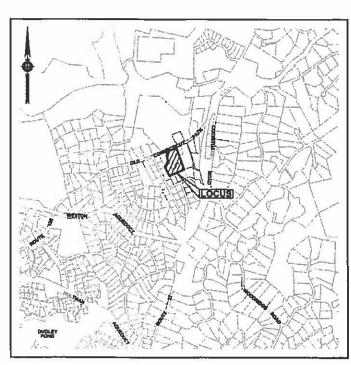
DEFINITIVE SUBDIVISION AMENDMENT

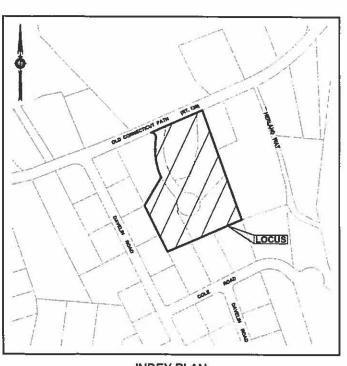
"WHITTEMORE PLACE"

in

Wayland, Massachusetts



KEY PLAN



INDEX PLAN

CONTROL LAW, REQUIRED WAYLAND PLANNING BOARD

RECEIVED DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE

TOWN CLERK DATE

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE

PROFESSIONAL LAND SURVEYOR

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY UNES OF THIS TRACT OF LAND WAS MADE ON THE GROUND IN ACCORDANCE WITH THE SPECIFICATIONS IN THE "ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE AND ADOPTED BY THE MASSACHUSETTS ASSOCIATION OF

DEFINITIVE SUBDIVISION **AMENDMENT**

WAYLAND, MASSACHUSETTS 01778

STESSORS: MAP: 38 PARCELS: 158, 15C, 150, 15E

MARK S. **KLEMPNER**

LLC SCHOFIELD





4	B	HEA	PREY	13
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3	1.	THIN	***	141
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5			1"	Ill.

DATE: FEBRUARY 14, 2017

SCALL: AS NOTED

CHECKED: APPROVED:

