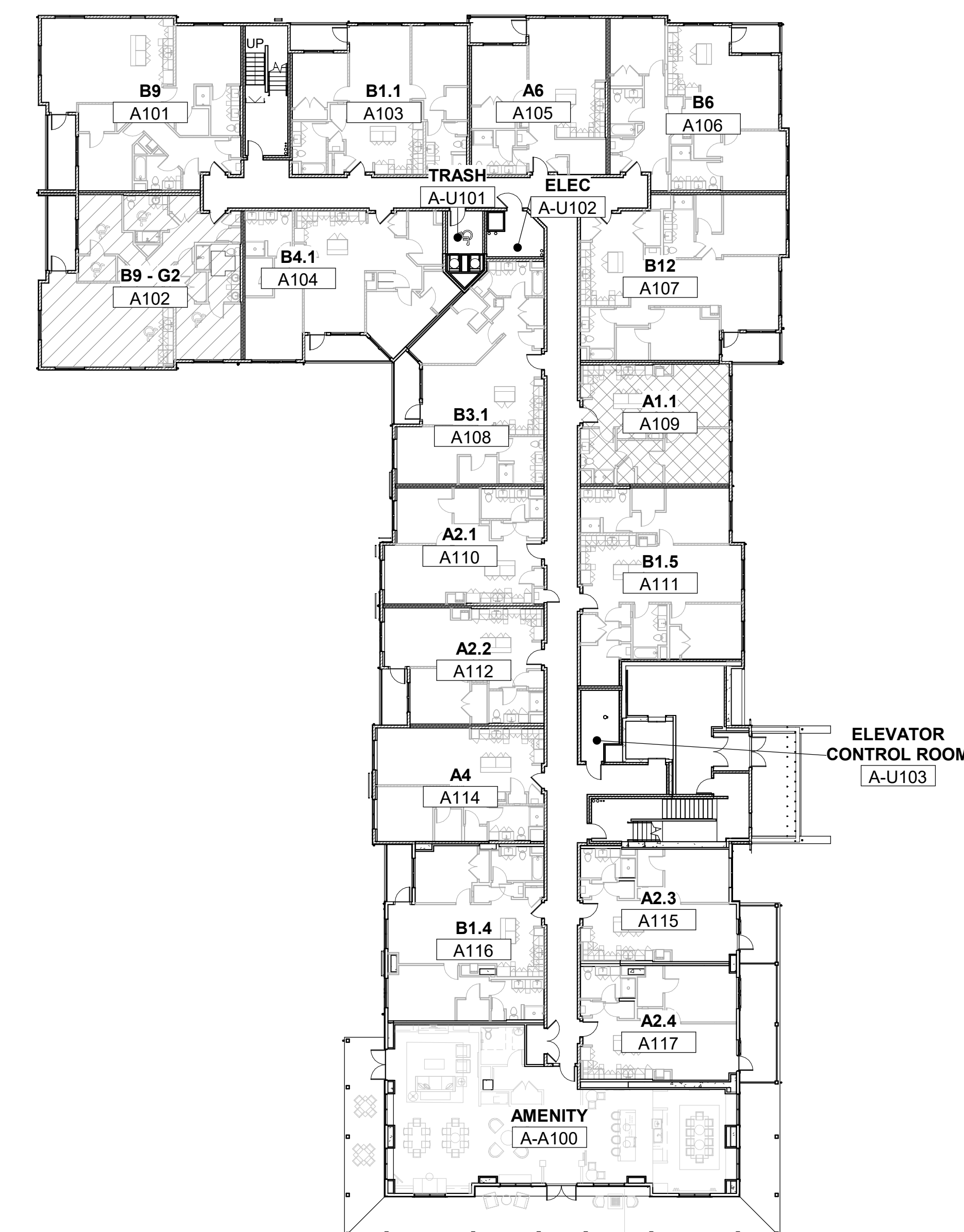
A1.01

DENOTES GROUP 2 UNIT LOCATION  
DENOTES HEARING IMPAIRED UNIT LOCATION



BUILDING C  
494 BOSTON POST ROAD

BUILDING B  
492 BOSTON POST ROAD



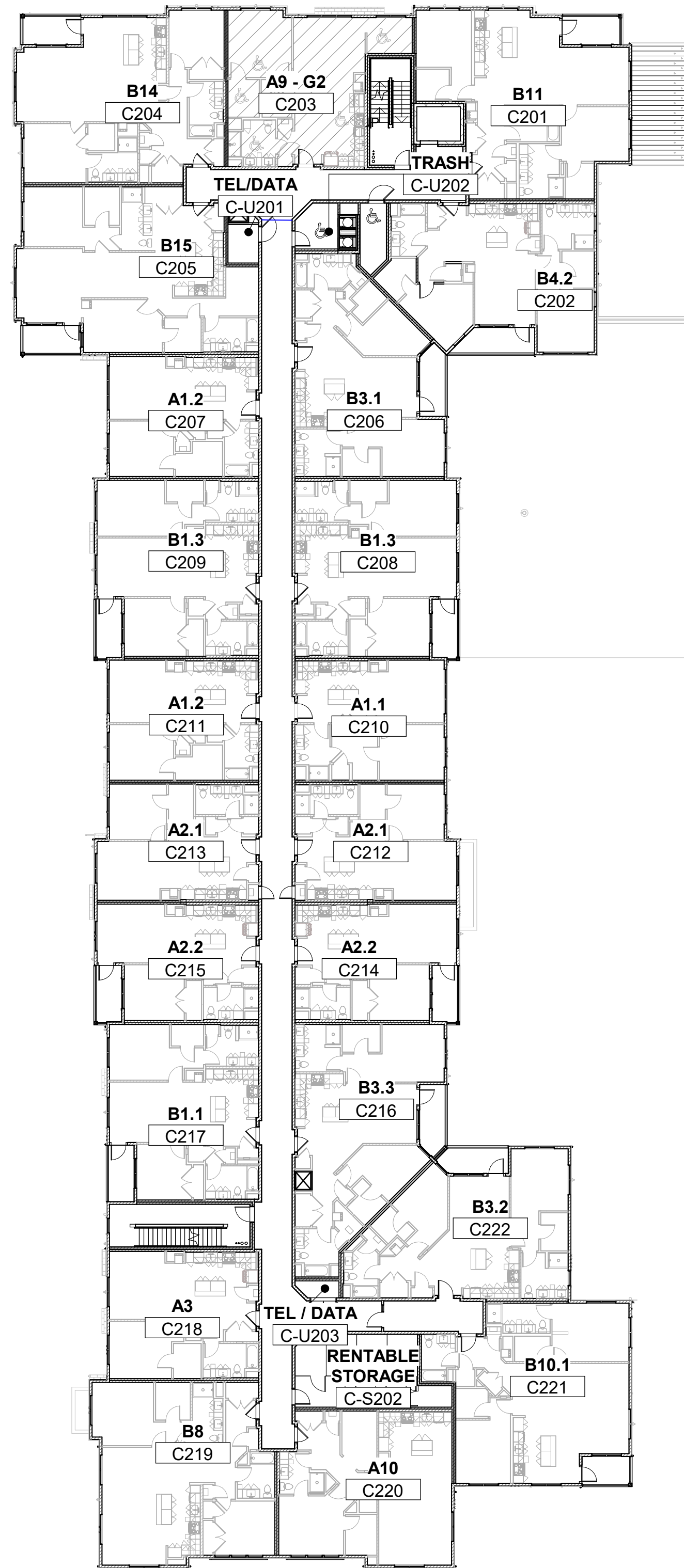
BUILDING A  
490 BOSTON POST ROAD



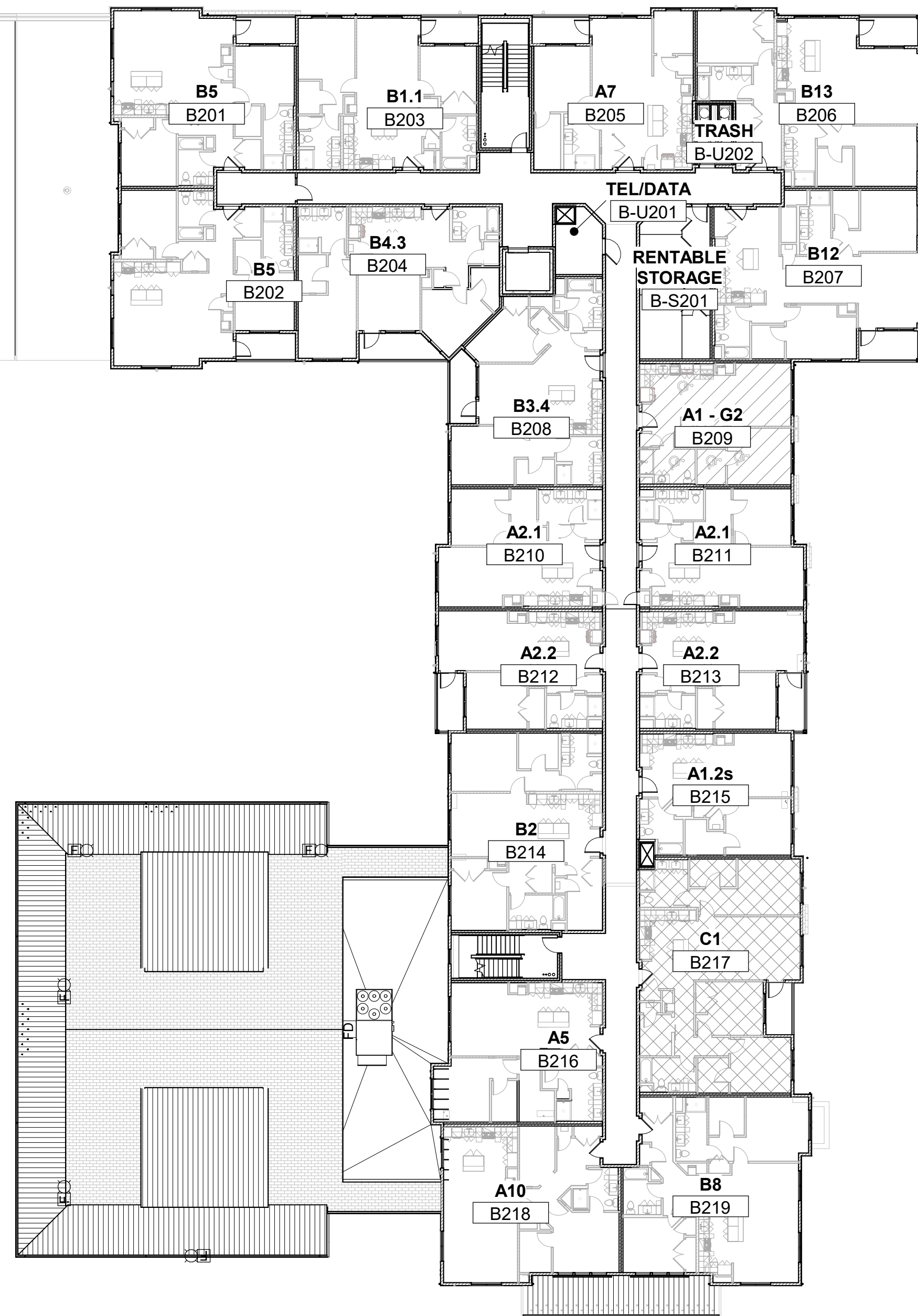
PROJECT  
NORTH



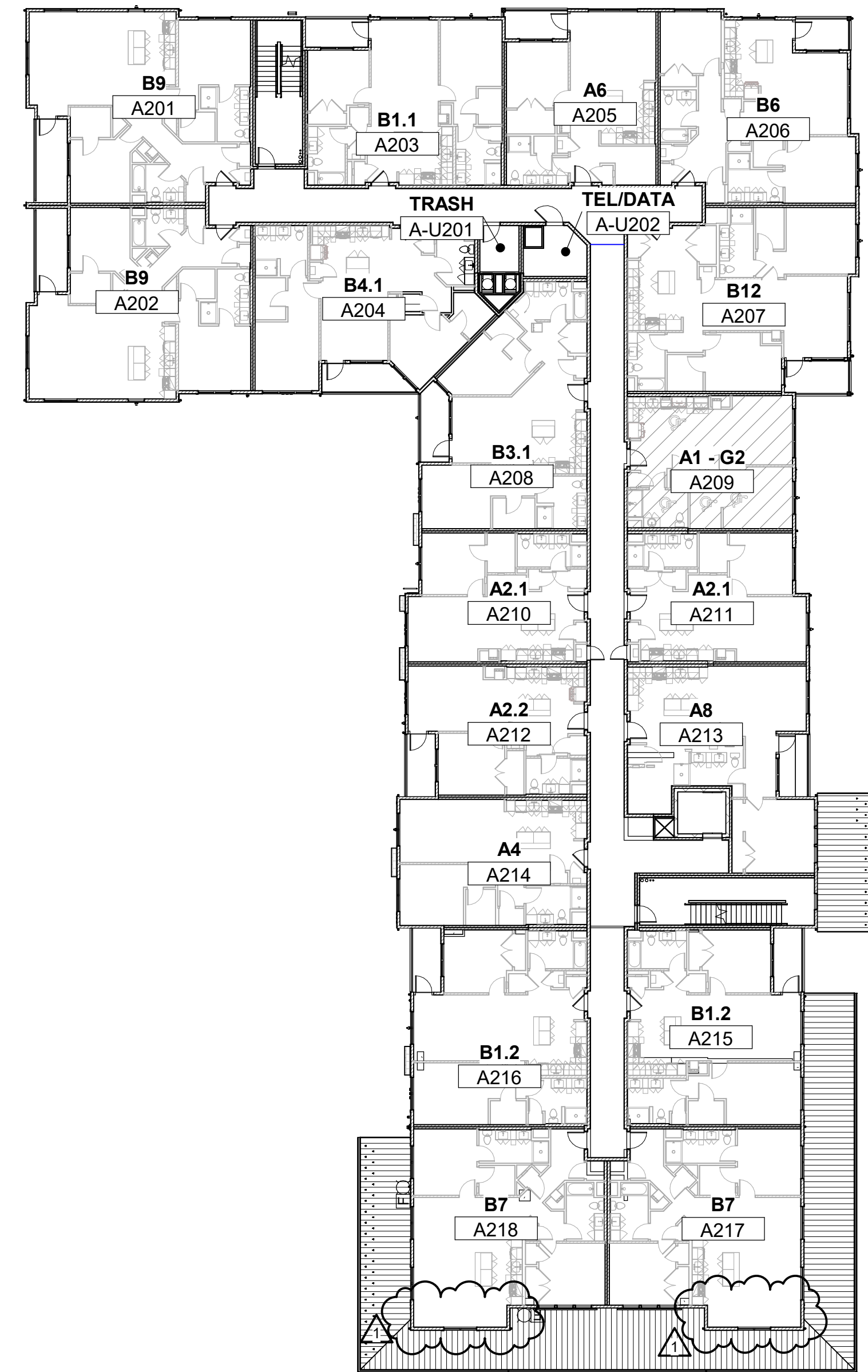
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BUILDING C  
494 BOSTON POST ROAD



BUILDING B  
492 BOSTON POST ROAD



BUILDING A  
490 BOSTON POST ROAD

DENOTES GROUP 2 UNIT LOCATION  
DENOTES HEARING IMPAIRED UNIT LOCATION

tat

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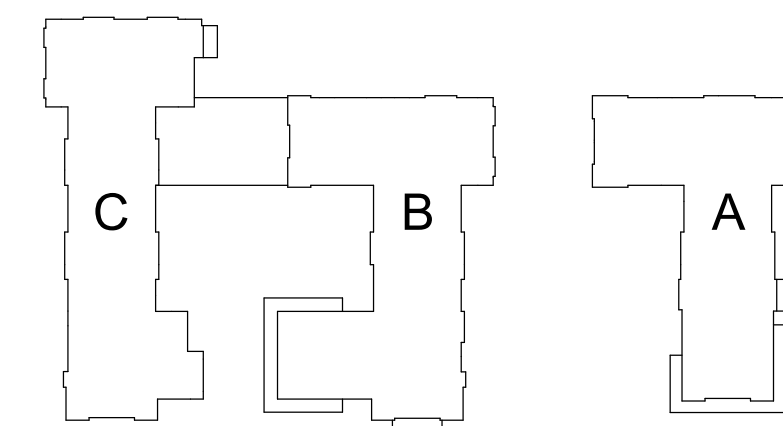
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Key Plan:



Project Name:

ALTA AT RIVER'S  
EDGE

490, 492, 494 BOSTON  
POST RD  
WAYLAND, MA 01778

Sheet Name:

OVERALL PLAN - LEVEL  
2

Project Number:

15151.00

Issue Date:

