

# WAYLAND TOWN CENTER

400 BOSTON POST ROAD – WAYLAND, MASSACHUSETTS

## SITE PLAN II – PHASE I SITE PLAN APPLICATION

### DRAWING LIST

● NEW ISSUE ● REVISED ISSUE ○ ISSUED WITH NO CHANGES

		SITE PLAN I APPROVAL SUBMISSION 5/2/2008	SITE PLAN II PHASE I APPLICATION 6/2/2008						
<b>ARCHITECTURAL</b>									
A0.0	Cover Sheet	●	●						
A1.1	Orthographic Map	●							
A1.2	Site Plan	●							
A2.1	Building 1-A Floor Plans and Roof Plan	●							
A2.2	Building 1-B Floor Plan and Roof Plan	●							
A2.3	Building 1-C Floor Plan and Roof Plan	●							
A2.4	Building 2-A Floor Plans and Roof Plan								
A2.5	Building 2-B Floor Plans and Roof Plan								
A2.6	Building 2-C Floor Plans and Roof Plan								
A2.7	Building 2-D Floor Plans and Roof Plan								
A2.8	Building 3-A Floor Plans and Roof Plan								
A2.9	Building 3-B Floor Plans and Roof Plan								
A2.10	Building 3-C Floor Plans and Roof Plan								
A2.11	Building 3-D Floor Plans and Roof Plan								
A2.12	Building 3-E Floor Plans and Roof Plan								
A2.13	Building 3-F Floor Plans and Roof Plan								
A3.1	Building 1-A Elevations	●							
A3.2	Building 1-B Elevations	●							
A3.3	Building 1-C Elevations	●							
A3.4	Building 2-A Elevations								
A3.5	Building 2-B Elevations								
A3.6	Building 2-C Elevations								
A3.7	Building 2-D Elevations								
A3.8	Building 3-A Elevations								
A3.9	Building 3-B Elevations								
A3.10	Building 3-C Elevations								
A3.11	Building 3-D Elevations								
A3.12	Building 3-E Elevations								
A3.13	Building 3-F Elevations								
A4.1	Signage Elevations	●							
A4.2	Signage Elevations								
A4.3	Signage Elevations								
A5.1	Streetscape Elevations	●							
A5.2	Streetscape Elevations								
A5.3	Streetscape Elevations								
A5.4	Streetscape Elevations								
A5.5	Streetscape Elevations								
<b>CIVIL</b>									
C-0	Abbreviations, Legend and Notes		●						
SV-1	Existing Conditions Survey (VHB)		●						
1-1	ALTA/ACSM Land Title Survey (VHB)		●						
C-1	Overall Site Plan		●						
C-2A-2D	Demolition and Erosion Control Plan		●						
C-3A-3D	Grading and Drainage Plan		●						
C-4A-4D	Utility Plan		●						
C-5A-5D	Parking and Traffic Control Plan		●						
C-6	Erosion Control Details		●						
C-7	Drainage Details		●						
C-8	Utility Details I		●						
C-9	Utility Details II		●						

### CIVIL CONT'

		SITE PLAN I APPROVAL SUBMISSION 5/2/2008	SITE PLAN II PHASE I APPLICATION 6/2/2008						
C-10	Subsurface Sewage Disposal System Details		●						
C-11	Fast System Details		●						
C-12	Layout and Materials Details I		●						
C-13	Layout and Materials Details II		●						