KEY PLAN

1 OF 6

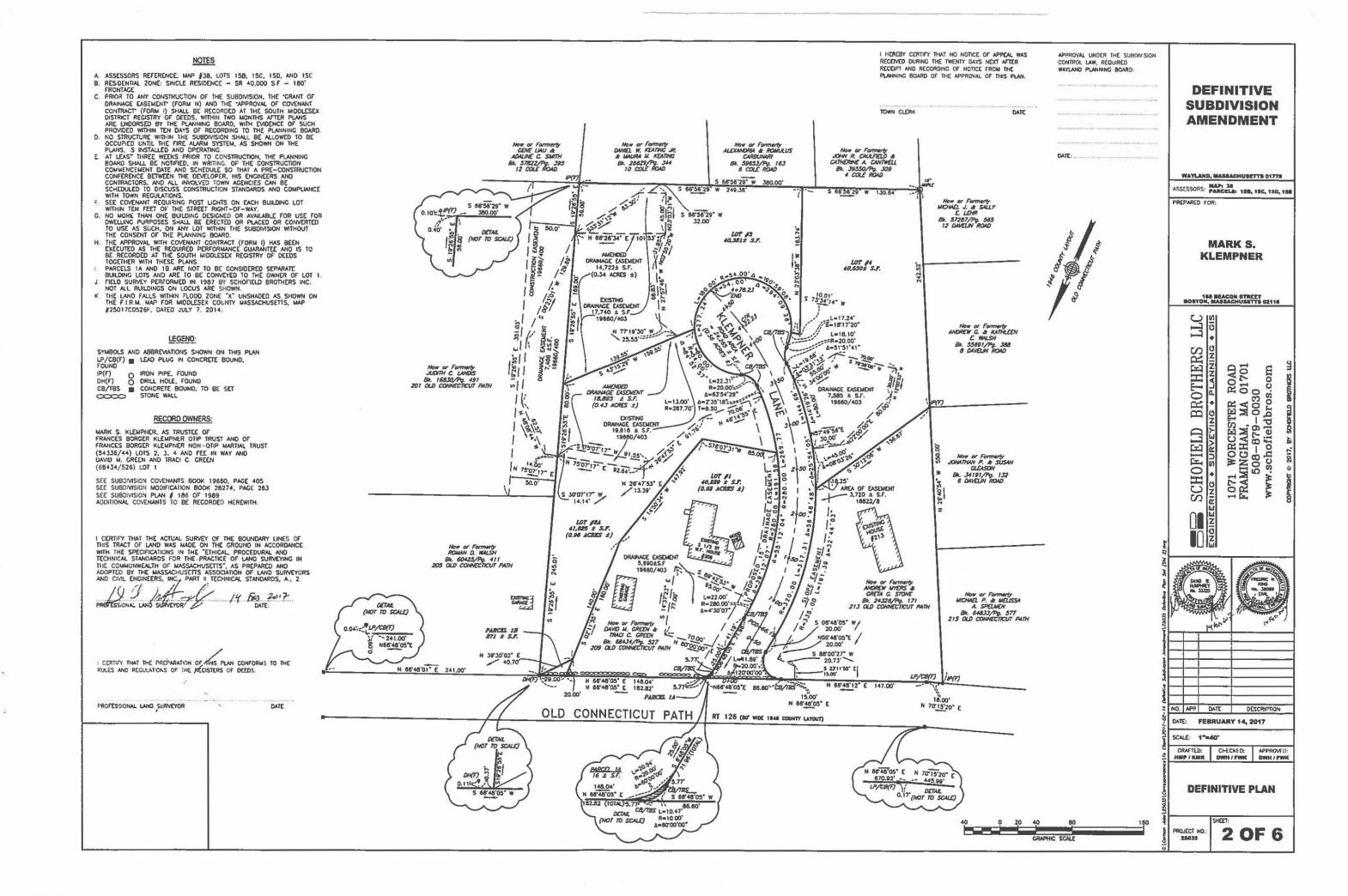
RECORD OWNERS

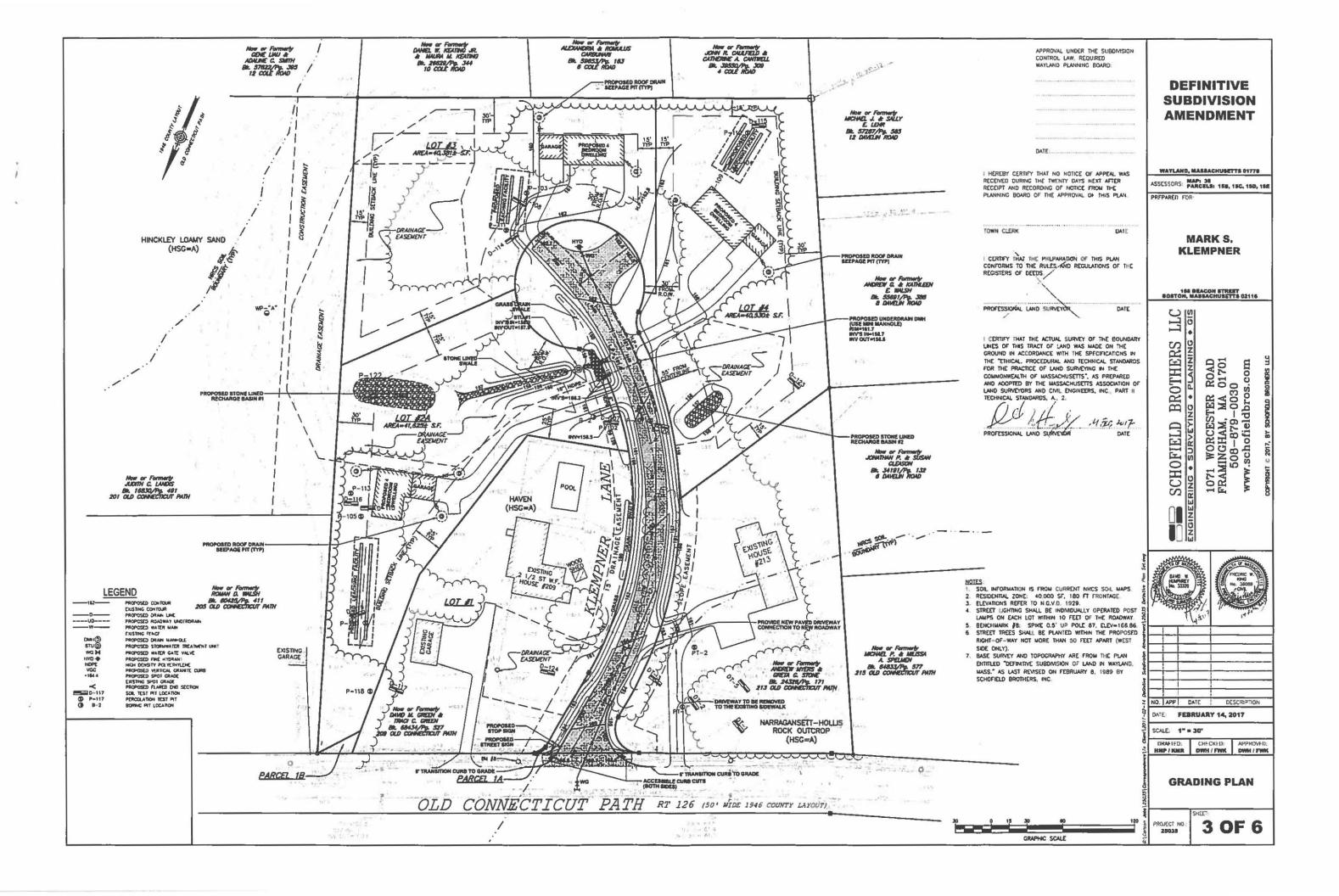
MARK S. KLEMPNER, AS TRUSTEE OF FRANCES BORGER KLEMPNER QTIP TRUST, AND AS TRUSTEE OF FRANCES BORGER KLEMPNER NON-QTIP MARITAL