SEPTEMBER 23, 2020

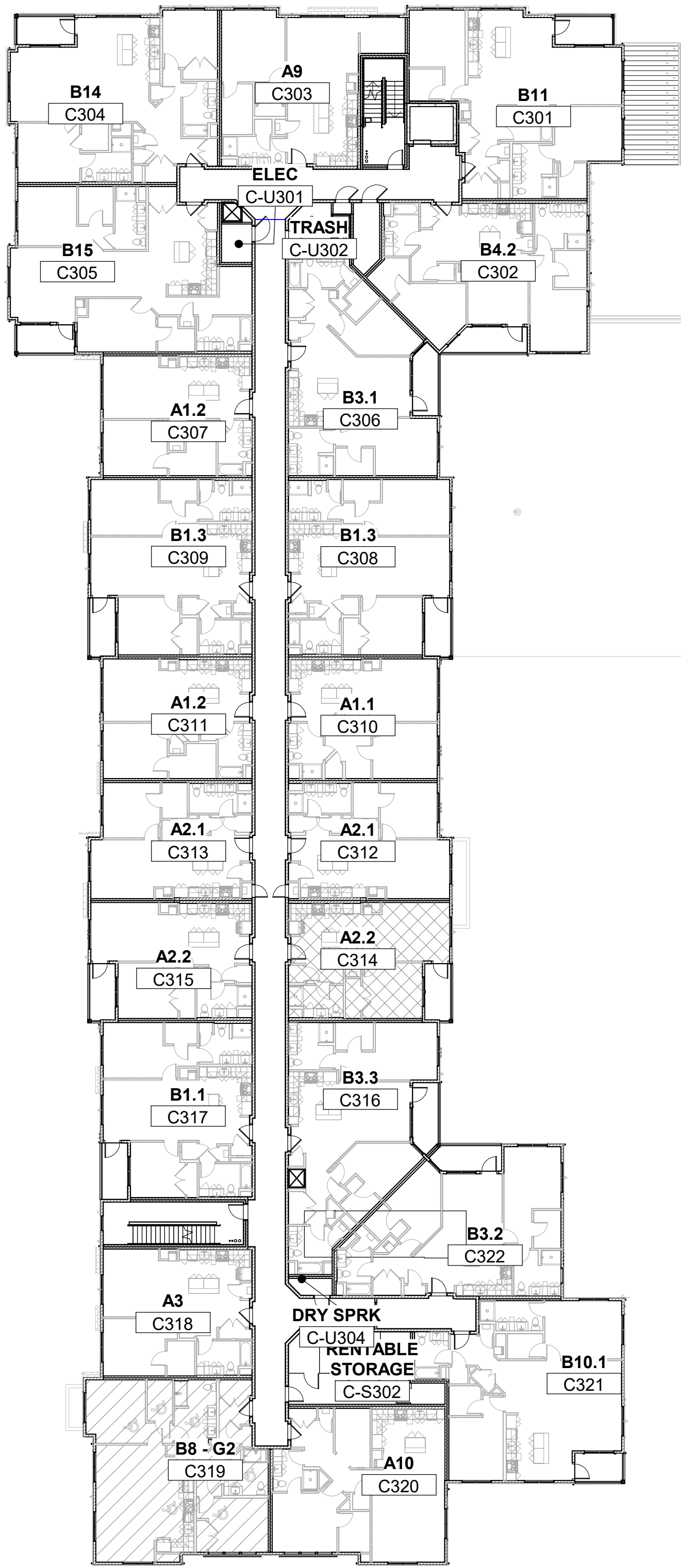
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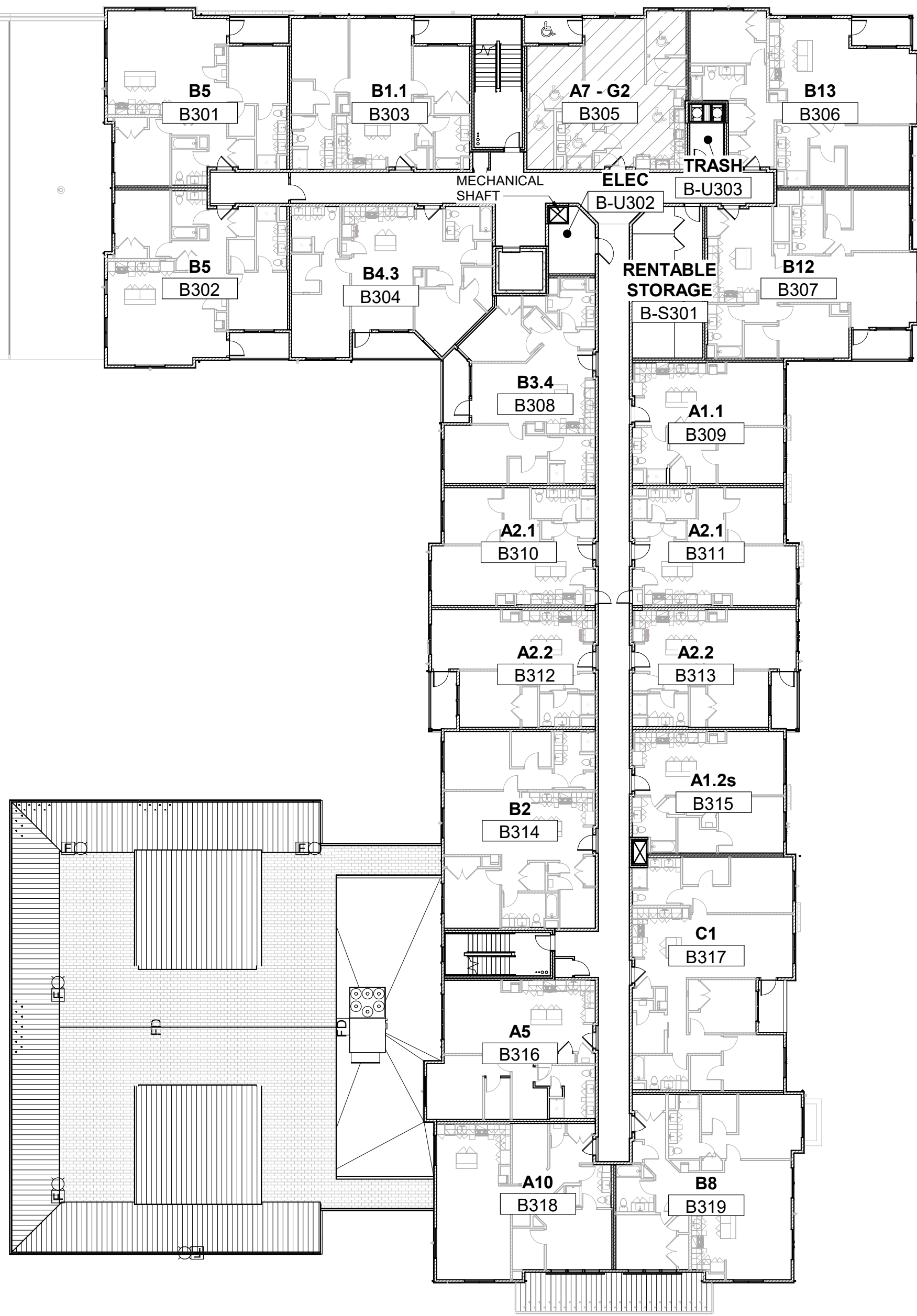




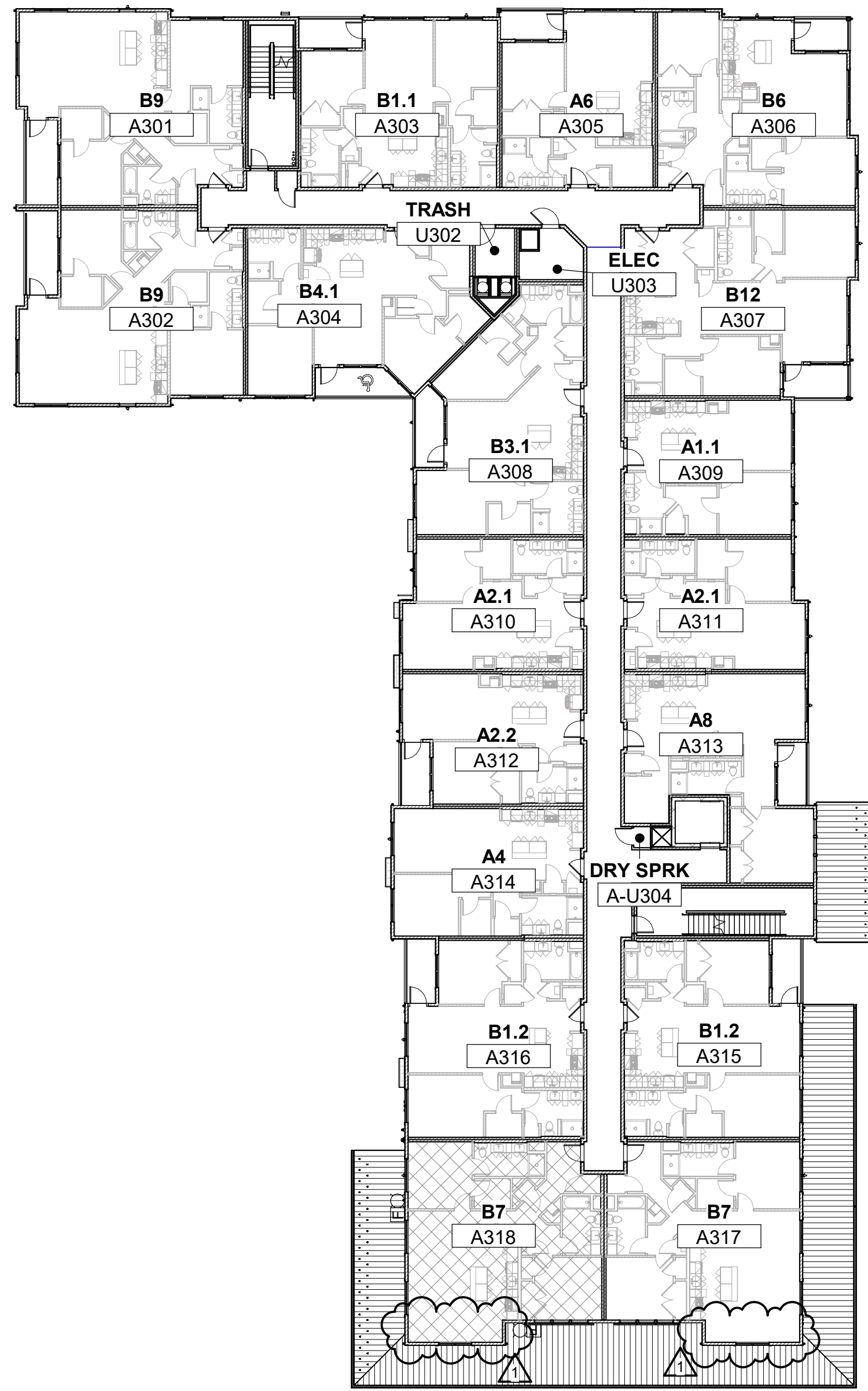
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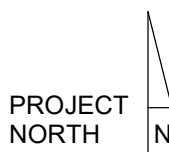
BUILDING C  
494 BOSTON POST ROAD



BUILDING B  
492 BOSTON POST ROAD



BUILDING A  
490 BOSTON POST ROAD



DENOTES GROUP 2 UNIT LOCATION  
DENOTES HEARING IMPAIRED UNIT LOCATION

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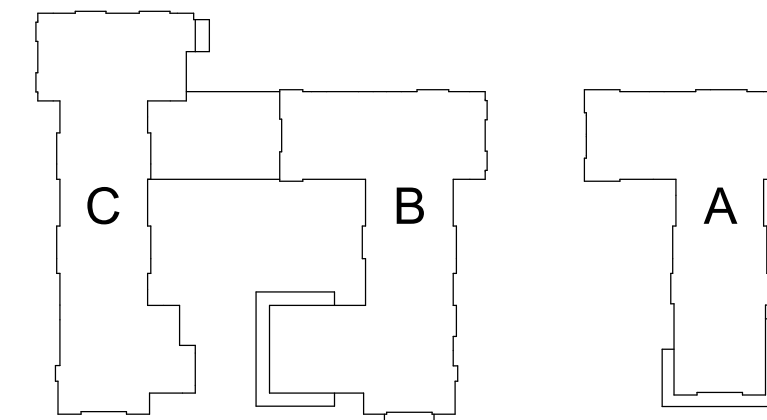
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ALTA AT RIVER'S  
EDGE

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Sheet Name:

OVERALL PLAN - LEVEL  
3

Project Number:

15151.00

Issue Date:



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 DENOTES GROUP 2 UNIT LOCATION  
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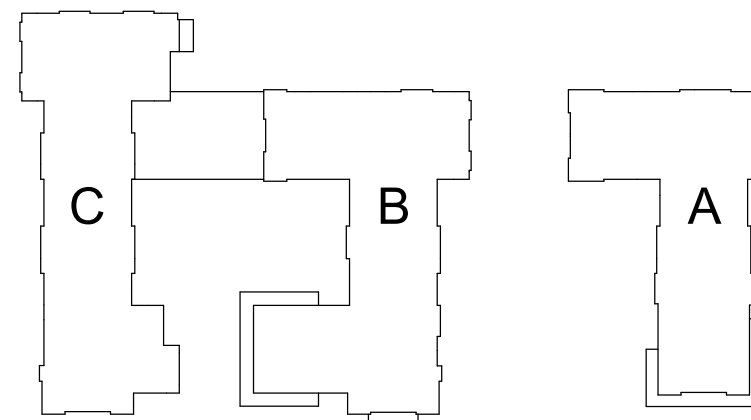
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Key Plan:



Project Name:

ALTA AT RIVER'S  
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WAYLAND, MA 01778

Sheet Name:

OVERALL PLAN - LEVEL  
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Project Number:

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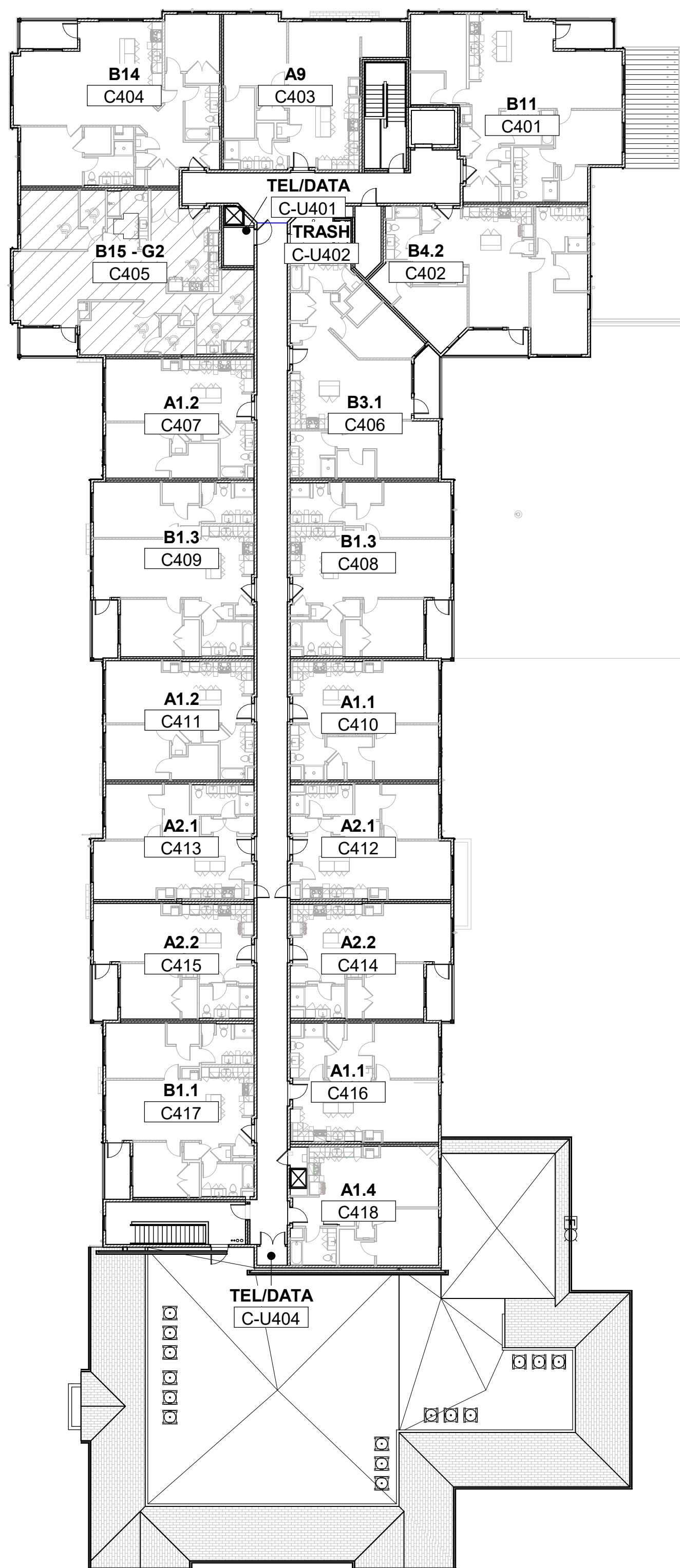
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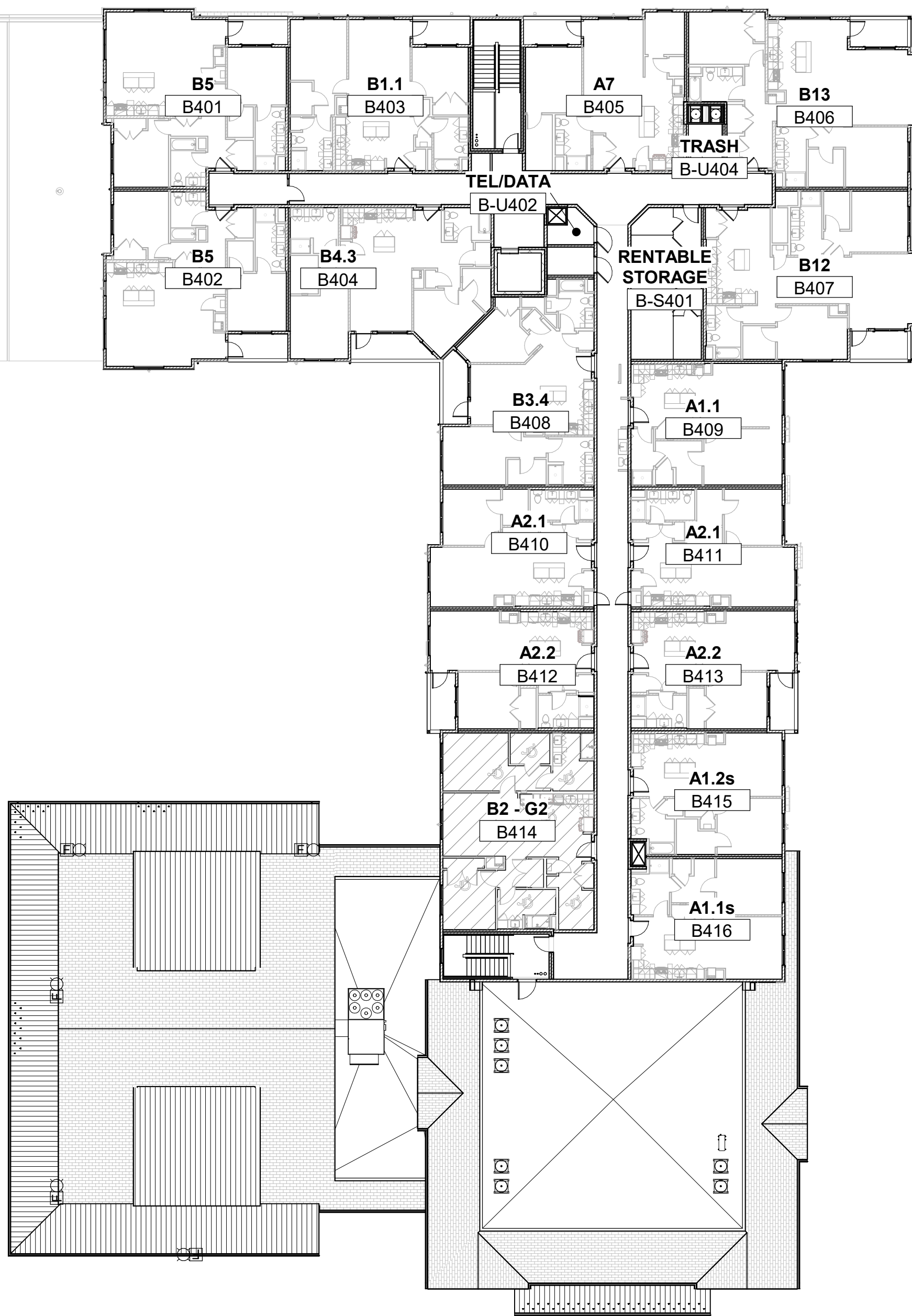
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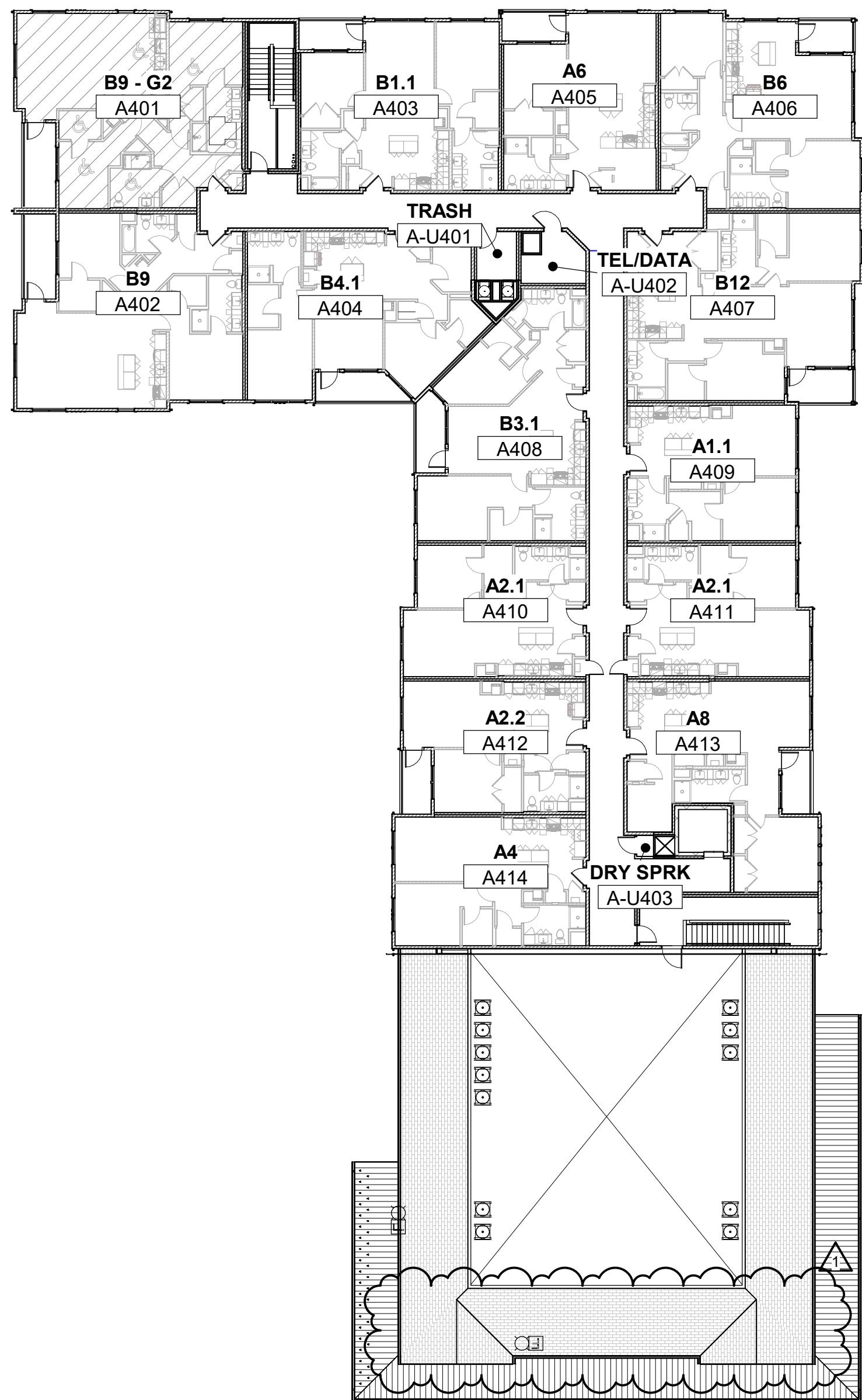
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BUILDING C  
494 BOSTON POST ROAD