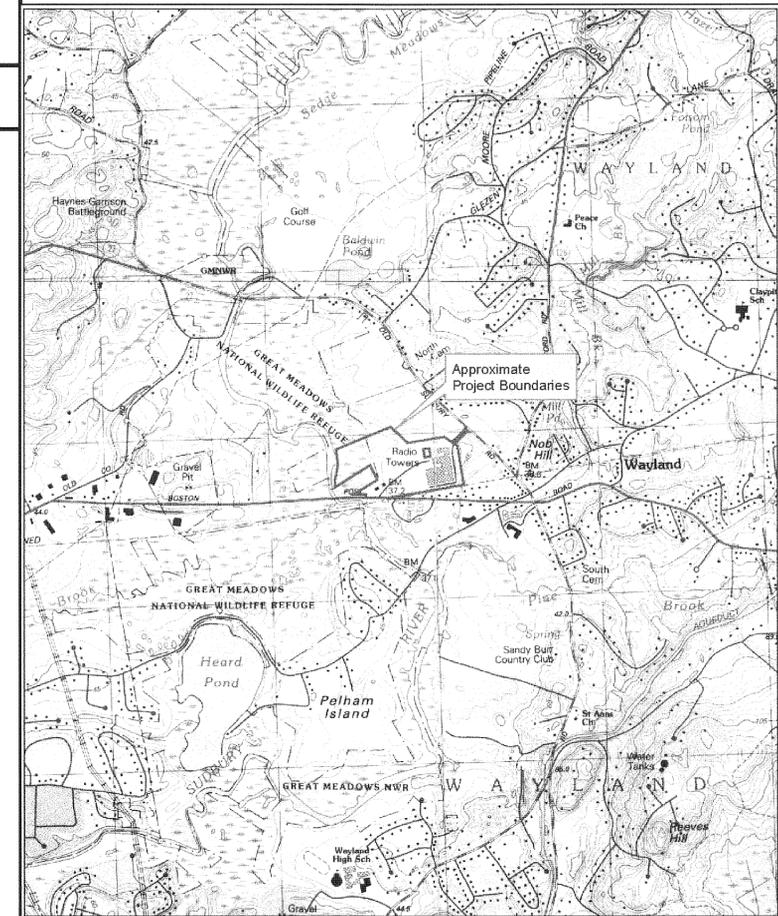
### ELECTRICAL

ES-1	Legend, Notes and Lighting Fixture Schedule								
ES-2	Electrical Utility Site Plan – Demolition								
ES-3	Electrical Utility Site Plan – New Work								
ES-4	Electrical Site Plan – Lighting								
ES-5	Miscellaneous Details – Sheet No. 1								
ES-6	Miscellaneous Details – Sheet No.2								

### LANDSCAPE

L-1	Landscape Plan		●						
L-2	Landscape Detail Plan		●						
L-3	Buffer Planting Plan		●						
L-4	Street Tree Planting Plan		●						
L-5	Landscape Sections and Plant List		●						
L-6	Landscape Site Details		●						

LH1	Landscape Plan								
LH2	Landscape Detail Plan								
LH3	Site Materials Design Palette 1								
LH4	Site Materials Design Palette 2								
LH5	Site Materials Design Palette 3								
LH6	Prototypical Sections								
LH7	Buffer Planting Section & Elevation								



### USGS LOCUS MAP

Scale: 1" = 1500'  
0 750' 1500' 3000'

### PROJECT TEAM

<b>OWNER/DEVELOPER</b>	<b>TWENTY WAYLAND, LLC</b> 260 Boston Post Road, Suite 9 WAYLAND, MA 02109
<b>ARCHITECT/MASTER PLANNER</b>	<b>ARROWSTREET</b> 212 ELM STREET SOMERVILLE, MA 02144
<b>CIVIL ENGINEER</b>	<b>RJ O'CONNELL &amp; ASSOCIATES, INC.</b> 80 MONTVALE AVE., SUITE 201 STONEHAM, MA 02180
<b>LANDSCAPE ARCHITECT</b>	<b>CBA LANDSCAPE</b> 212 ELM STREET SOMERVILLE, MA 02144
<b>SITE LIGHTING</b>	<b>ID GROUP</b> 38 CHAUNCY STREET BOSTON, MA 02111
<b>TRAFFIC</b>	<b>R. D. VANASSE &amp; ASSOCIATES</b> 10 NEW ENGLAND BUSINESS CENTER DR. ANDOVER, MA 01801