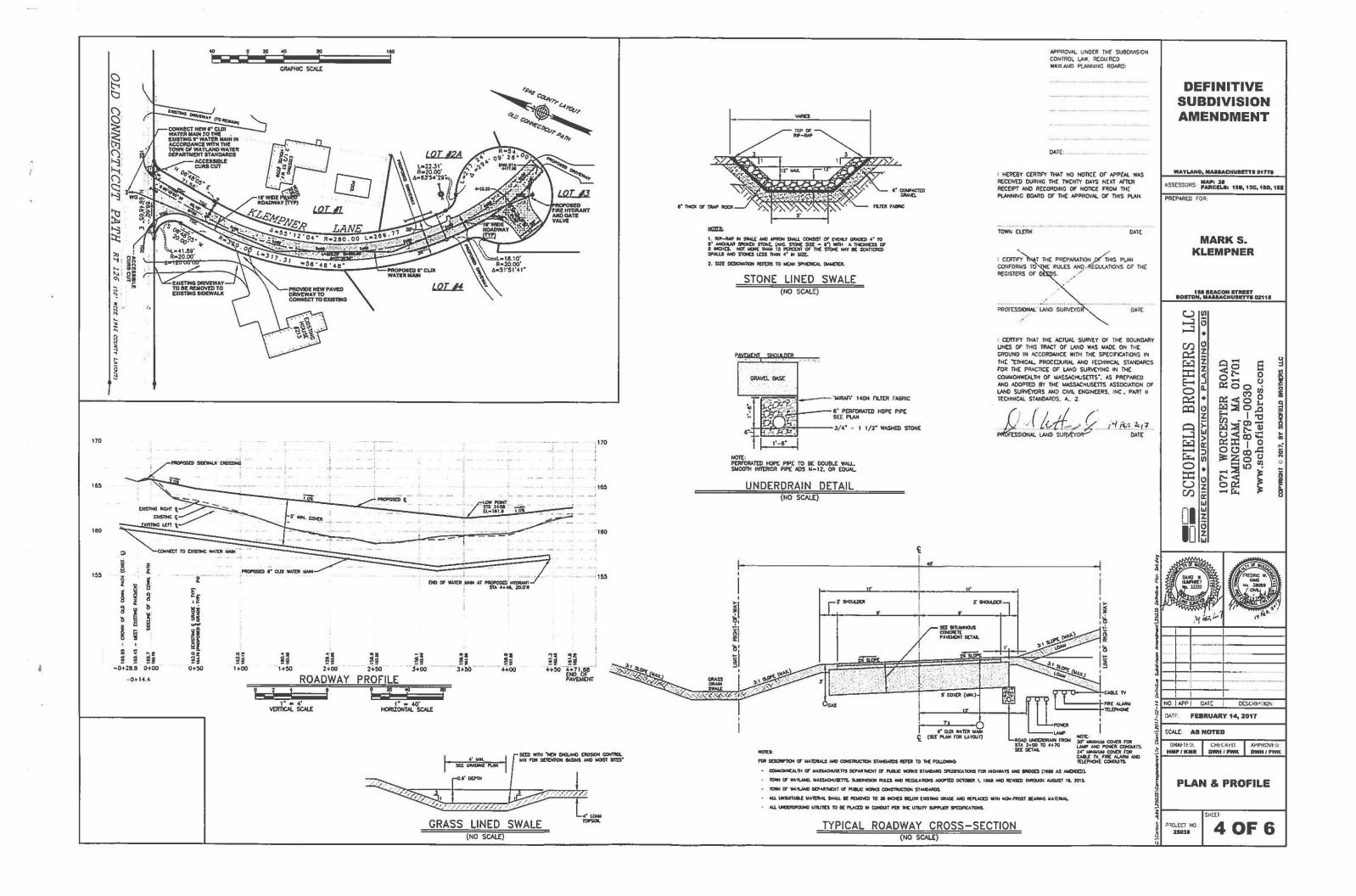
TRUST (54336/44) LOTS 2, 3, 4 AND FEE IN WAY DAVID M. GREEN AND TRACI C. GREEN (68434/526) LOT 1