BUILDING B  
492 BOSTON POST ROAD



BUILDING A  
490 BOSTON POST ROAD



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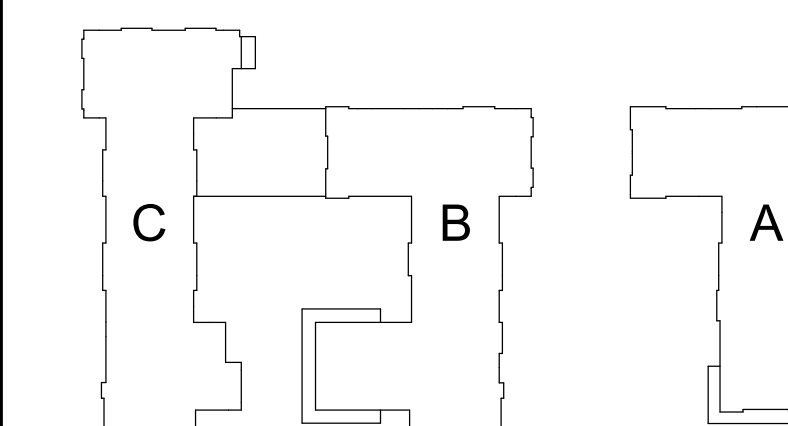
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WAYLAND, MA 01778

Sheet Name:

**OVERALL PLAN - ROOF**

Project Number:

15151.00

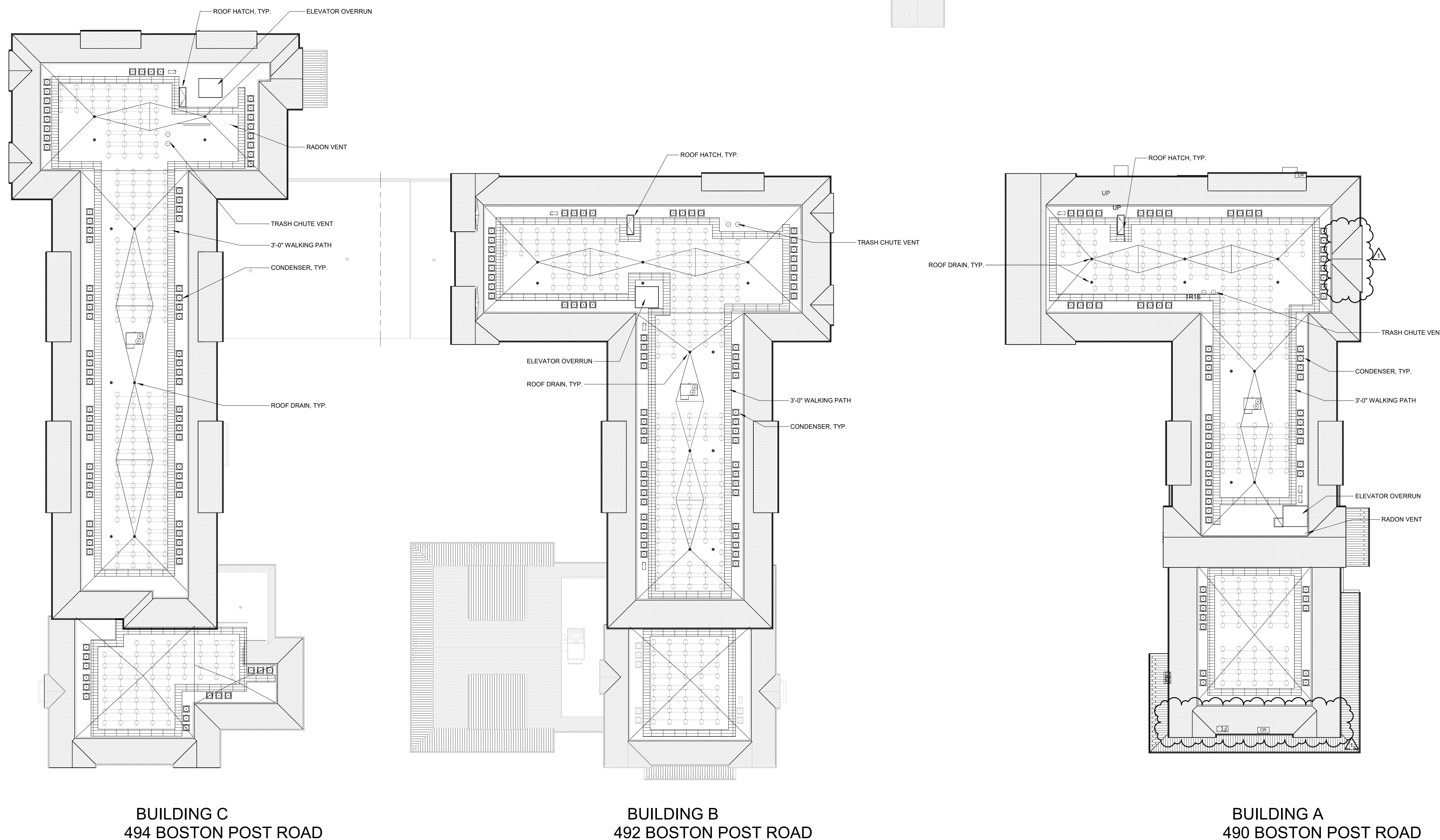
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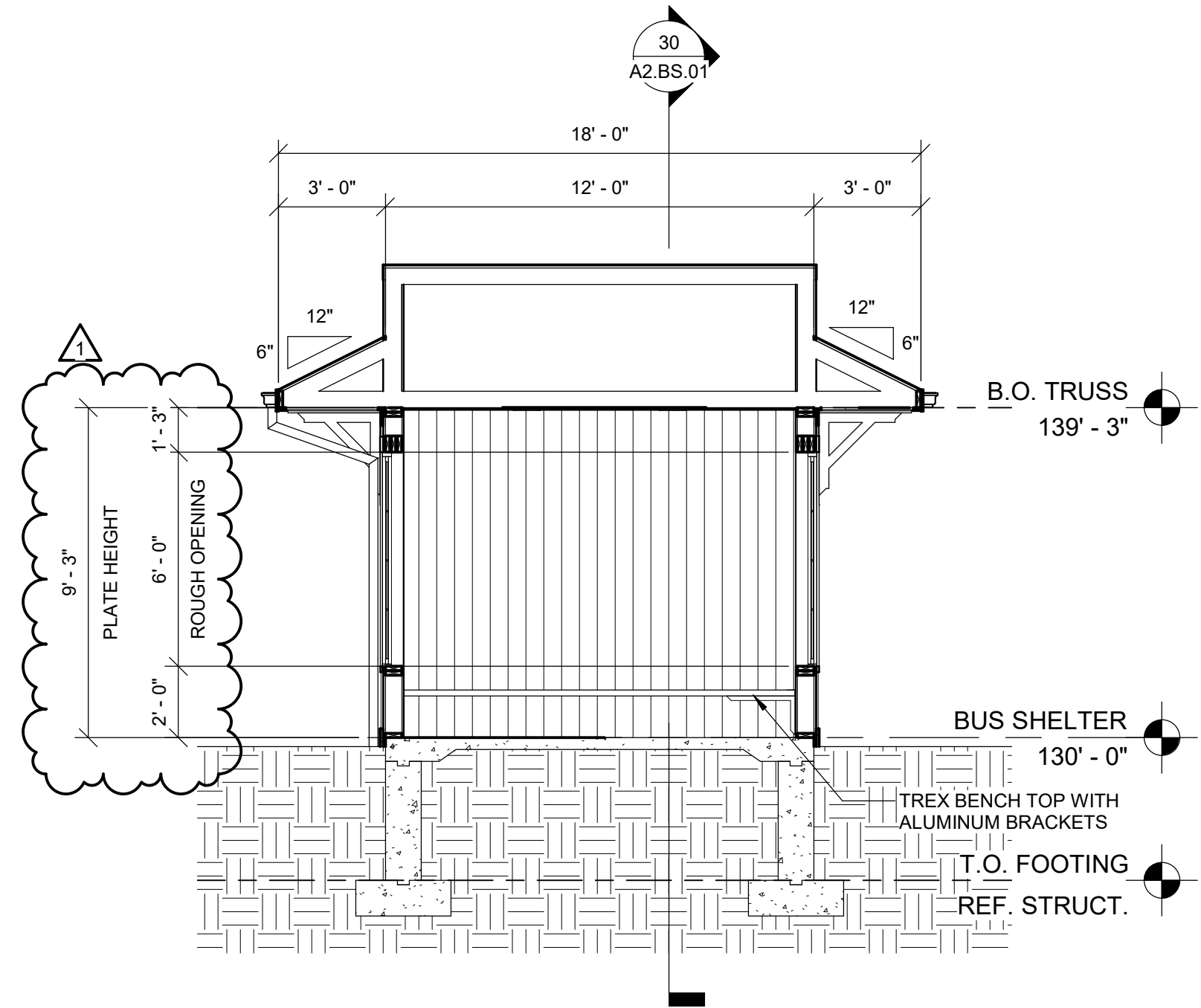
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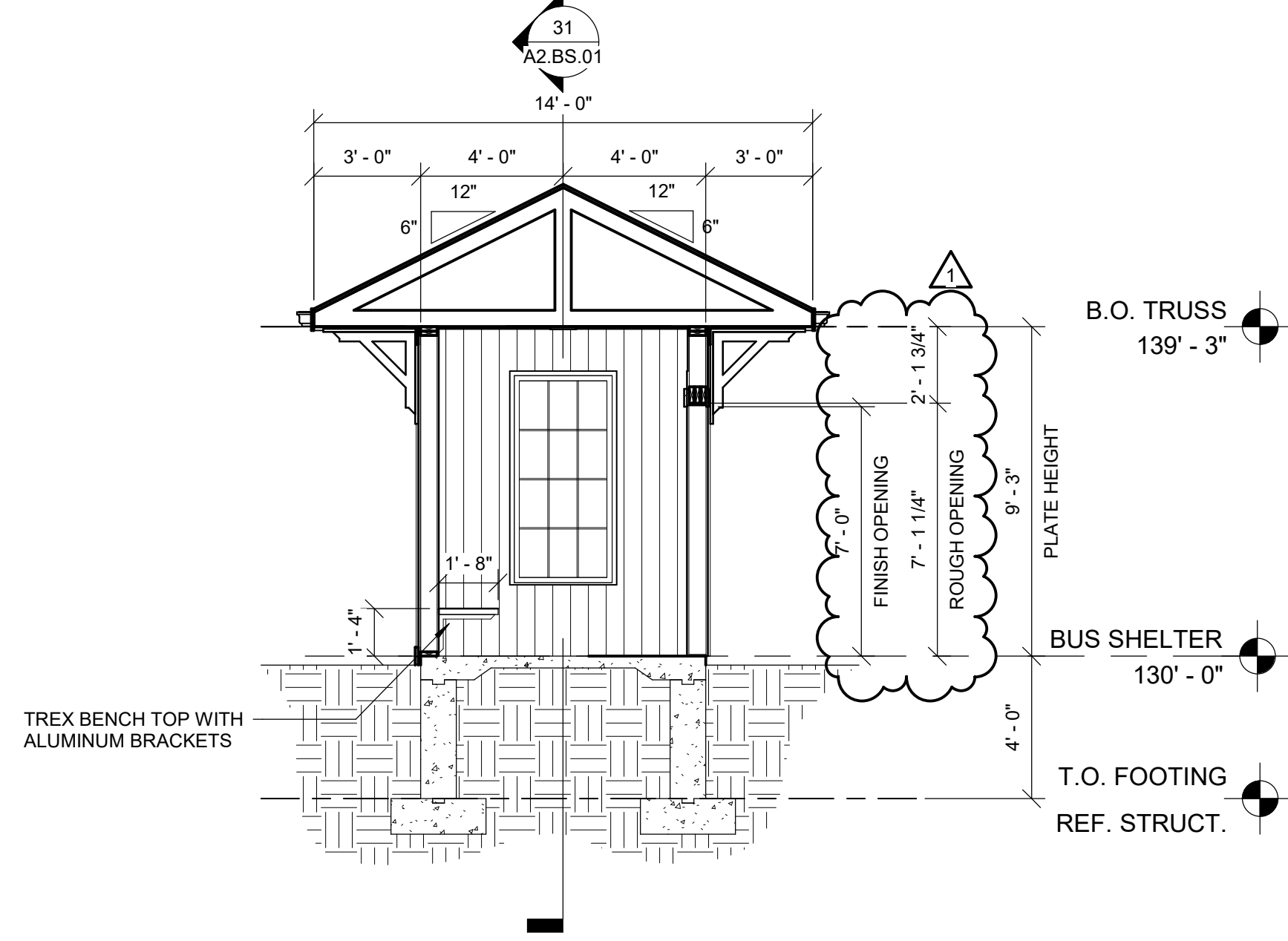


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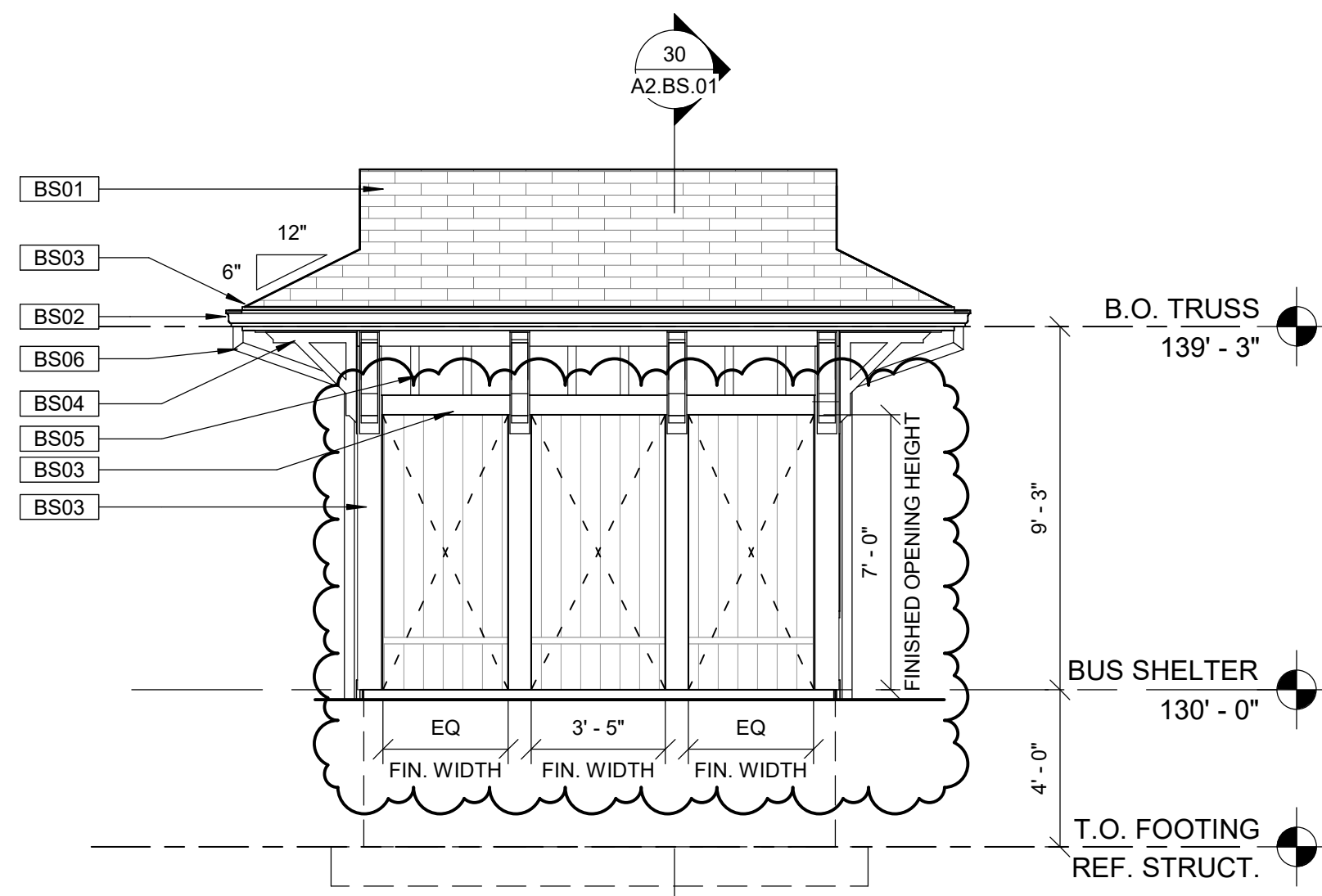
KEYNOTE LEGEND - BUS SHELTER	
BS01	ASPHALT SHINGLES, SEE SPEC
BS02	6" ALUMINUM GUTTER
BS03	FIBER CEMENT TRIM, JAMES HARDIE COBBLESTONE
BS04	PLYON BRACKET 8KT30X36, PAINTED COBBLESTONE TO MATCH
BS05	FIBER CEMENT PANEL (BOARD AND BATTEN) SIDING - BENJAMIN MOORE KINGS RED CW335 - FC-8
BS06	ALUMINUM ROUND DOWNSPOUT
BS08	FIXED WINDOW, SEE SPEC
BS09	5/4 X 6 FIBER CEMENT SIDE CASING
BS10	5/4 X 6 TAPERED FIBER CEMENT HEAD CASING
BS11	2" FIBER CEMENT SILL