DATE SITE PLAN ENDORSED: \_\_\_\_\_

2 JUNE 2008

GENERAL AND EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL EXISTING INFORMATION, INCLUDING EXISTING PROPERTY LINE INFORMATION, EXISTING UTILITY INFORMATION AND EXISTING TOPOGRAPHY HAS BEEN TAKEN FROM PLANS COMPILED BY VANASSE HANGEN BRUSTLIN TITLED ALTA/ASCM LAND TITLE SURVEY, DATED JUNE 8, 2001 AND EXISTING CONDITIONS PLAN OF LAND DATED APRIL 7, 2005.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.O.E.'S (DEP) EROSION AND SEDIMENTATION CONTROL GUIDELINES, AUGUST 1983, THE U.S.D.A. S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND ALL LOCAL MUNICIPAL REGULATIONS.
5. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
6. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED HAY BALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
7. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
8. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN FOURTEEN DAYS, OR WHEN FINAL GRADES ARE FINISHED IN ANY PORTION OF THE SITE STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS. AREAS WHICH REMAIN DISTURBED BUT INACTIVE FOR AT LEAST FOURTEEN DAYS SHALL RECEIVE TEMPORARILY SEEDING IN ACCORDANCE WITH MASSACHUSETTS DEP EROSION AND SEDIMENT CONTROL GUIDELINES. IN ALL CASES, STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.
9. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE TEMPORARY DRAINAGE SWALES & SEDIMENT BASINS.
10. THE LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS SHALL BE REVISED AS REQUIRED AS CONSTRUCTION PROGRESSES
11. HAYBALES AND/OR FILTER BAGS SHALL BE PLACED AROUND CATCH BASINS AS REQUIRED DURING CONSTRUCTION.
12. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED OR A WEEKLY BASIS (ONCE EVERY SEVEN DAYS), CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT. THE CONTRACTOR SHALL STRICTLY ADHERE TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DURING CONSTRUCTION OPERATIONS.
13. ALL PROPOSED SLOPES (EXCLUDING RIP RAP SLOPES) STEEPER THAN 3H:1V SHALL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELCOR COMPANY (OR ENGINEER APPROVED EQUAL) PRIOR TO HYDROSEEDING AND PROTECTED FROM EROSION.
14. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL HAYBALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER AND/OR CONSERVATION COMMISSION AGENT TO MITIGATE ANY EMERGENCY CONDITION.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
16. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
17. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AS DETERMINED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
18. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
19. CATCH BASINS WHICH SERVE AS TEMPORARY SEDIMENT TRAPS MUST BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT. SEDIMENT WILL BE REMOVED FROM EACH BASIN WHEN SEDIMENT HAS ACCUMULATED TO WITHIN 1' BELOW THE INVERT ELEVATION OF THE OUTFALL PIPE.
20. UPON COMPLETION OF ALL SITE WORK CONSTRUCTION SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS, DRAINAGE SWALES, FOREBAYS, & THE DETENTION POND AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE DURING THE COURSE OF CONSTRUCTION.
21. ALL CONSTRUCTION SHALL MEET OR EXCEED THE TOWN OF WAYLAND'S ENGINEERING DEPARTMENT SPECIFICATIONS.
22. ALL SLOPES EXCEEDING FIFTEEN (15) PERCENT RESULTING FROM THE SITE GRADING SHALL BE EITHER COVERED WITH SIX (6) INCHES OF TOPSOIL AND PLANTED WITH A VEGETATIVE COVER SUFFICIENT TO PREVENT EROSION OR BE STABILIZED BY A RETAINING WALL.
23. DUST CONTROL SHALL BE USED DURING GRADING OPERATIONS. DUST CONTROL METHODS SHALL CONSIST OF DAMPENING THE GROUND WITH WATER. IF WATER DOES NOT PROVIDE ADEQUATE DUST CONTROL, AN EMULSION SOIL STABILIZER SHALL BE APPLIED TO SUSCEPTIBLE SOILS.
24. THE CONTRACTOR SHALL BE AWARE THAT SOIL, GRADES AND WETLANDS PROXIMITY AT THIS SITE MAKE IT PARTICULARLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. IT SHOULD BE NOTED THAT THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL AND ARE REPRESENTATIVE OF A SINGLE STAGE OF CONSTRUCTION FOR EACH PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE CONDITIONS CHANGE.
25. THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITIONS, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
26. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
27. THE CONTRACTOR SHALL AT HIS EXPENSE SURVEY AND MARK OUT IN THE FIELD THE LIMITS OF CLEARING (I.E. HAYBALE/SILT/FENCE LINE) AND THE WETLAND BUFFER BOUNDARY FOR APPROVAL BY THE TOWN PRIOR TO COMMENCEMENT OF CLEARING AND GRUBBING ACTIVITIES.
28. THE CONTRACTOR SHALL NOTIFY THE TOWN'S PLANNING STAFF AND CONSERVATION AGENT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF SITEWORK.
29. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL PREPARE A WEEKLY REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND BE SHOWN TO LOCAL STATE AND FEDERAL AGENCIES UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
30. HAYBALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS LOCATED IN FILL AREAS & SUBJECT TO STORMWATER RUN-OFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENTS SHALL ENTER THE ON-SITE DRAINAGE SYSTEM AT ANY TIME.
31. THE FOREBAY BASINS SHALL BE USED AS SEDIMENTATION BASINS THROUGHOUT CONSTRUCTION AND SHALL BE PERIODICALLY CLEANED DURING CONSTRUCTION, AND AT THE COMPLETION OF CONSTRUCTION. ALL TEMPORARY SWALES SHALL BE DIRECTED TO THE FOREBAY LOCATION WHEN POSSIBLE.
32. THE LOCATION OF HAYBALE CHECK DAMS SHALL BE FIELD VERIFIED DURING SITE PREPARATION OPERATIONS BY THE CONTRACTOR.
33. UPON COMPLETION OF ALL SITE WORK CONSTRUCTION SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS, DRAINAGE SWALES, FOREBAYS, & THE DETENTION POND AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE DURING THE COURSE OF CONSTRUCTION.
34. WINTER CONSTRUCTION AND STABILIZATION
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15
SEDMINT BARRIERS: DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES OR SILT FENCES.
MULCHING: ALL AREAS SHALL BE CONSIDERED TO BE DENUDE UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LBS. PER 1000 SF OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A 1-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH, BETWEEN NOVEMBER 1 AND APRIL 15. ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH WORKDAY DURING FINAL GRADING ACTIVITIES.
SOIL STOCKPILING: STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL.
SEEDING: BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAN OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOOSED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH OR EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS./1000 SF. ALL AREAS SEEDED DURING THE WINTER WILL BE SPRUNG BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE RE-VEGETATED IN THE SPRING.
WINTER STABILIZATION OF DITCHES AND CHANNELS: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE DITCH:
INSTALL A SOO LINING IN THE DITCH: A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOO BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOO ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOO TO GUARANTEE CONTACT BETWEEN THE SOO AND UNDERLYING SOIL, WATERING THE SOO TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOO AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOO FROM SLOUGHING DURING FLOW CONDITIONS.
INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH.

- WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE:
TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIPRAP.
SOO: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOO BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOO ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOO TO GUARANTEE CONTACT BETWEEN THE SOO AND UNDERLYING SOIL, AND WATERING THE SOO TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOO INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 30% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
STONE RIP RAP: PLACE A LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. CONTACT THE PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.
WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDED AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN:
TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SF, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL, BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR WINTER PROTECTION AS DESCRIBED BELOW.
SOO: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOO BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOO ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOO TO GUARANTEE CONTACT BETWEEN THE SOO AND UNDERLYING SOIL, AND WATERING THE SOO TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 LBS PER 1000 SF ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL EXISTING INFORMATION, INCLUDING EXISTING PROPERTY LINE INFORMATION, EXISTING UTILITY INFORMATION AND EXISTING TOPOGRAPHY HAS BEEN TAKEN FROM PLANS COMPILED BY VANASSE HANGEN BRUSTLIN TITLED ALTA/ASCM LAND TITLE SURVEY, DATED JUNE 8, 2001 AND EXISTING CONDITIONS PLAN OF LAND DATED APRIL 7, 2005.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. ALL STORM DRAINAGE PIPES SHALL BE CPP (CORRUGATED PLASTIC PIPE) AND STRUCTURES PRECAST CONCRETE UNLESS NOTED OTHERWISE. CPP PIPE SHALL CONFORM WITH AASHTO DESIGNATIONS M204 AND M252. SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE A5H-12 PIPE AS MANUFACTURED BY HANCOCK, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON DETAILS.
5. RIP RAP SPLASH APRONS SHALL BE PROVIDED AT ALL OUTFALLS TO AND FROM THE DETENTION BASIN AS SHOWN ON THE DRAWINGS.
6. ALL ROOF DRAIN CONNECTIONS SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
7. THE EXISTING UTILITIES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION PRIOR TO EXCAVATION AND CONSTRUCTION.
8. ALL UTILITY SERVICES ARE NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR LOCATION AND ELEVATION.
9. ALL NEW CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
10. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
11. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY-DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
12. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST CONCRETE.
13. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
14. AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASUREMENTS INSTALLED, THE CONTRACTOR SHALL COMMENCE WITH THE DEMOLITION ACTIVITIES ASSOCIATED WITH THE EXISTING STRUCTURE AND EARTHWORK ACTIVITIES TO ROUGH GRADE THE SITE.