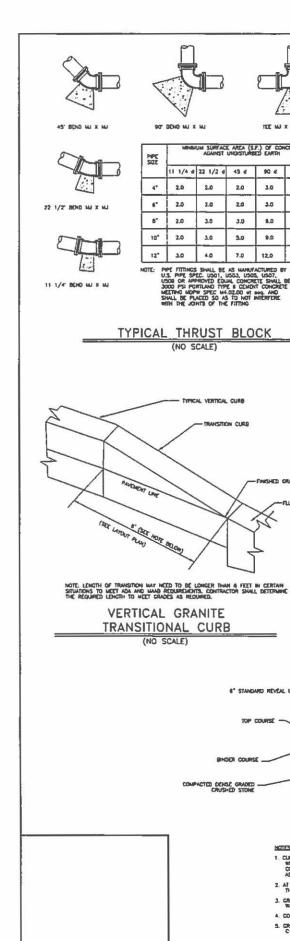
SHEET INDEX

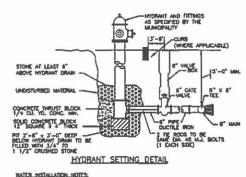
KEY PLAN DEFINITIVE PLAN GRADING PLAN PLAN & PROFILE DETAIL PLAN





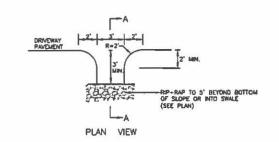


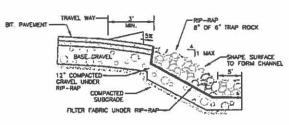




WATER HISTALLATION NOTTS: 1. WATER MAIN SHALL BE 8 BICH CLASS-52 CONCRETE LAND DUCTLE IRON. 2. WATER MAIN INSTALLATION, HYDRANTS, GATES, COMMETTIONS, ETC., SHALL BE INCONFORMANCE WITH THE TOWN OF WATERN WATER DEPARTMENT SPECIFICATIONS. J. ALL FITTINGS SHALL BE RESTRAINED MECHANICAL JOHTS, ALL FITINGS FOR THE HYDRAFT CONNECTIONS SHALL BE RESTRAINED MECHANICAL JOHN'S.