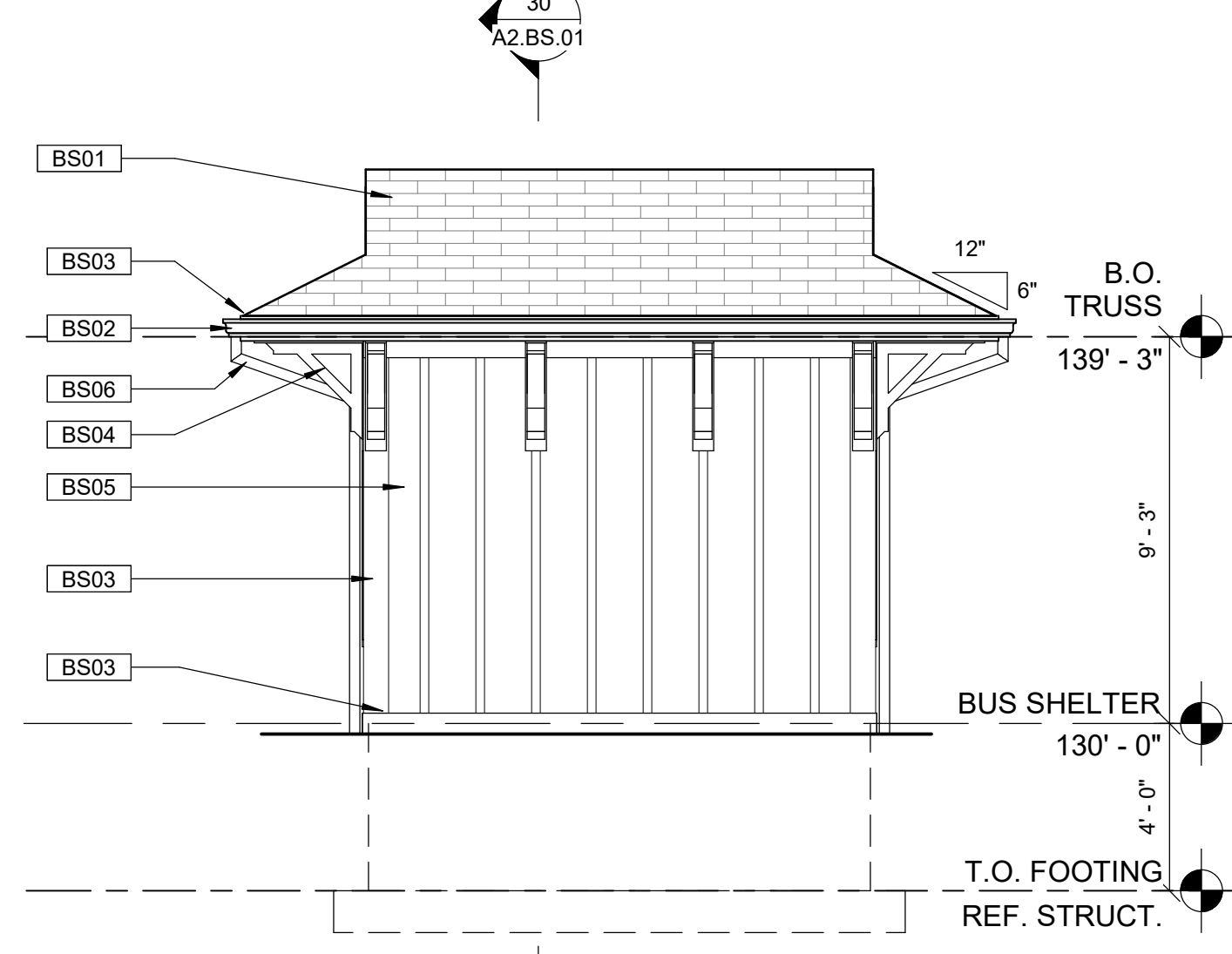
31 BUS SHELTER SECTION - 02  
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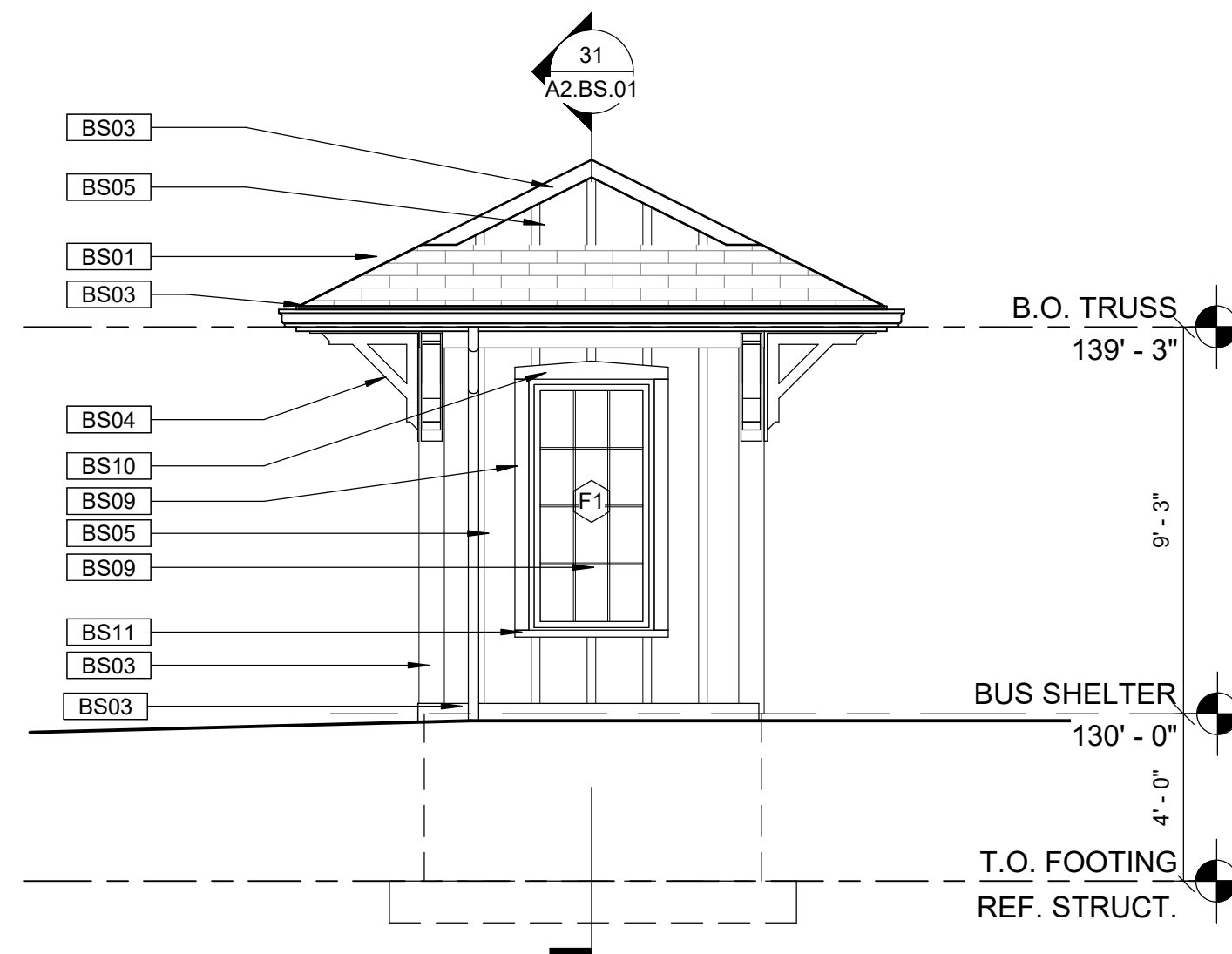
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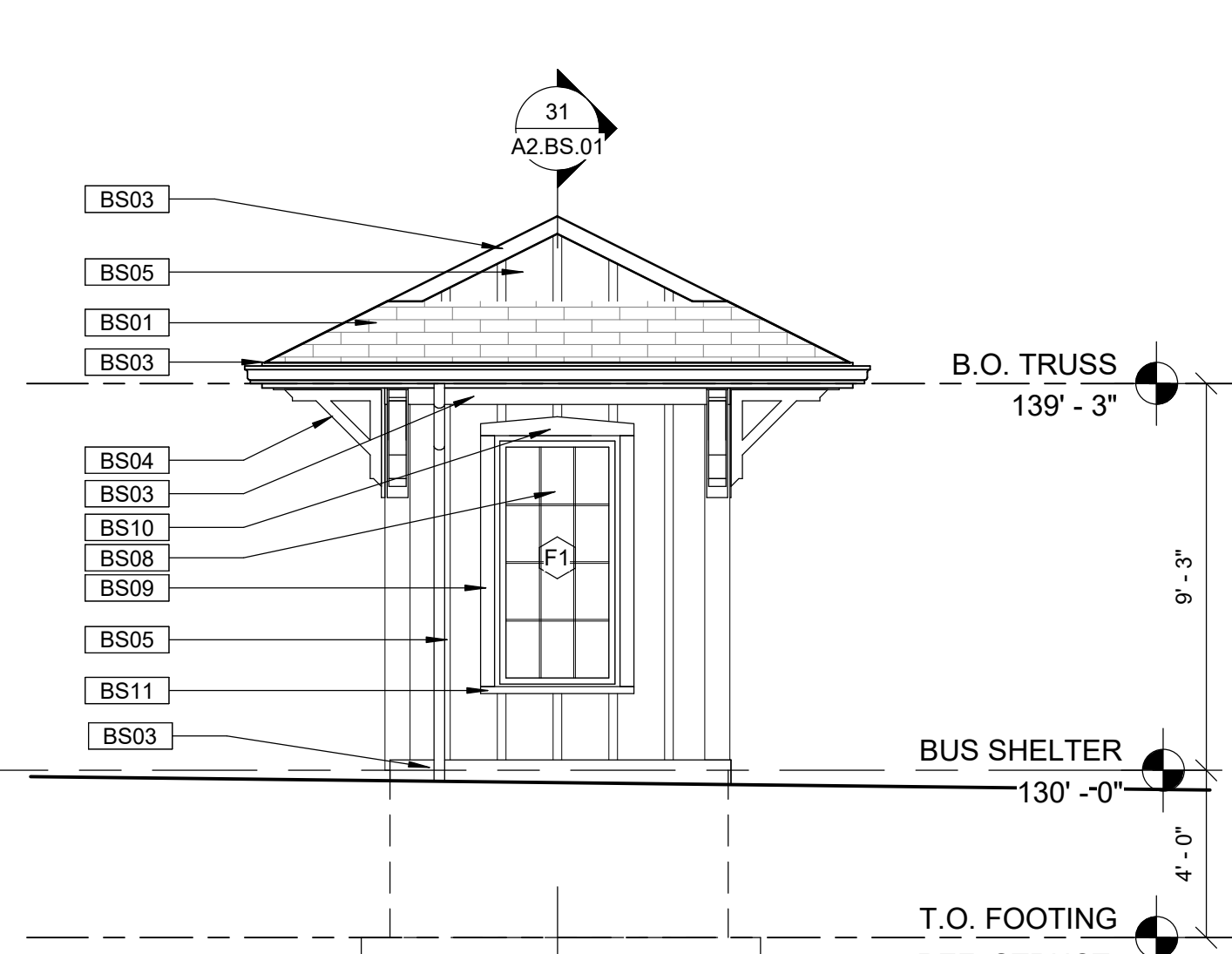
23 BUS SHELTER - WEST  
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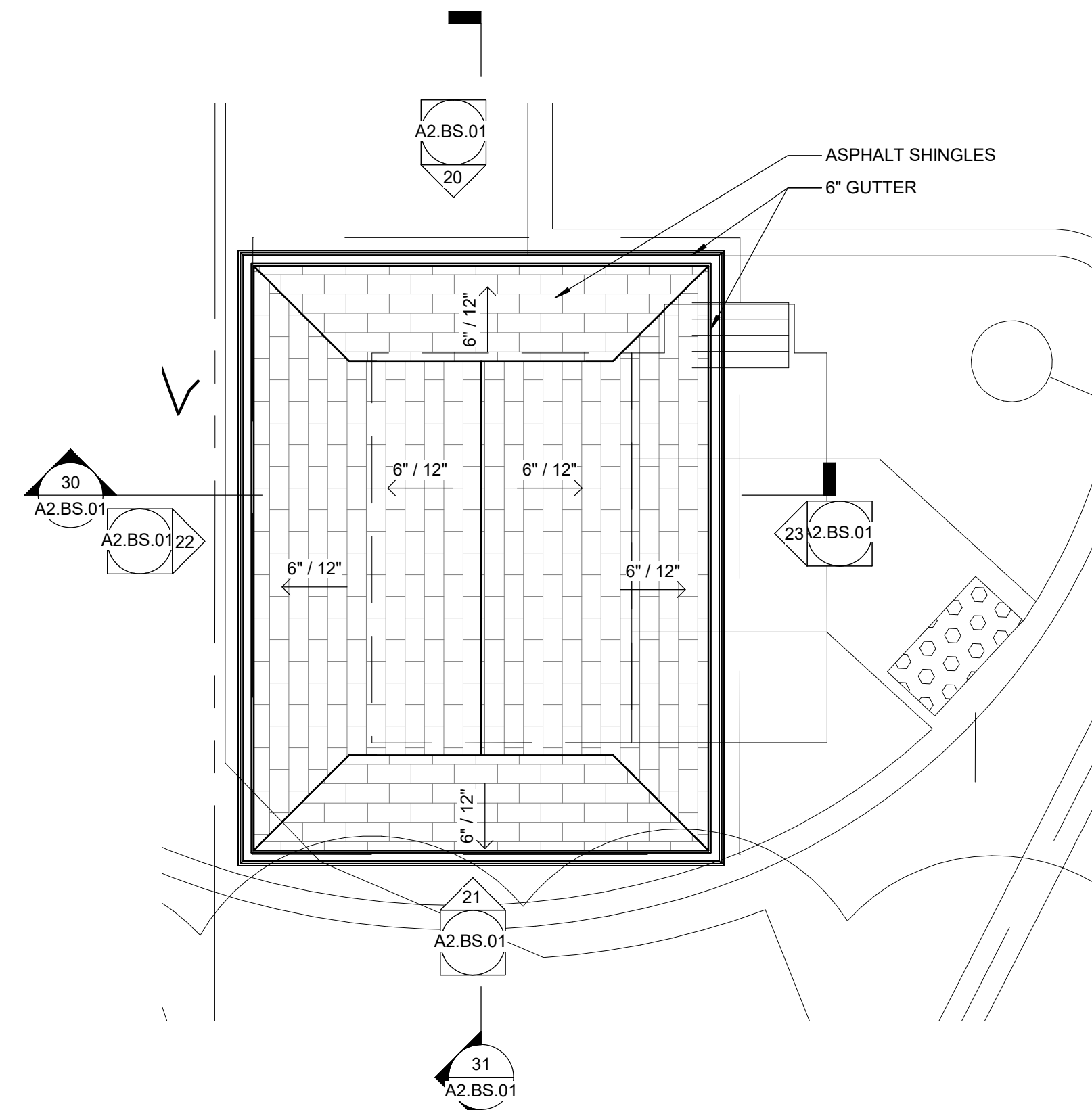
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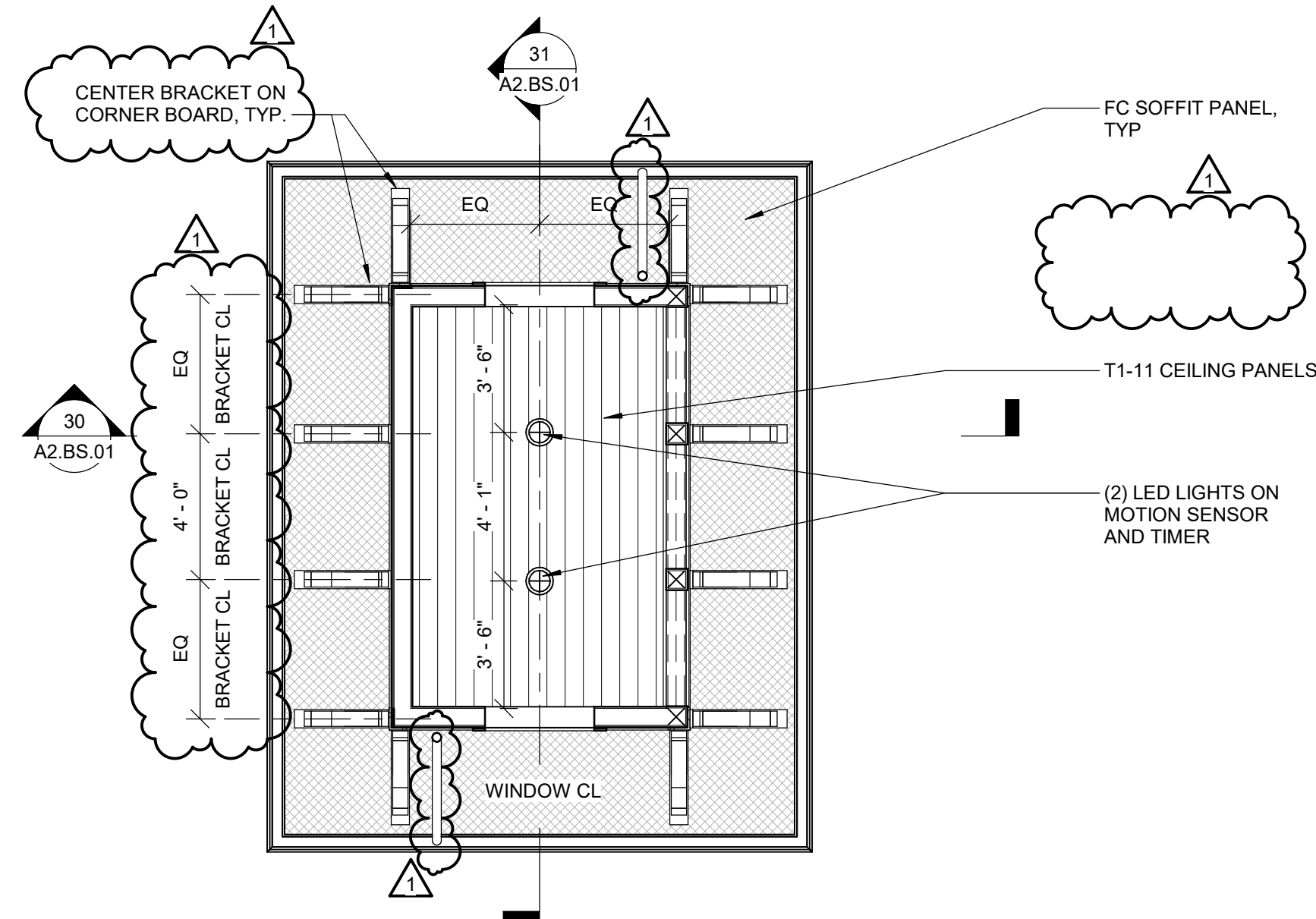
21 BUS SHELTER - NORTH  
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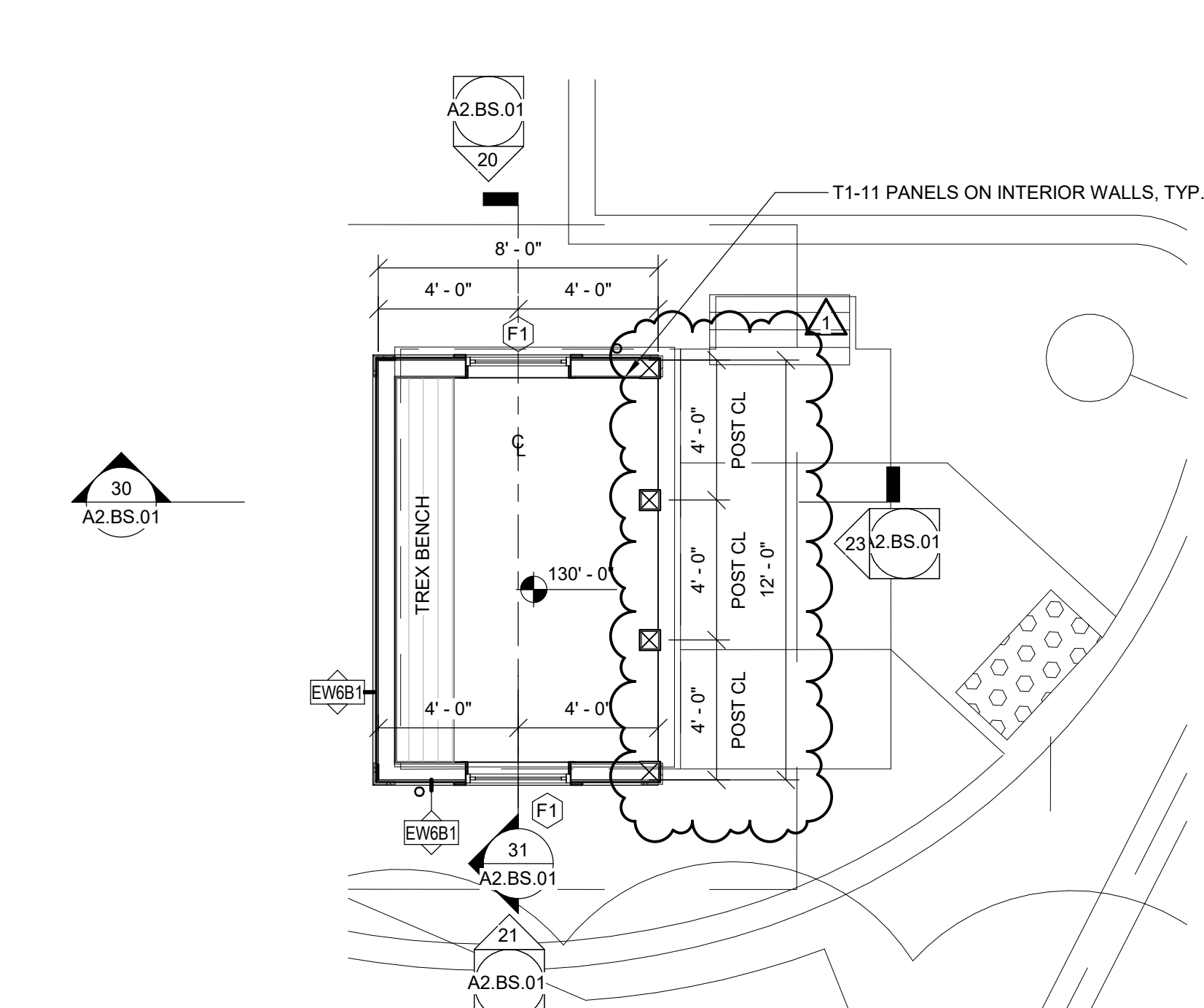
20 BUS SHELTER - SOUTH  
Scale: 1/4" = 1'-0"