PARKING AND TRAFFIC CONTROL NOTES

- 1. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) OF JANUARY, 1992 AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD OF REGULATIONS, 52 CMR UNLESS OTHERWISE NOTED.
2. ACCESSIBLE PARKING SPACES DESIGNATED WITH A "WM" SHALL BE SIGNED AS "ACCESSIBLE ACCESSIBLE" PER A.D.A. 4.1.2.5B.
3. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR DETAILED OTHERWISE.
4. ALL STANDARD PARKING SPACES SHALL BE 9' IN WIDTH BY 18.5 FEET IN LENGTH. SEE PARKING AND TRAFFIC CONTROL PLAN C-5 FOR PARKING WIDTH DIMENSIONS.
5. ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS, DETAILS AND DIMENSIONS OF CONCRETE SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, CONCRETE PADS AND EXACT UTILITY ENTRANCE LOCATIONS.
7. PARKING AND TRAFFIC CONTROL PLANS ARE SCHEMATIC AND FOR LOCATION OF MARKINGS ONLY. SPECIFIC DETAILS FOR INSTALLATION OF PAVEMENT MARKINGS ARE PROVIDED AS PART OF THIS PLAN SET.
8. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.

WATER NOTES

- 1. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 7 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
2. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS REQUIRED UNDER THE CONTRACT ARE NOTED, SHOWN, OR INDICATED.
3. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PRESENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
4. DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE, CURB STOP, AND BOX.
5. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF WAYLAND'S WATER AND SEWER DEPARTMENT STANDARDS.
6. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE TOWN OF WAYLAND'S WATER DEPARTMENT STANDARDS AND REQUIREMENTS. IN THE ABSENCE OF STANDARDS, THEY SHALL CONFORM TO THE REQUIREMENTS SPELLED OUT IN THE SITE PROJECT MANUAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE TOWN OF WAYLAND'S WATER DEPARTMENT. COPIES OF TEST RESULTS WILL BE SUBMITTED TO WAYLAND WATER DEPARTMENT FOR APPROVAL.
7. THRUST BLOCKS OR MEGALUG SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
8. ALL WATER LEADS TO BUILDING WILL END TEN FEET (10') OUTSIDE BUILDING LIMITS AS SHOWN ON THE PLAN AND SHALL BE PROVIDED WITH TEMPORARY PLUG AT END.
9. MAINTAIN A MINIMUM SEPARATION OF THREE FEET (3') BETWEEN GAS AND WATER MAINS (MEASURE FROM CENTER OF PIPE).
10. THE CONTRACTOR SHALL NOTIFY THE WAYLAND WATER DEPARTMENT (508-358-3696) BEFORE ANY NEW WATER MAIN PORTION IS CONNECTED TO MUNICIPAL WATER MAIN.
11. TOWN OF WAYLAND IS RESPONSIBLE FOR PERFORMING ALL BACTERIOLOGICAL TESTING UPON THE TOWN'S ACCEPTANCE OF THE CONTRACTOR'S PRESSURE TESTING RESULTS.