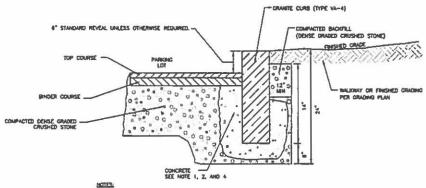
WATER MAIN & HYDRANT INSTALLATION (NO SCALE)





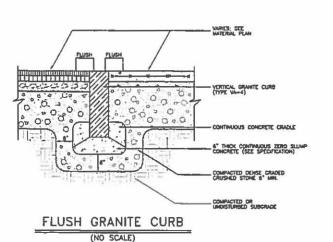
PROFILE VIEW A-A

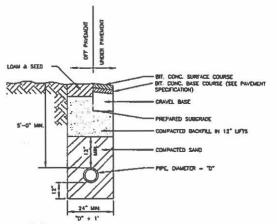
PAVED DRAIN CHUTE (NO SCALE)



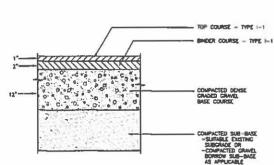
- AT ALL LOCATIONS WHERE GRANITE CLIRENG IS PROPOSED, INCLUDING REPLACEMENT, THE CLIRE IS TO BE SET IN 6" THEXE CONTINUOUS ZERO SLUMP CONCRETE.
- 3. CRANTE CURB INSTALLATION TO BE PER IND SECTION SOT AND THE LATEST TOWN OF
- 5. CROLITING OF CURB JOINTS TO BE HON-SHRINK CROUTING CONFORMING TO ASTA

GRANITE CURB (NO SCALE)





2. BACKFILL MATERIALS TO MEET TOWN OF WAYLAND WATER DEPARTMENT STANDARDS TYPICAL WATER PIPE BEDDING (NO SCALE)



THIS COMPACTED DENSE CRUDED CRAYEL BASE COURSE TO CONFORM TO THE WATLAND PLANNING BOARD FILLES AND RECRLATIONS.

COMPACTED CANAL, BORROW FOR SUB-BASE — NO STONES LARGER THAN 6 INC. 12.

BITLANDAUS COMPRIETE SHALL BE CASE 1, THEY 1-1.

A PRILLS OF LIBERATURE (REMOVE LEGGE TO A DEPTH OF 18 INC. 12. MINHAUM BELOW PAYCHERY THE APPLICATION OF THE WATLAND THE PRILLS OF S. COMPACTED BASE TO EXTEND 12 INCHES MINIMUM BEYOND THE EDGE OF PAVENCHT.

(NO SCALE)



CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

PROFESSIONAL LAND SURVEYOR

MARK S.

PERPARED FOR:

DEFINITIVE

SUBDIVISION **AMENDMENT**

WAYLAND, MASSACHUSETTS 01778

ASSESSORS: MAP: 38 PARCELS: 158, 15C, 15D, 15E

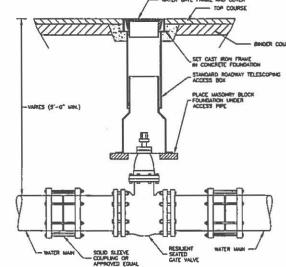
145 BEACON STREET BOSTON, MASSACHUSETTS 02116

KLEMPNER

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY LINES OF THIS TRACT OF LAND WAS MADE ON THE GROUND IN ACCORDANCE WITH THE SPECIFICATIONS IN THE "ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS", AS PREPARED AND ADOPTED BY THE MASSACHUSETTS ASSOCIATION OF LAND SURVEYORS AND CMIL ENGINEERS, INC., PART II

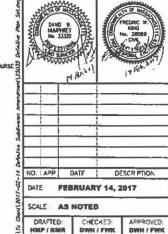
11/18 207

LLC BROTHERS 1071 WORCESTER ROAD FRAMINGHAM, MA 01701 508-879-0030 www.schofieldbros.com SCHOFIELD



(NO SCALE)