12 BUS SHELTER - ROOF PLAN  
Scale: 1/4" = 1'-0"



11 BUS SHELTER - RCP  
Scale: 1/4" = 1'-0"



10 BUS SHELTER - PLAN  
Scale: 1/4" = 1'-0"

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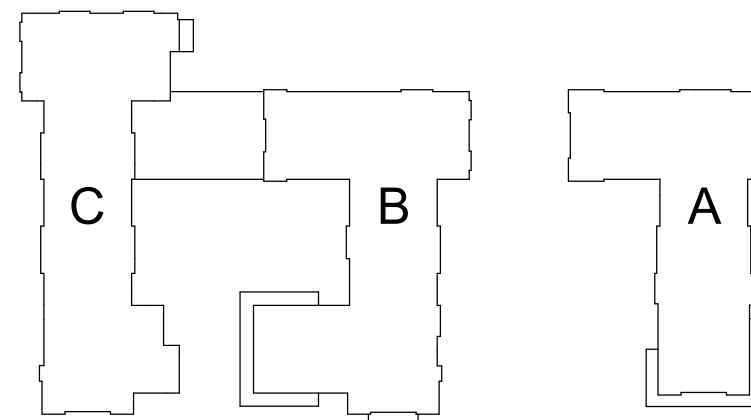
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Key Plan:



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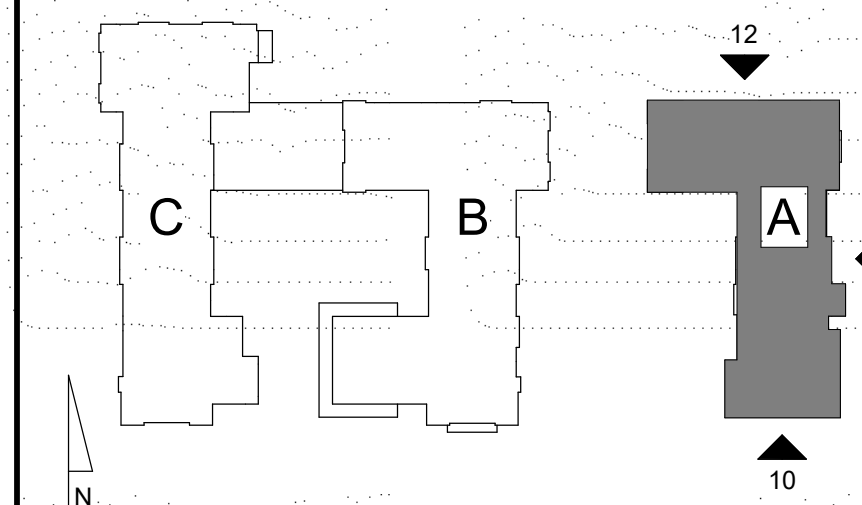
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Project Name:

ALTA AT RIVER'S  
EDGE

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Sheet Name:

OVERALL EXTERIOR  
ELEVATIONS

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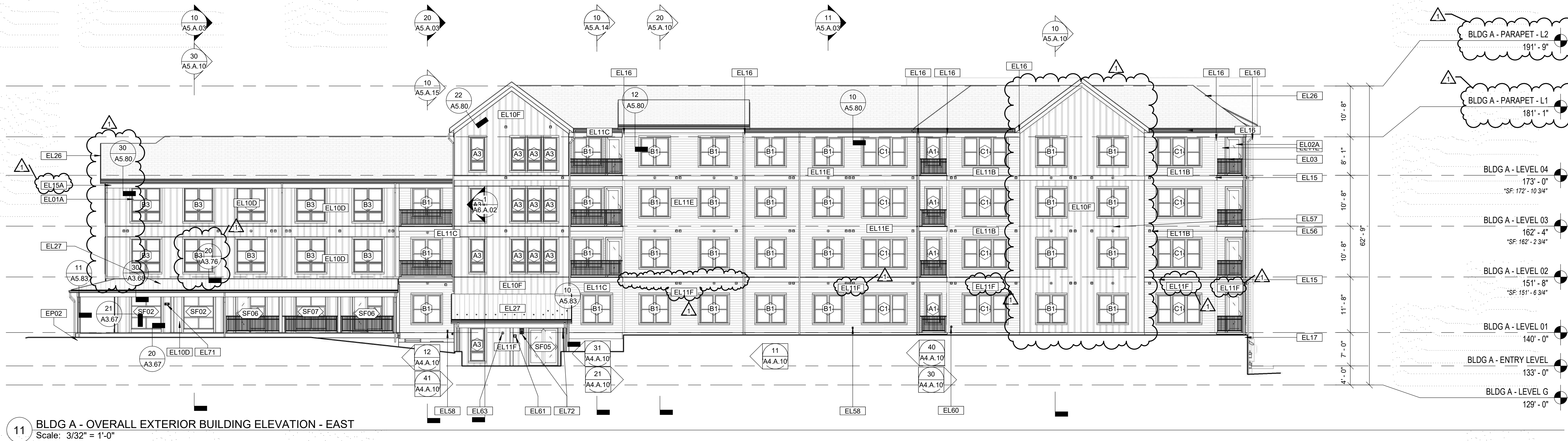
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- EL01A WINDOW. REFER TO SCHEDULE AND SPECIFICATIONS
- EL02A DOOR. SEE SCHEDULE AND SPECIFICATIONS
- EL02B OVERHEAD COILING GARAGE DOOR SYSTEM. SEE SCHEDULE AND SPECIFICATIONS
- EL03 MANUFACTURED METAL GUARDRAIL AND RAILING SYSTEM. REFER TO DETAIL(S)
- EL10B FIBER CEMENT PANEL (BOARD AND BATTEN) SIDING - JAMES HARDIE COBBLESTONE
- EL10C FIBER CEMENT PANEL (BOARD AND BATTEN) SIDING - BENJAMIN MOORE KINGS RED OWISS
- EL10D FIBER CEMENT PANEL (BOARD AND BATTEN) SIDING - WOODTONE WHITE GRANITE
- EL10E FIBER CEMENT PANEL (BOARD AND BATTEN) SIDING - WOODTONE CASCADE SLATE
- EL10F FIBER CEMENT PANEL (BOARD AND BATTEN) SIDING - WOODTONE COASTAL GRAY
- EL10G FIBER CEMENT PANEL SIDING - JAMES HARDIE COBBLESTONE - NO BATTENS, CAULK ALL SEAMS
- EL11B FIBER CEMENT LAP SIDING - JAMES HARDIE AGED PEWTER
- EL11C FIBER CEMENT LAP SIDING - WOODTONE ASPEN RIDGE
- EL11D FIBER CEMENT LAP SIDING - JAMES HARDIE EVENING BLUE
- EL11E FIBER CEMENT LAP SIDING - JAMES HARDIE PEARL GRAY
- EL11F FIBER CEMENT LAP SIDING - JAMES HARDIE NIGHT GRAY
- EL11G FIBER CEMENT LAP SIDING - WOODTONE COASTAL GRAY
- EL13 ADHERED MANUFACTURED STONE VENEER - QUALITY STONE VENEER NEW ENGLAND DRY STACK
- EL15 FIBER CEMENT TRIM BOARD - JAMES HARDIE COBBLESTONE
- EL15A FIBER CEMENT TRIM BOARD - JAMES HARDIE SAIL CLOTH
- EL16 FIBER CEMENT CORNER BOARD - JAMES HARDIE COBBLESTONE
- EL17 PVC WATER TABLE - PAINTED TO MATCH COBBLESTONE TRIM
- EL21 WOOD FRAMING - 6X8 WOOD POST FRAMING. REFER TO STRUCTURAL DRAWINGS
- EL25 TPO ROOFING SYSTEM OVER RIGID INSULATION AND PROTECTION BOARD. SEE SPECS. SLOPE TO DRAINS
- EL26 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS.

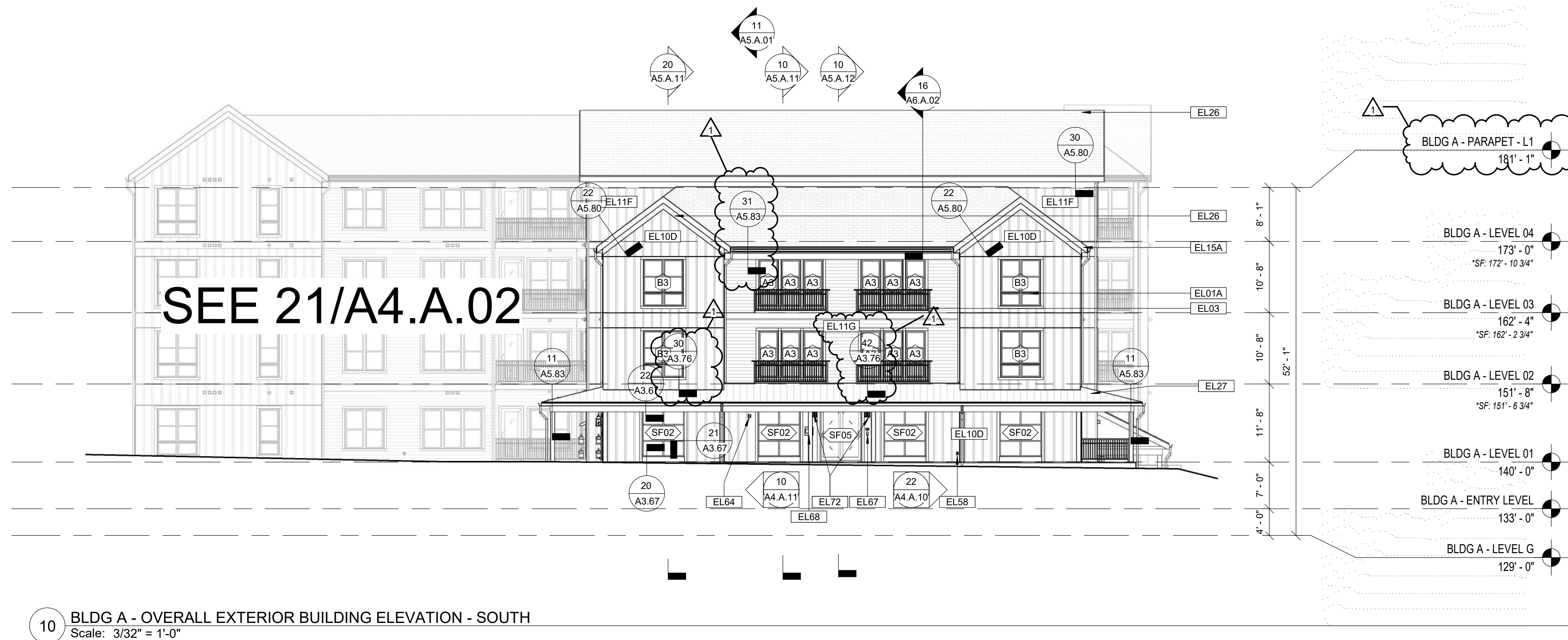
### KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL27 STANDING SEAM METAL ROOFING SYSTEM WITH HIGH TEMPERATURE UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS
- EL30 ALUMINUM STOREFRONT SYSTEM. REFER TO SCHEDULE AND SPECIFICATION
- EL40 CONCRETE (SITE) RETAINING WALL. REFER TO CIVIL DRAWINGS
- EL51 ROOF MOUNTED AIR HANDLER. REFER TO ROOF PLAN(S) AND MECHANICAL DRAWINGS
- EL55 GAS METER. REFER TO PLUMBING DRAWINGS
- EL56 INTAKE/EXHAUST LOUVERS. REFER TO MECH.
- EL57 HOT WATER HEATER VENT. REFER TO MECH.
- EL58 WALL HYDRANT. REFER TO PLUMBING
- EL60 SECONDARY ROOF DRAIN TO SPILL ON GRADE VIA SPLASH BLOCK, TYP. REFER TO PLUMBING
- EL61 KNOX BOX. REFER TO SPEC.
- EL62 LOW VOLTAGE FIRE ALARM BELL. REFER TO ELECTRICAL
- EL63 ROTATING FIRE ALARM BEACON LIGHT. REFER TO ELECTRICAL
- EL64 COMBINATION AUDIO AND VISUAL FIRE ALARM DEVICE. REFER TO ELECTRICAL
- EL65 OVERCURRENT SWITCHING DEVICE. REFER TO ELECTRICAL
- EL66 FIRE DEPARTMENT INLET CONNECTION. REFER TO FIRE PROTECTION
- EL67 MULTI-TECHNOLOGY CARD READER. REFER TO LOW VOLTAGE DRAWINGS FOR SPECS
- EL68 11" BUTTERFLY MX INTERCOM. REFER TO LOW VOLTAGE DRAWINGS FOR SPECS
- EL69 2 1/2" SPRINKLER TEST/DRAIN DROP. SPILL TO SPLASH PAD ON GRADE. REFER TO FIRE PROTECTION FOR SPECS
- EL70 EXTERIOR WALL SCONCE WITH EMERGENCY BATTERY BACKUP. REFER TO ELECTRICAL FOR SPECS
- EL71 DECORATIVE EMERGENCY BATTERY UNIT. REFER TO ELECTRICAL FOR SPECS
- EL72 EXTERIOR WALL SCONCE AT ENTRIES. REFER TO ELECTRICAL FOR SPECS
- EL73 TRANSCORE TAG READER. SEE LOW VOLTAGE DRAWINGS FOR SPECS

12 BLDG A - OVERALL EXTERIOR BUILDING ELEVATION - NORTH  
 Scale: 3/32" = 1'-0"



11 BLDG A - OVERALL EXTERIOR BUILDING ELEVATION - EAST  
 Scale: 3/32" = 1'-0"



10 BLDG A - OVERALL EXTERIOR BUILDING ELEVATION - SOUTH  
 Scale: 3/32" = 1'-0"



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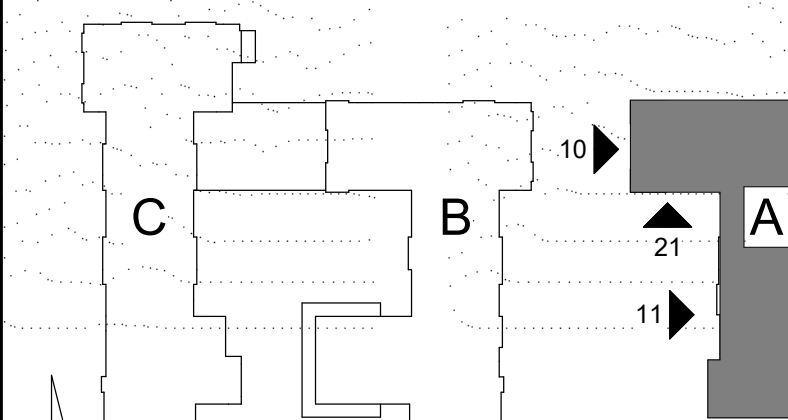
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ALTA AT RIVER'S  
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OVERALL EXTERIOR  
ELEVATIONS