WATER GATE VALVE



DETAIL PLAN

5 OF 6

TEE MU X MU X MU

90 d TEE

4.0

8.0

9.0

3.0

6.0

9.0

12.0

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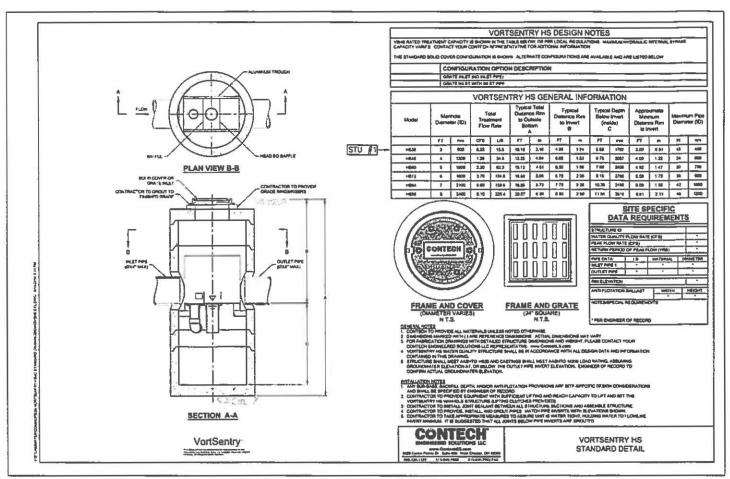
5.0

7.0

NOTE: LENGTH OF TRANSITION MAY NEED TO BE LONGER THAN 6 FEET IN CERTAIN SITUATIONS TO MEET ADA AND MANS REQUIREMENTS. CONTRACTOR SHALL DETERMINE THE REQUIRED LENGTH TO MEET CADES AS REQUIRED.

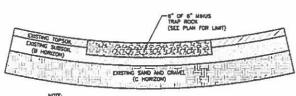
TRANSITIONAL CURB

BITUMINOUS CONCRETE PAVEMENT



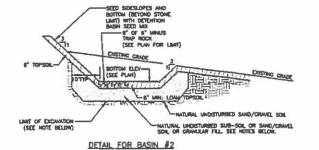
STORMWATER TREATMENT UNIT DETAIL

(NO SCALE)



NOTE: REMOVE ALL TOPSOIL AND SUB-SOIL TO A DEPTH OF 8 INCHES BELOW EXISTING GRADE IN TOPSOIL EXTENDS DEEPER THAN 8 INCHES, SEE NOTE 3 INCLOW.

DETAIL FOR BASIN #1



NOTE;

1. REMOVE THE EXISTING TOPSOIL AND SUBSOIL (8-HORIZON) TO TH€ NATURAL SAND/CRANEL LAYER.

2. IF THE EXCANATION IS BELOW THE FIRSH SUBGRADE OF THE STONE BOTTOM, SCANFY THE SURFACE OF THE HATURAL SUB-SOL, OR SAND/CRAWEL SURFACE AND FLL TO THIS SUBGRADE WITHIN TO FEET OF THE STONE BOTTOM BACKFUL MAY BE GROWNEY BORROW OR BETTER.

3. DICHMATION AND BACKFEL

— ALL TOPSON, SUBSIGL AND DELETITIOUS MATCHAL, IF ANY, MUST BE EXCAMATED AND REMOVED FROM WITHER FIVE (S) FEET FROM ALL SIDES OF THE INFILITATION SYSTEM
AND TO A DEPTH OF SX (8) WICHES BELOW THE SURFACE OF THE NATURAL SUB-SQL (B OR C HORZON).

- GRANULAR FELL: FILL MATERIAL BELOW THE BOTTOM OF THE SYSTOM AND WITHIN THY (S) FEET OF THE SOCIS OF THE SYSTOM SHALL BE PERMEABLE CRAMPIAR FILL CONSISTING OF CLEAN SAMPLY GRANULLY MATERIAL PROMISED AND HOSTER FROM ORGANIC MATERIA MEDICITEDIUS MATERIA MAPPOWED BY THE ENGREDIZED OR MATERIAL MEDICINE SYSTOM MATERIAL MEDI