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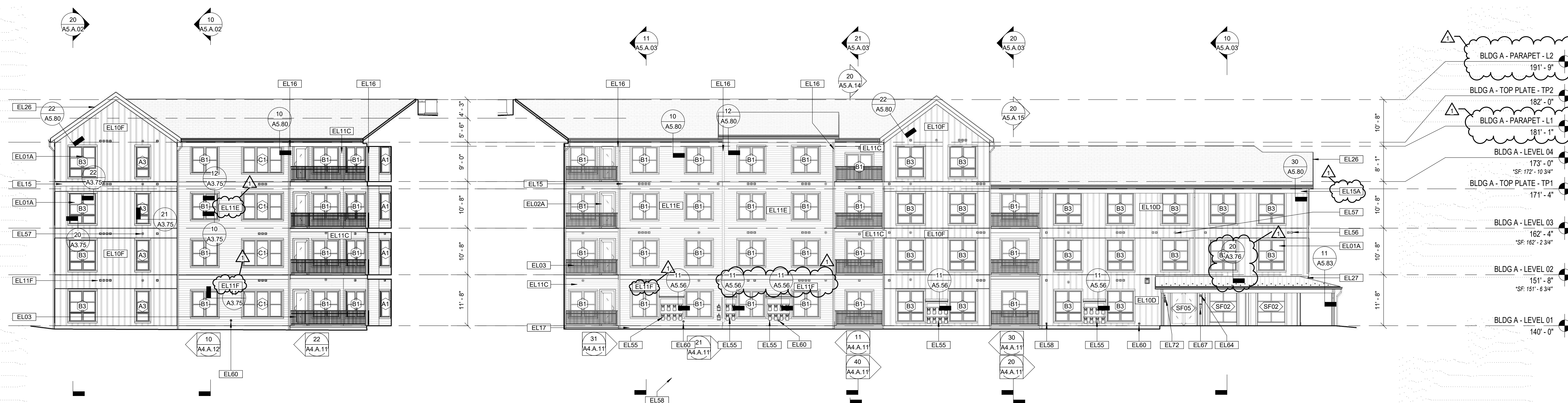
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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

EL01A WINDOW. REFER TO SCHEDULE AND SPECIFICATIONS  
EL02A DOOR. SEE SCHEDULE AND SPECIFICATIONS  
EL02B OVERHEAD COILING GARAGE DOOR SYSTEM. SEE SCHEDULE AND SPECIFICATIONS  
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EL11F FIBER CEMENT LAP SIDING - JAMES HARDIE NIGHT GRAY  
EL11G FIBER CEMENT LAP SIDING - WOODTONE COASTAL GRAY  
EL13 ADHERED MANUFACTURED STONE VENEER - QUALITY STONE VENEER NEW ENGLAND DRY STACK  
EL15 FIBER CEMENT TRIM BOARD - JAMES HARDIE COBBLESTONE  
EL15A FIBER CEMENT TRIM BOARD - JAMES HARDIE SAIL CLOTH  
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EL26 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS

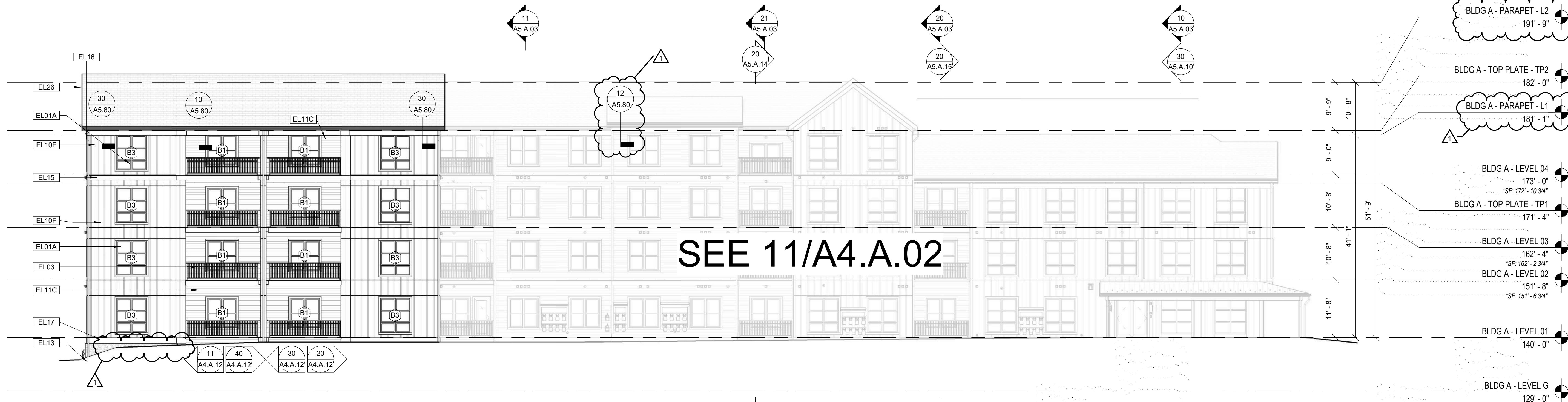
KEYNOTE LEGEND - EXTERIOR ELEVATIONS

EL27 STANDING SEAM METAL ROOFING SYSTEM WITH HIGH TEMPERATURE UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS  
EL30 ALUMINUM STOREFRONT SYSTEM. REFER TO SCHEDULE AND SPECIFICATION  
EL40 CONCRETE (SITE) RETAINING WALL. REFER TO CIVIL DRAWINGS  
EL51 ROOF MOUNTED AIR HANDLER. REFER TO ROOF PLAN(S) AND MECHANICAL DRAWINGS  
EL55 GAS METER. REFER TO PLUMBING DRAWINGS  
EL56 INTAKE/EXHAUST LOUVERS. REFER TO MECH.  
EL57 HOT WATER HEATER VENT. REFER TO MECH.  
EL58 WALL HYDRANT. REFER TO PLUMBING  
EL60 SECONDARY ROOF DRAIN TO SPILL ON GRADE VIA SPLASH BLOCK. TYP. REFER TO PLUMBING  
EL61 KNOX BOX. REFER TO SPEC.  
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EL63 ROTATING FIRE ALARM BEACON LIGHT. REFER TO ELECTRICAL  
EL64 COMBINATION AUDIO AND VISUAL FIRE ALARM DEVICE. REFER TO ELECTRICAL  
EL65 OVERCURRENT SWITCHING DEVICE. REFER TO ELECTRICAL  
EL66 FIRE DEPARTMENT INLET CONNECTION. REFER TO FIRE PROTECTION  
EL67 MULTI-TECHNOLOGY CARD READER. REFER TO LOW VOLTAGE DRAWINGS FOR SPECS.  
EL68 11.6" BUTTERFLY MX INTERCOM. REFER TO LOW VOLTAGE DRAWINGS FOR SPECS.  
EL69 2 1/2" SPRINKLER TEST/DRAIN DROP. SPILL TO SPLASH PAD ON GRADE. REFER TO FIRE PROTECTION FOR SPECS.  
EL70 EXTERIOR WALL SCONCE WITH EMERGENCY BATTERY BACKUP. REFER TO ELECTRICAL FOR SPECS  
EL71 DECORATIVE EMERGENCY BATTERY UNIT. REFER TO ELECTRICAL FOR SPECS  
EL72 EXTERIOR WALL SCONCE AT ENTRIES. REFER TO ELECTRICAL FOR SPECS  
EL73 TRANSORE TAG READER. SEE LOW VOLTAGE DRAWINGS FOR SPECS.



21 BLDG A - PARTIAL EXTERIOR BUILDING ELEVATION - NORTH  
COURTYARD  
Scale: 3/32" = 1'-0"

11 BLDG A - PARTIAL EXTERIOR BUILDING ELEVATION - WEST  
COURTYARD  
Scale: 3/32" = 1'-0"



10 BLDG A - OVERALL EXTERIOR BUILDING ELEVATION - WEST  
Scale: 3/32" = 1'-0"



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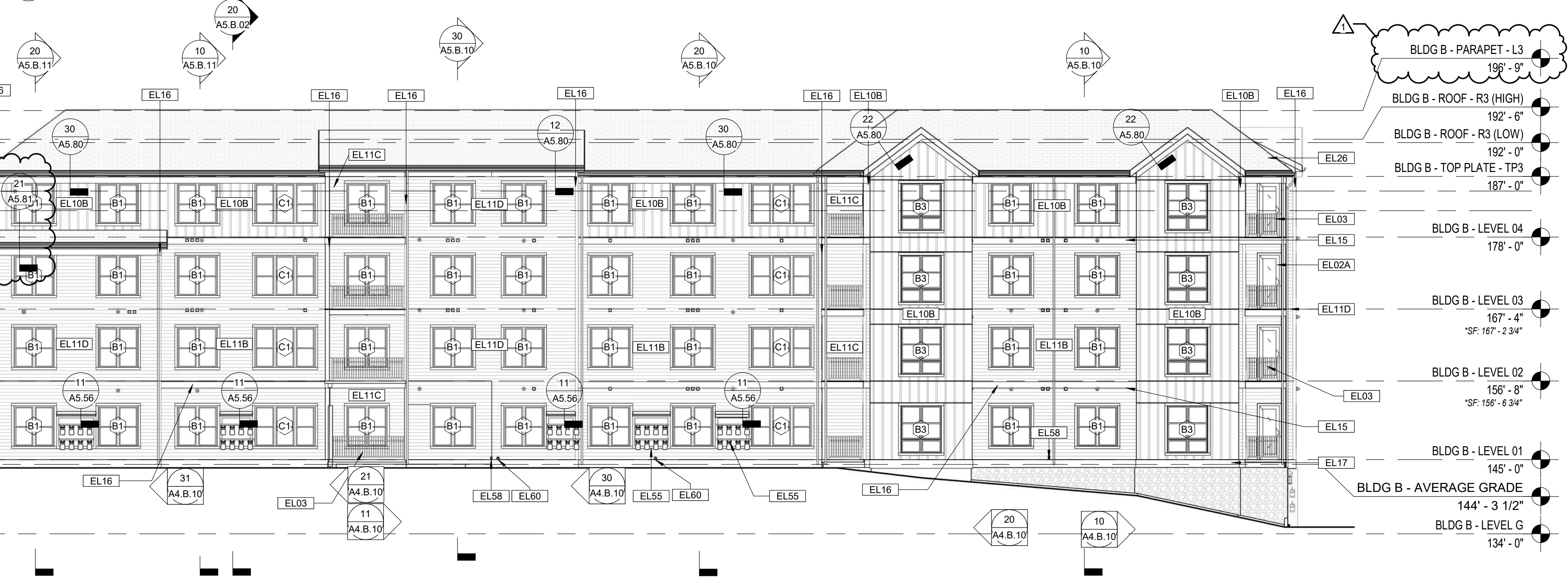
KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01A WINDOW. REFER TO SCHEDULE AND SPECIFICATIONS  
EL02A DOOR. SEE SCHEDULE AND SPECIFICATIONS  
EL02B OVERHEAD COILING GARAGE DOOR SYSTEM. SEE SCHEDULE AND SPECIFICATIONS  
EL03 MANUFACTURED METAL GUARDRAIL AND RAILING SYSTEM. REFER TO DETAIL(S)  
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EL26 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS

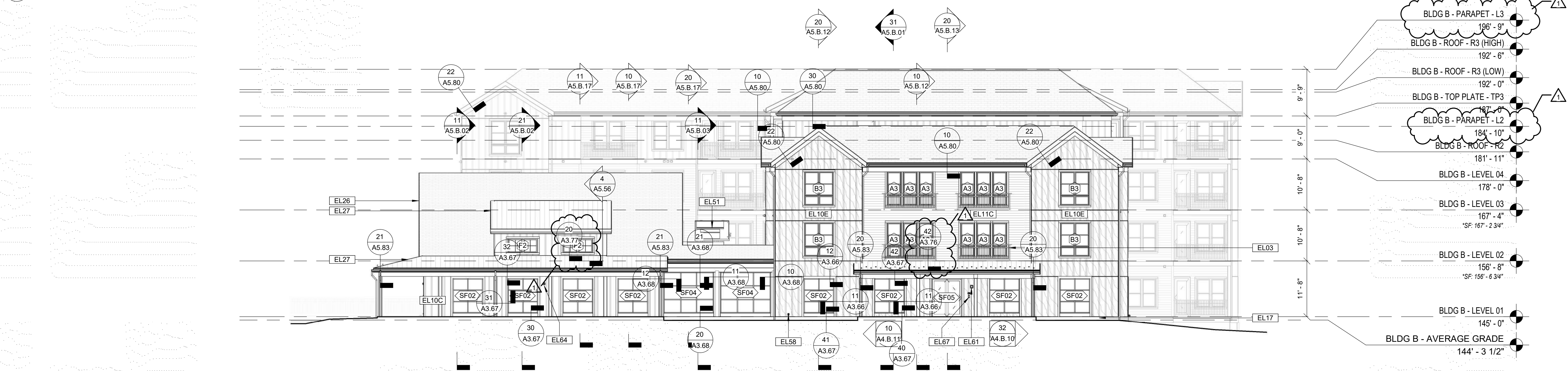
KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL27 STANDING SEAM METAL ROOFING SYSTEM WITH HIGH TEMPERATURE UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS  
EL30 ALUMINUM STOREFRONT SYSTEM. REFER TO SCHEDULE AND SPECIFICATION  
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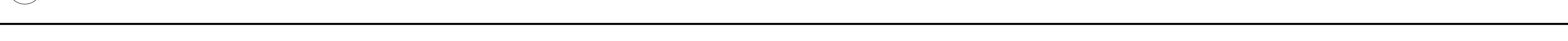
12 BLDG B - OVERALL EXTERIOR BUILDING ELEVATION - NORTH  
Scale: 3/32" = 1'-0"



11 BLDG B - OVERALL EXTERIOR BUILDING ELEVATION - EAST  
Scale: 3/32" = 1'-0"



10 BLDG B - OVERALL EXTERIOR BUILDING ELEVATION - SOUTH  
Scale: 3/32" = 1'-0"



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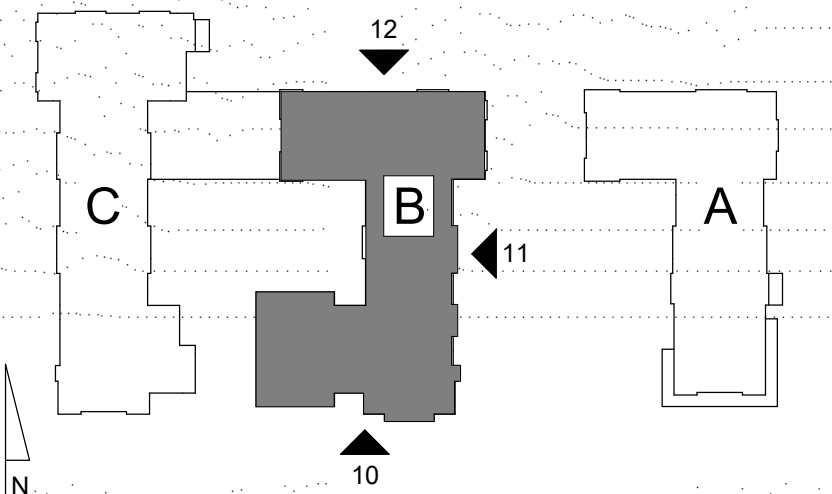
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Key Plan:



Project Name:

ALTA AT RIVER'S  
EDGE

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POST RD  
WAYLAND, MA 01778

Sheet Name:

OVERALL EXTERIOR  
ELEVATIONS

Project Number:

15151.00

Issue Date:

SEPTEMBER 23, 2020

Sheet Number:

A4.B.01

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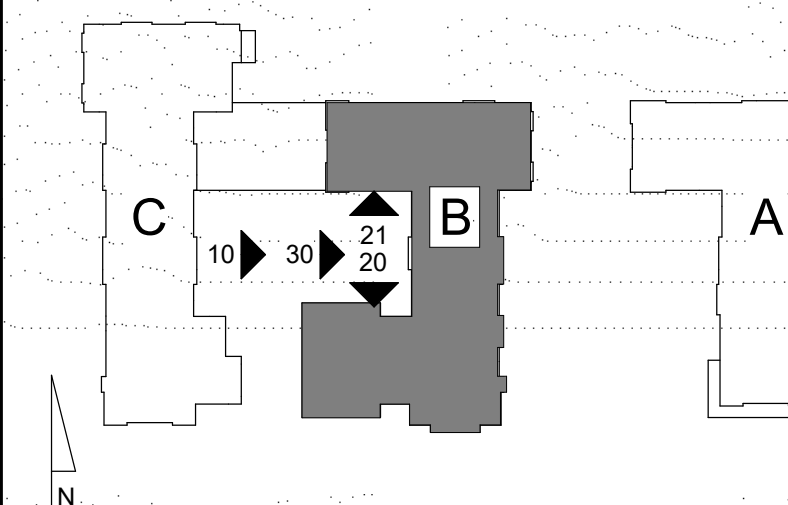
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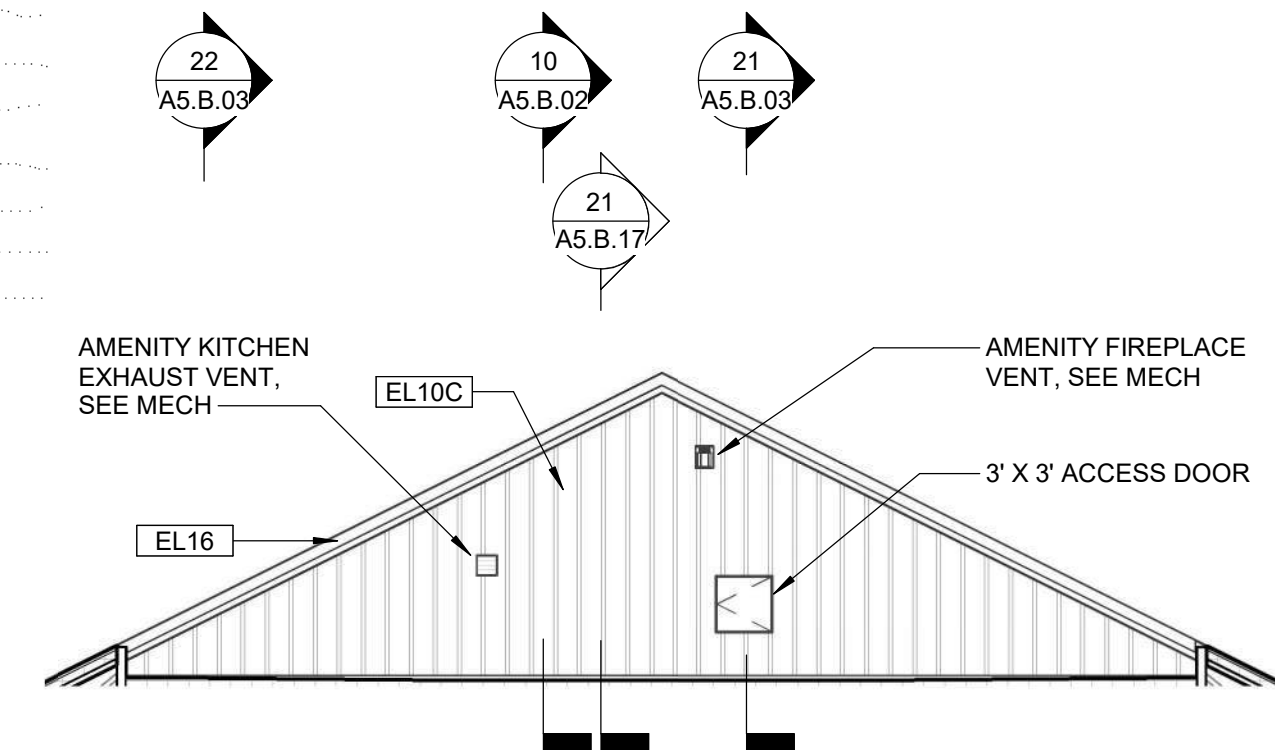
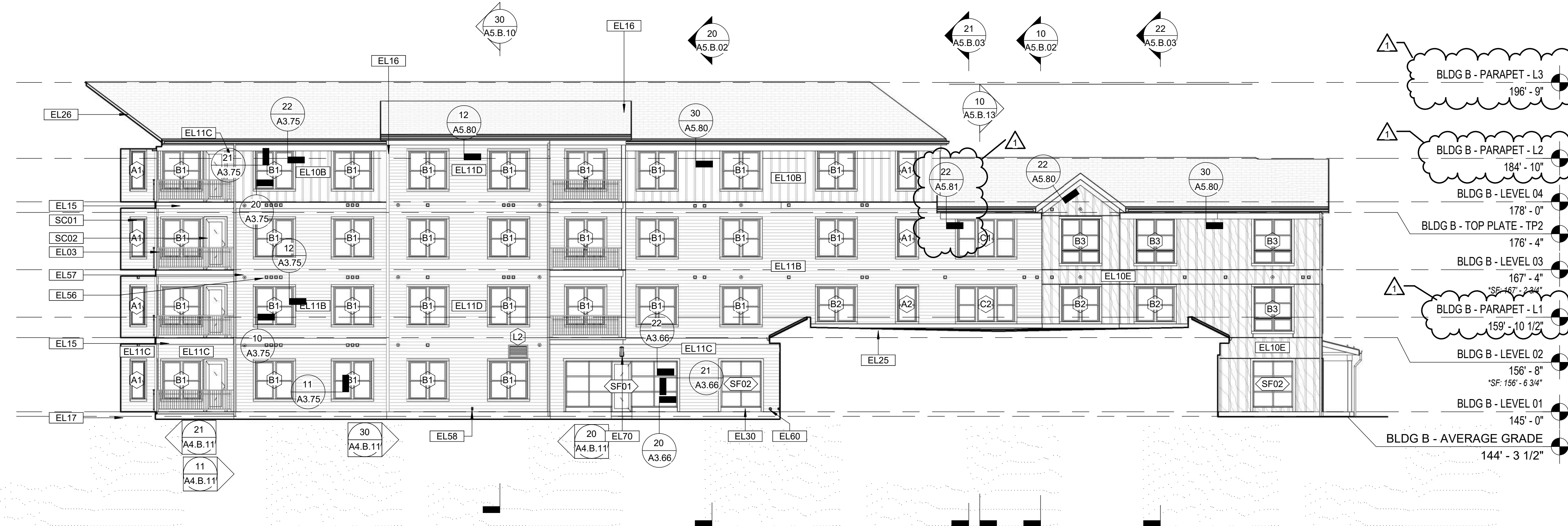
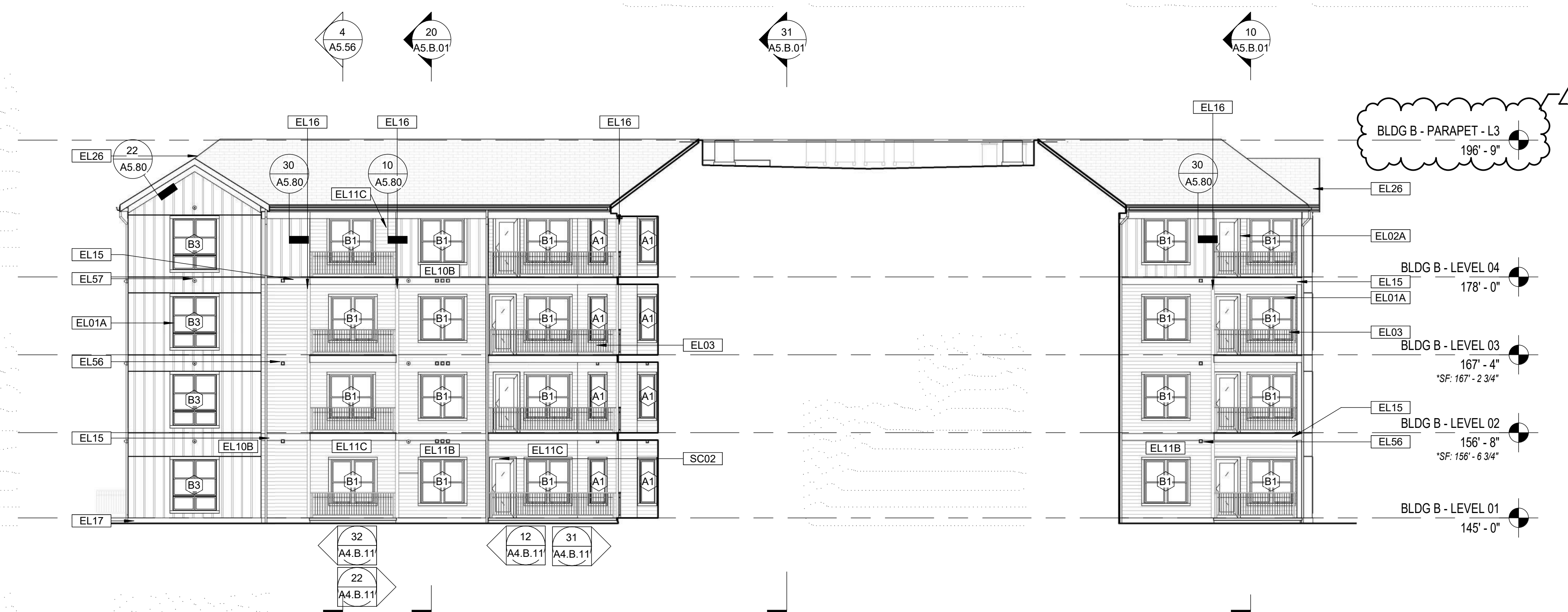
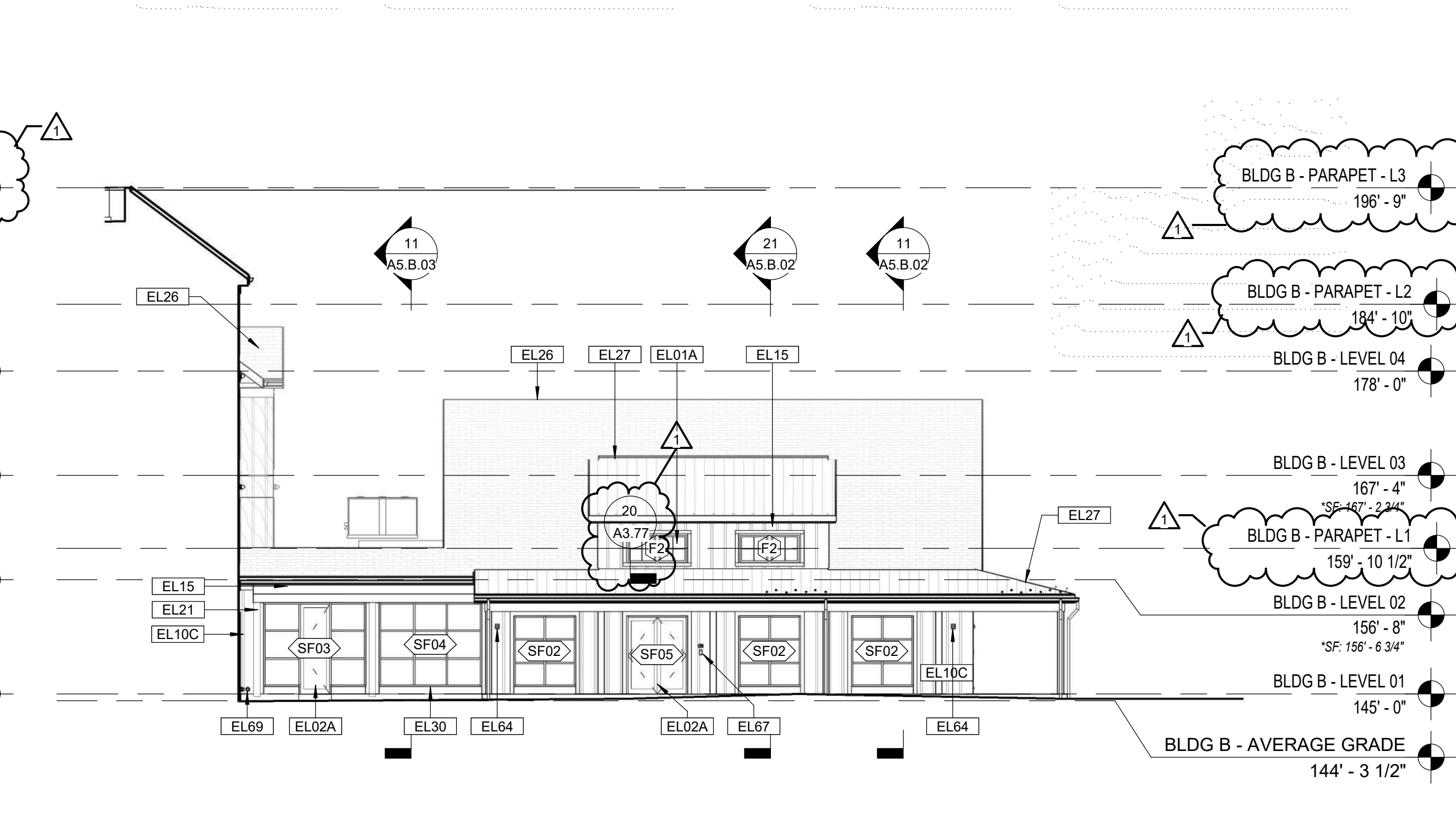
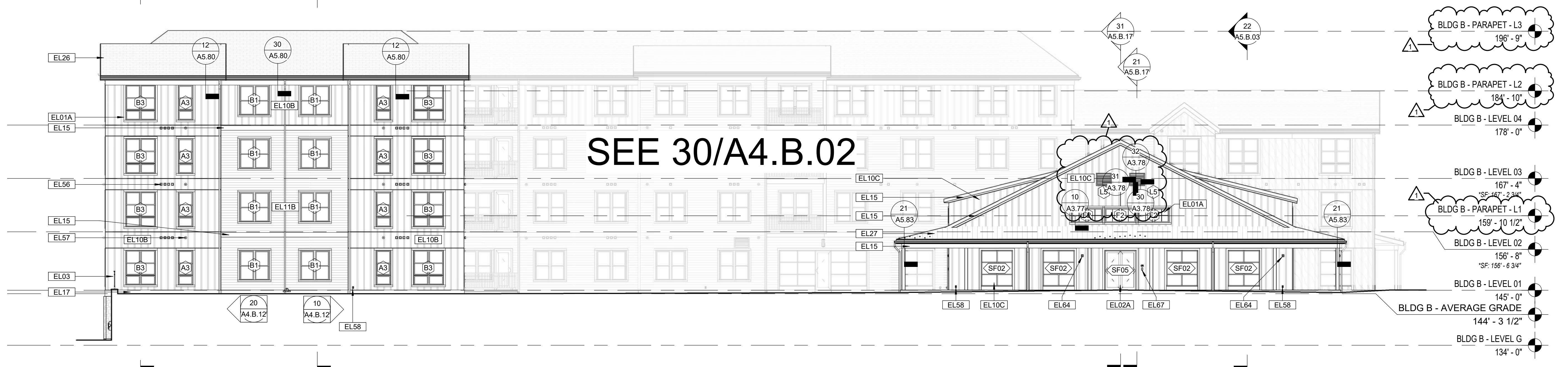
A4.B.02

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EL73 TRANSORE TAG READER. SEE LOW VOLTAGE DRAWINGS FOR SPECS.

31 BLDG B - PARTIAL ELEVATION - AMENITY BUILDING EAST SIDE  
Scale: 3/32" = 1'-0"30 BLDG B - PARTIAL BUILDING ELEVATION - EAST COURTYARD  
Scale: 3/32" = 1'-0"21 BLDG B - PARTIAL BUILDING ELEVATION - NORTH COURTYARD  
Scale: 3/32" = 1'-0"20 BLDG B - PARTIAL BUILDING ELEVATION - AMENITY BUILDING NORTH  
Scale: 3/32" = 1'-0"10 BLDG B - OVERALL EXTERIOR BUILDING ELEVATION - WEST  
Scale: 3/32" = 1'-0"

SEE 30/A4.B.02



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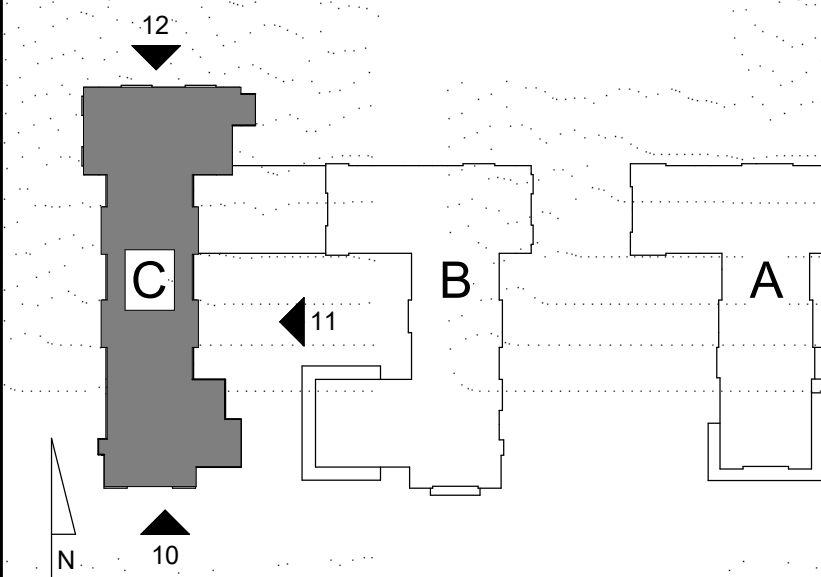
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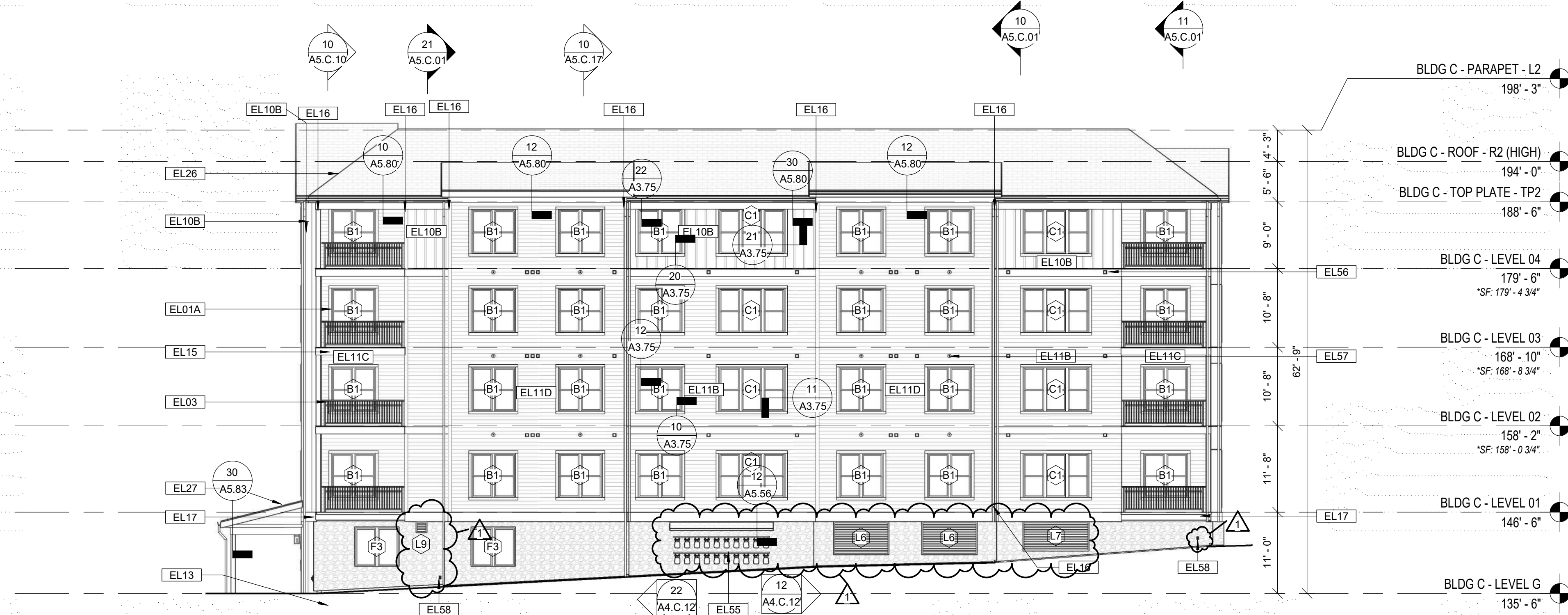
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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

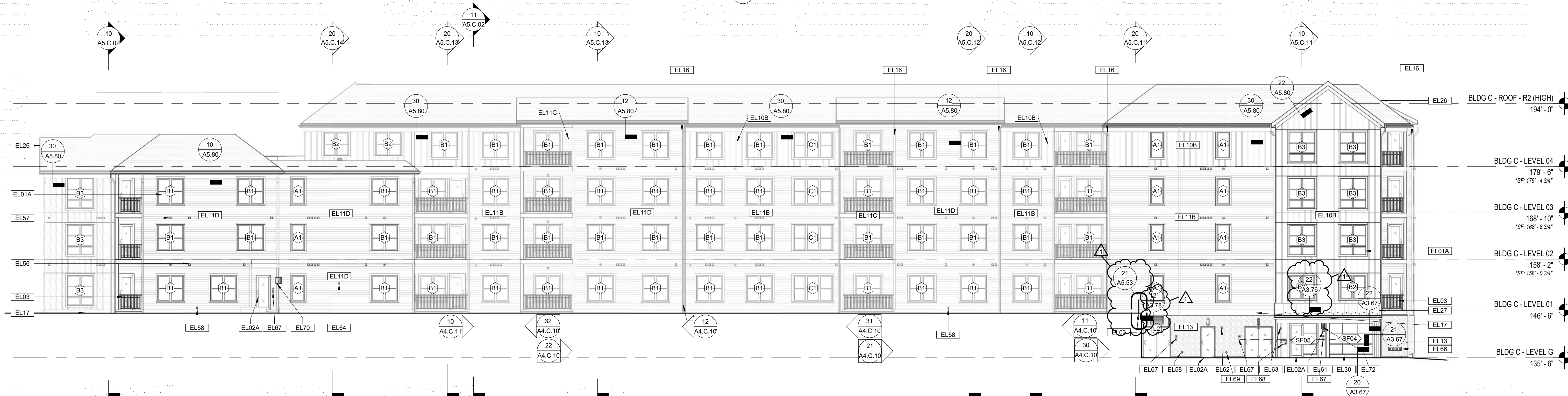
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EL16	FIBER CEMENT CORNER BOARD - JAMES HARDIE COBBLESTONE
EL17	PVC WATER TABLE - PAINTED TO MATCH COBBLESTONE TRIM
EL21	WOOD FRAMING - 6X6 WOOD POST FRAMING. REFER TO STRUCTURAL DRAWINGS
EL25	TPO ROOFING SYSTEM OVER RIGID INSULATION AND PROTECTION BOARD. SEE SPECS. SLOPE TO DRAINS
EL26	ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

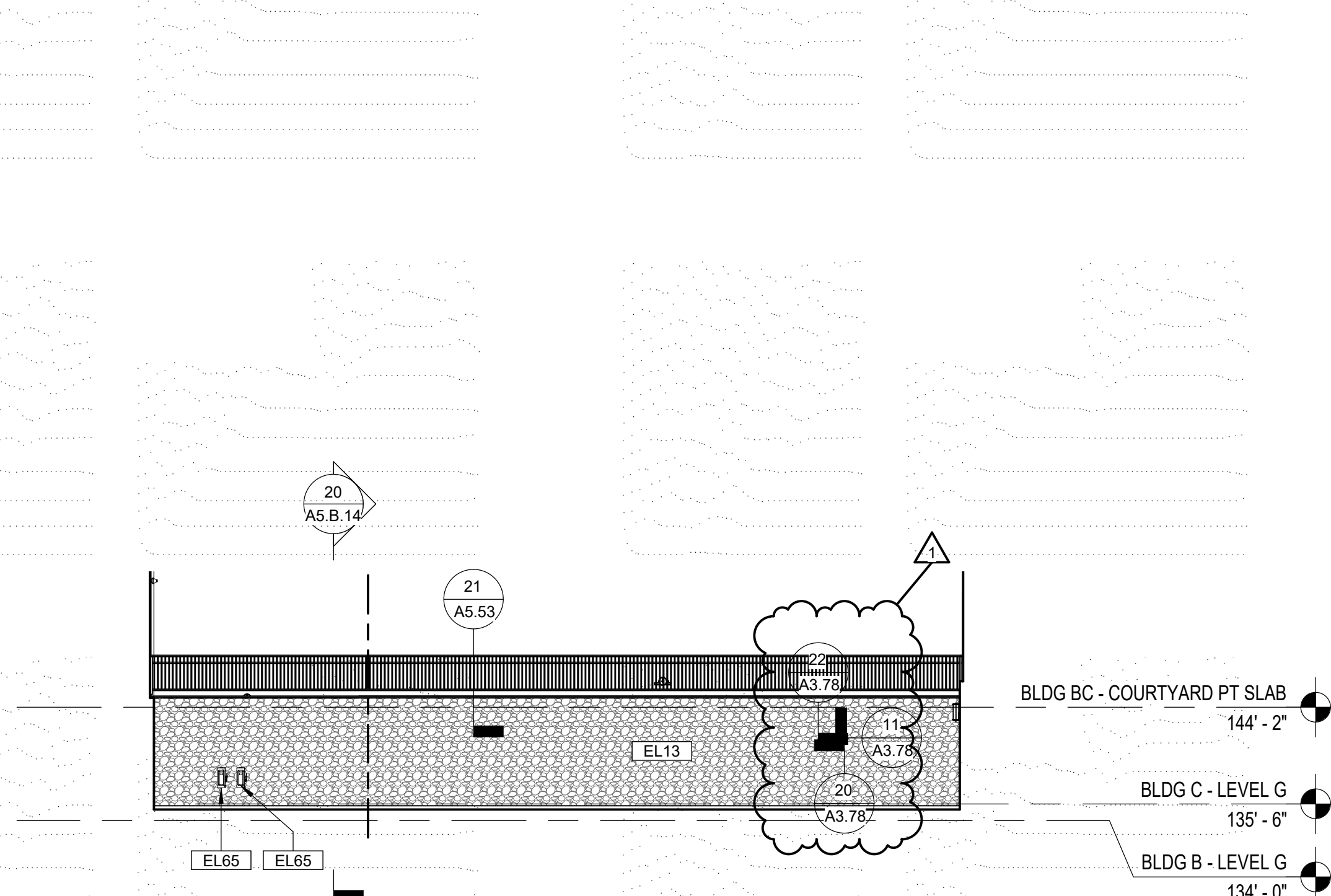
EL27	STANDING SEAM METAL ROOFING SYSTEM WITH HIGH TEMPERATURE UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS.
EL30	ALUMINUM STOREFRONT SYSTEM. REFER TO SCHEDULE AND SPECIFICATION.
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EL55	GAS METER. REFER TO PLUMBING DRAWINGS.
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EL57	HOT WATER HEATER VENT. REFER TO MECH.
EL58	WALL HYDRANT. REFER TO PLUMBING.
EL60	SECONDARY ROOF DRAIN TO SPILL ON GRADE VIA SPLASH BLOCK. TYP. REFER TO PLUMBING.
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EL63	ROTATING FIRE ALARM BEACON LIGHT. REFER TO ELECTRICAL.
EL64	COMBINATION AUDIO AND VISUAL FIRE ALARM DEVICE. REFER TO ELECTRICAL.
EL65	OVERCURRENT SWITCHING DEVICE. REFER TO ELECTRICAL.
EL66	FIRE DEPARTMENT INLET CONNECTION. REFER TO FIRE PROTECTION.
EL67	MULTI-TECHNOLOGY CARD READER. REFER TO LOW VOLTAGE DRAWINGS FOR SPECS.
EL68	1 1/2" BUTTERFLY MX INTERCOM. REFER TO LOW VOLTAGE DRAWINGS FOR SPECS.
EL69	2 1/2" SPRINKLER TEST/DRAIN DROP. SPILL TO SPLASH PAD ON GRADE. REFER TO FIRE PROTECTION FOR SPECS.
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EL73	TRANSCORE TAG HEADER. SEE LOW VOLTAGE DRAWINGS FOR SPECS.



12 BLDG C - EXTERIOR BUILDING ELEVATION - NORTH  
Scale: 3/32" = 1'-0"



21 BLDG C - EXTERIOR BUILDING ELEVATION - EAST  
Scale: 3/32" = 1'-0"



20 BLDG B/C - EXTERIOR ELEVATION - NORTH GARAGE CONNECTION  
Scale: 3/32" = 1'-0"



10 BLDG C - EXTERIOR BUILDING ELEVATION - SOUTH  
Scale: 3/32" = 1'-0"



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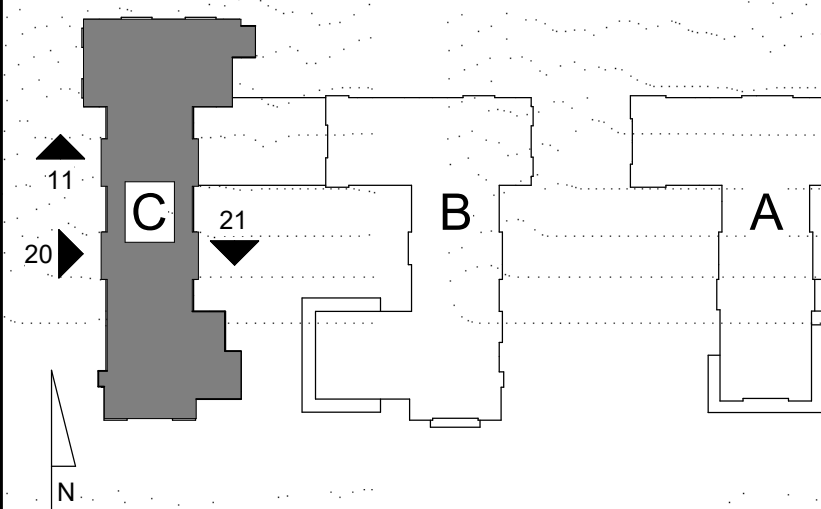
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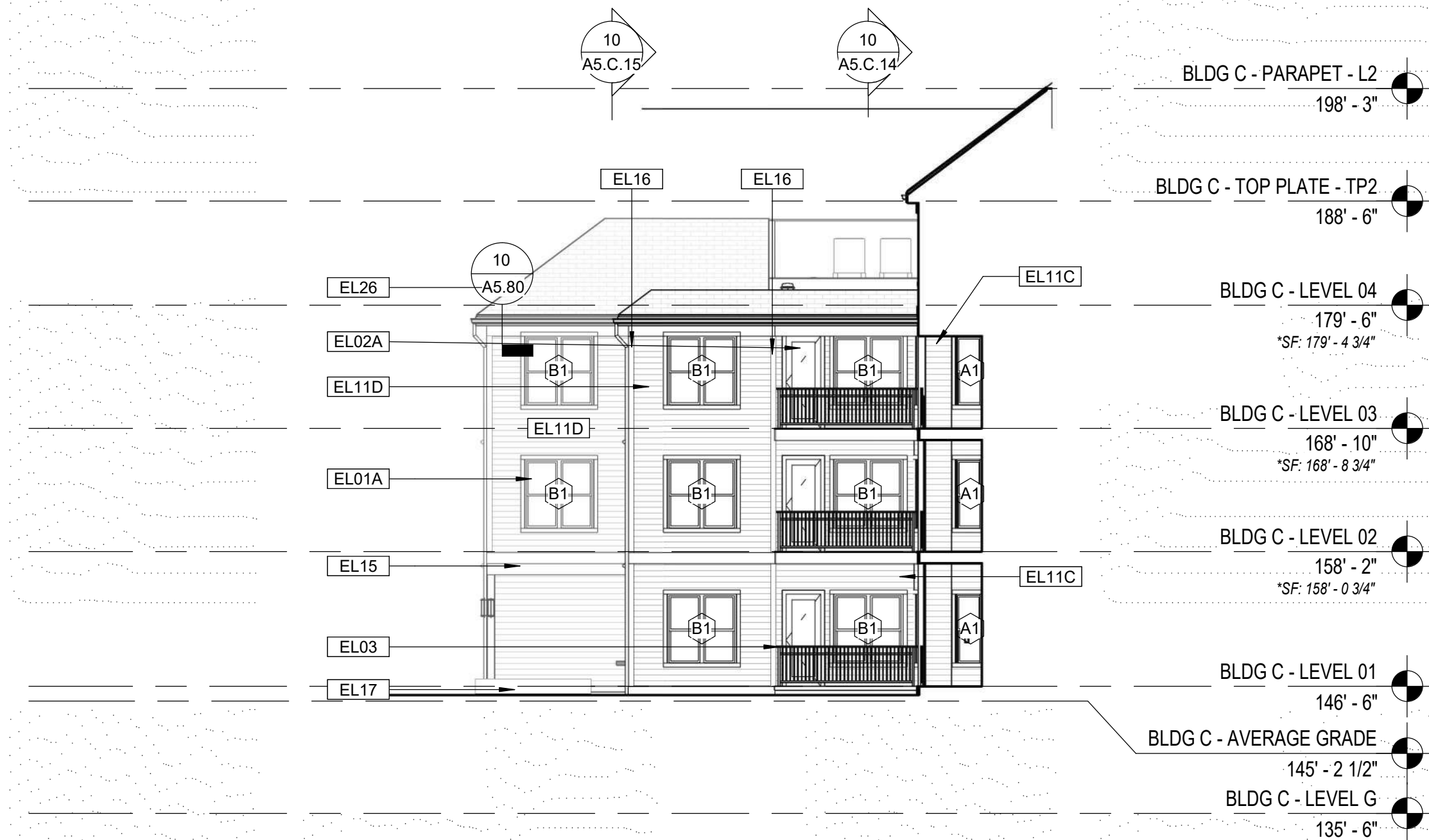
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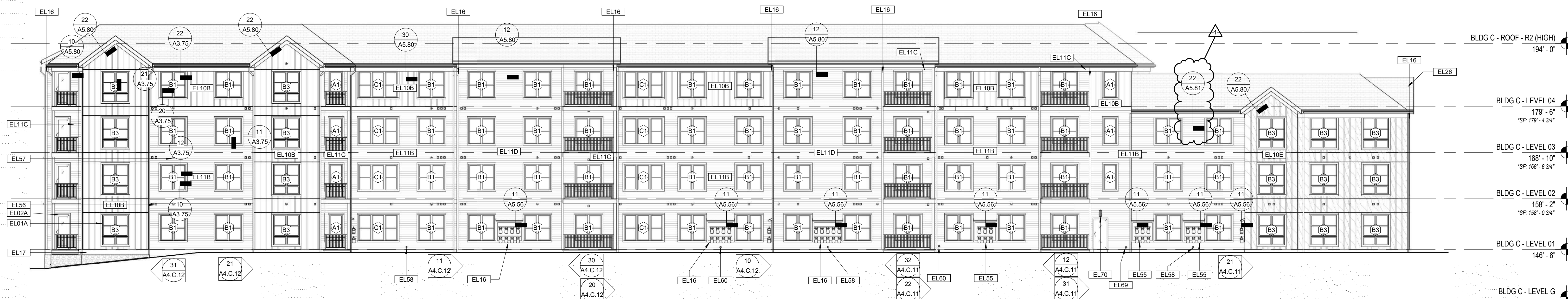
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21 BLDG C - PARTIAL EXTERIOR BUILDING ELEVATION - NORTH  
COURTYARD  
Scale: 3/32" = 1'-0"

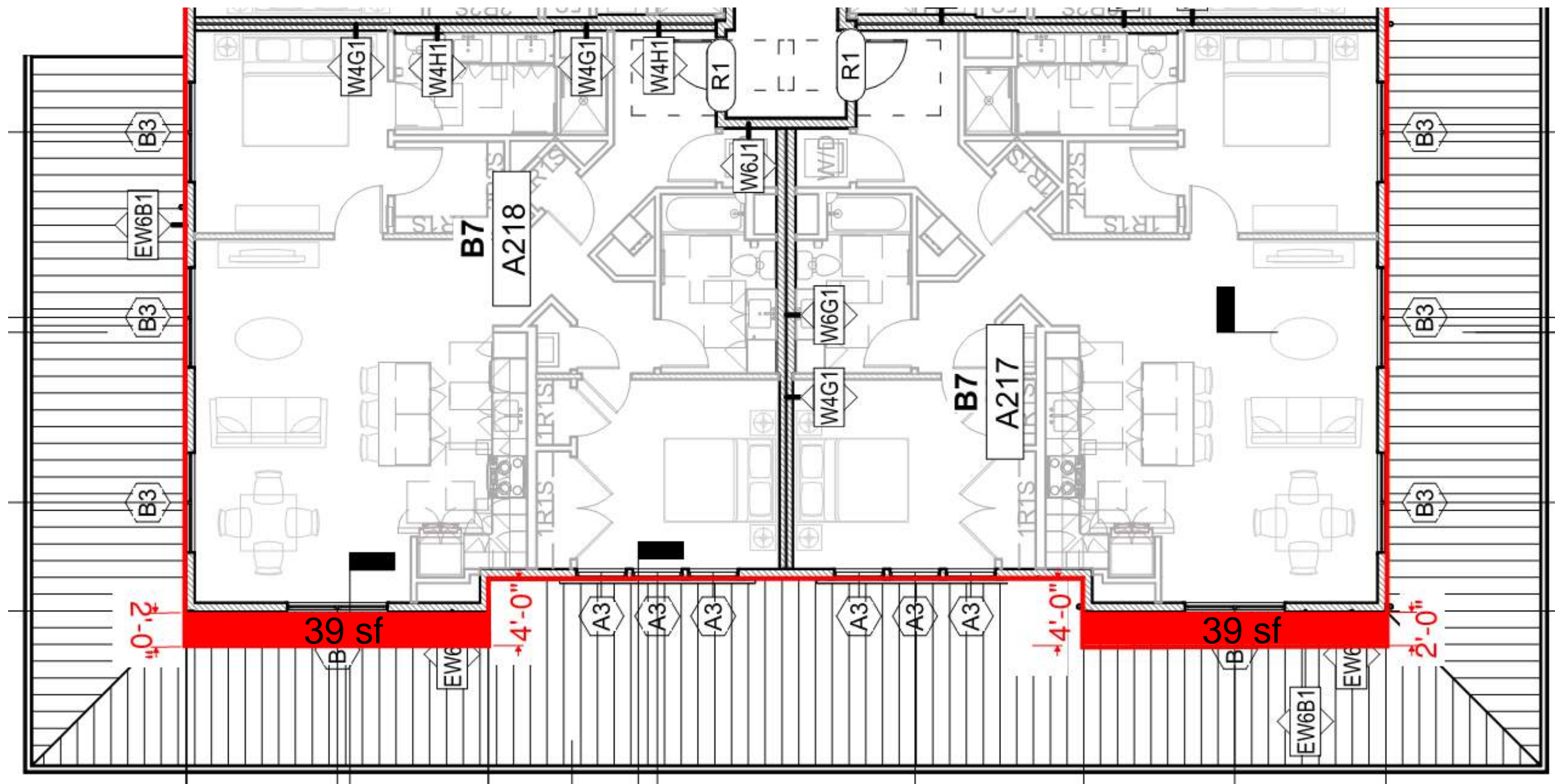


11 BLDG C - PARTIAL EXTERIOR BUILDING ELEVATION - SOUTH  
COURTYARD  
Scale: 3/32" = 1'-0"



20 BLDG C - EXTERIOR BUILDING ELEVATION - WEST  
Scale: 3/32" = 1'-0"





Building A: South Elevation modifications

Corners bumped out by 2'-0" per DRB request = 156 SF total

**Alta at River's Edge, Wayland, MA.**

DRB: Proposed Building A Edits 10.13.20





Building A: Main Entry View (8/27/20 DRB meeting)





Building A: Main Entry View (10/1/20 DRB Meeting)





Building A: Main Entry View (revised 10.13.20)





The signage/logo was removed from the renderings and will be designed by our signage consultant once the project name and logo are confirmed.

A darker 'base' color was provided at the first floor of Building A on all facades.

FINAL: (revised 10.23.20)  
Building A: Main Entry View





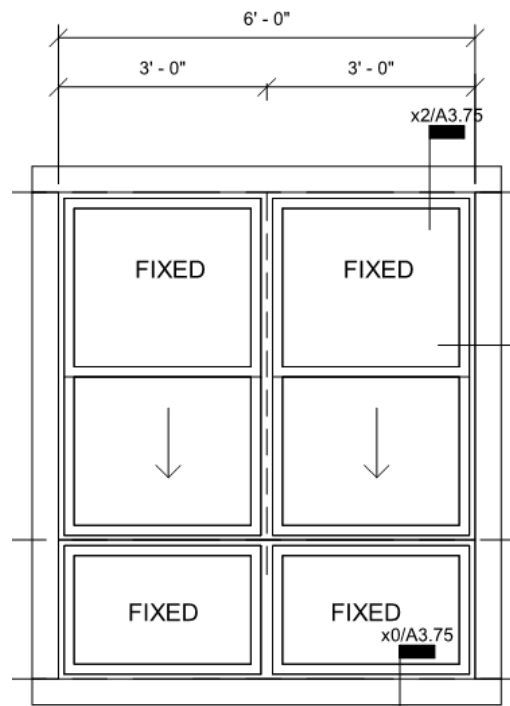
FINAL: (revised 10.23.20)  
Building A: East Facade View



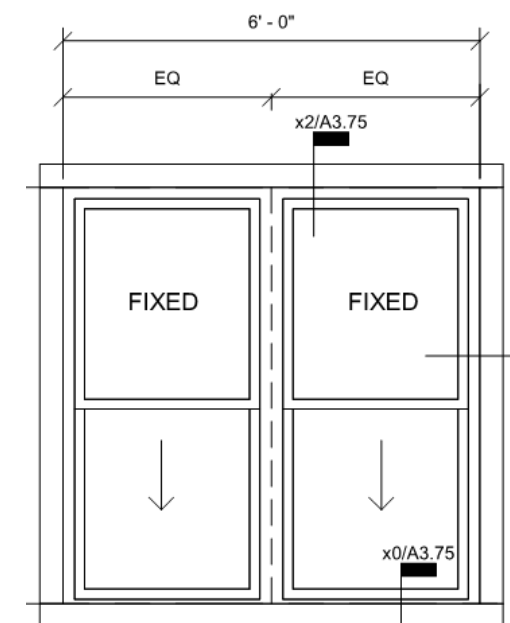


FINAL: (revised 10.23.20)  
Building A: North East Corner





ACCENT WINDOW



TYPICAL WINDOW



U-Value: .28

SHGC: .28

Low-E w/ Argon



ALTA UNION HOUSE\_FRAMINGHAM, MA



THE EASTERLY, WALPOLE, MA