- TRAP ROCK TO BE EVENLY GRADED, CLEAN 3 INCH TO B INCH TO B INCH STONE, NOT MORE THAN 15% OF THE STONE MAY BE SCATTERED SPALLS LESS THAN 3 INCHES

STONE RECHARGE BASINS - TYPICAL SECTIONS (NO SCALE)

BIT. CONC. SURFACE AND BASE COURSE SEE TRENCH AND PRIVILIDAT PAICH DETAIL - COMPACTED BACKERL

TYPICAL DRAIN PIPE BEDDING (NO SCALE)

RATI 140N FILTER FABRIC OVER STONE " PRECAST SLAB TOP 4" DIA WITH 18" DIA CONC. COVER (UIN) -MEDRUM DUTY CAST IRON FRAME & GRATE (ROUND) (USE LEBARON RIPH OR EQUAL) SET RIM AT FINISHED GRADE. BRICKS AND MORTAR FOR ADJUSTMENT S" RADIAL BARREL BLOCK DRY LAD WITH 3/4" OPDN JOINTS OR PRECAST CONCRETE DRYMELL (SHCA MMS-DRY-WELL DW-MDWSSWC) DR EQUAL

3. THE SEPACE PIT SHOWN IN THIS DETAIL IS DESIGNED TO MAINCLE 1000 SQ. PT. OF ROOF AREA. EQUIVALENT HIRLTHATION DESIGNS TO BE CONSIDERED MUST HAVE A MINIMAN MATER STORAGE VOLUME EQUIAL TO 1 SHOH OF RUNOFF OVER THE CONTRIBUTING ROOF AREA.

4. SEEPAGE PITS SHALL BE LOCATED AS FOLLOWS:

- NOT CLOSER THAM 10 FEET FROM A FOUNDATION WALL OR STRUCTURE:

- AWAY FROM VEHICULAR TRAFFIC AREAS UNLESS DESIGNED FOR H-20 LUNDING.

H-20 LOADING.

- NO TREES SHALL BE LOCATED WITHIN 10 FEET OF THE SEEPACE PIT.

- THE BOTTOM OF THE SEEPACE PIT SHALL BE ABOVE THE SEASONAL MAXIMAN OROMONOMERS RELYATION AS DETERMINED BY SOIL

EVALUATION PER MASS TITLE 3 CRITERIA.

CROSS - SECTION

PAPE SATE (PL)

15"

ROOF DRAIN SEEPAGE PIT DETAIL (NO SCALE)



I HEREBY CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN.

TOWN CLERK DATE

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

PROFESSIONAL LAND SURVEYOR

DATE

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY LINES OF THIS TRACT OF LAND WAS MADE ON THE GROUND IN ACCORDANCE WITH THE SPECIFICATIONS IN THE "ETHICAL PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS", AS PREPARED AND ADOPTED BY THE MASSACHUSETTS ASSOCIATION OF LAND SURVEYORS AND CIVIL ENGINEERS, INC., PART II TECHNICAL STANDARDS, A. 2

4 Fts 217

DEFINITIVE SUBDIVISION **AMENDMENT**

WAYLAND, MASSACHUSETTS 01778

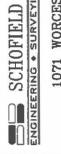
ASSESSORS: MAP: 38 PARCELS: 158, 15C, 15D, 188

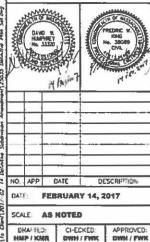
MARK S. **KLEMPNER**

168 BEACON STREET BOSTON, MASSACHUSETTS 02116

LLC RS BROTHER

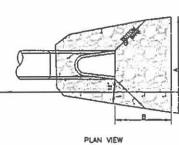
1071 WORCESTER ROAD FRAMINGHAM, MA 01701 508-879-0030 www.schofieldbros.com





BUE DESIGNATION RETERS TO MEAN SPHERICAL DIAMETER. LENGTH OF RIP-RAP TO BE PER THIS DETAIL LIFLESS OTHERWISE SHOWN ON THE PLANS.

WITH RIP - RAP APRON



PIPE END SECTION

-FILTER FARRIC

(NO SCALE)

PROLECT NO

6 OF 6

DETAIL PLAN