DEMOLITION NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. ALL EXISTING INFORMATION, INCLUDING EXISTING PROPERTY LINE INFORMATION, EXISTING UTILITY INFORMATION AND EXISTING TOPOGRAPHY HAS BEEN TAKEN FROM PLANS COMPILED BY VANASSE HANGEN BRUSTLIN TITLED ALTA/ASCM LAND TITLE SURVEY, DATED JUNE 8, 2001 AND EXISTING CONDITIONS PLAN OF LAND DATED APRIL 7, 2005.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
5. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD. SUCH SERVICE SHALL BE CAPPED OFF WHERE SOME ENTER THE PERIMETER OF THE PROPERTY LINE. ALL CAPPING/REMOVAL SHALL BE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY/ENTITY STANDARDS.
6. ALL EXISTING LIGHT POLES, BASES, FIXTURES AND CONDUITS SHALL BE ABANDONED, REMOVED AND DISPOSED OF OFF-SITE.
7. ALL EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE RECLAIMED. ALL RECLAIM MATERIAL FROM PROPOSED LANDSCAPED AND BUILDING AREAS SHALL BE REMOVED.
8. ALL EXISTING GRANITE CURB SHALL BE REMOVED AND STORED ON SITE FOR REUSE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW SITE DRAINAGE AND UTILITIES WHICH ARE TO REMAIN AND/OR BE CONSTRUCTED.
10. DEMOLITION ACTIVITY ON SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE TEMPORARY DRAINAGE SWALES AND SEDIMENT CONTROL FACILITIES.
11. ABANDONMENT OF EXISTING DRAIN AND WATER MAIN PIPES SHALL BE ACHIEVED BY USING BRICKS AND MORTAR, OR PLUGS/CAPS AVAILABLE FROM PIPE SUPPLIERS.
12. WORK INVOLVED IN THE ABANDONMENT OF EXISTING MANHOLES AND CATCH BASINS SHALL BE AS FOLLOWS:
A. REMOVE EXISTING CASTING AND STORE ON-SITE FOR REUSE.
B. REMOVE A MINIMUM OF THE TOP THREE FEET OF THE STRUCTURE.
C. PLUG ALL PIPES.
D. BACKFILL THE STRUCTURE WITH COMPACTED GRANULAR FILL UP TO THE BOTTOM OF REQUIRED SURFACE MATERIALS.
13. PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITIES THE ON-SITE EROSION CONTROL MEASURES AS SHOWN ON DRAWING C-1 MUST BE INSTALLED AND APPROVED BY THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
14. ALL SUITABLE BUILDING MATERIALS THAT CAN BE REUSED AS ON-SITE FILL, AS DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER OR ENVIRONMENTAL ENGINEER (I.E. BRICK, BLOCK, CONCRETE AND STONE) SHALL BE CRUSHED AND STORED TO A SIZE OF 3 INCHES (3") OR LESS AND MEET THE GRADATION REQUIREMENTS OF STRUCTURAL FILL AS NOTED IN THE SITEMARK SPECIFICATIONS.

UTILITY NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. ALL EXISTING INFORMATION, INCLUDING EXISTING PROPERTY LINE INFORMATION, EXISTING UTILITY INFORMATION AND EXISTING TOPOGRAPHY HAS BEEN TAKEN FROM PLANS COMPILED BY VANASSE HANGEN BRUSTLIN TITLED ALTA/ASCM LAND TITLE SURVEY, DATED JUNE 8, 2001 AND EXISTING CONDITIONS PLAN OF LAND DATED APRIL 7, 2005.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
5. SITE CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
7. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL AND FEDERAL OSHA REGULATIONS.

GAS

- 1. THE PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR EDUCATING BACKLASH AND COMPANION OF THE GAS LINE IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS. CONTRACTOR IS ALSO RESPONSIBLE FOR FURNISHING AND INSTALLING PIPE BOLLARDS AS REQUIRED BY THE GAS COMPANY AND/OR LOCAL INSPECTOR IN ORDER TO PROTECT ABOVE GROUND GAS EQUIPMENT.

SEWER

- 1. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.), S.D.R. 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF WAYLAND'S SEWER DEPARTMENT STANDARDS.
4. SANITARY SEWER LEAD TO BUILDING WILL END TEN FEET (10') OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.

TRAFFIC CONTROL SCHEDULE table with columns: SIGN NUMBER, SIGN, SIZE OF SIGN (WIDTH, HEIGHT), DESCRIPTION, MOUNT TYPE, MOUNT HEIGHT, REMARKS. Includes entries for R1-1, R7-8, W11A-2, W11A-2P, R3-7R, R7-8A, R5-1, R2-1, R5-2, TR-1, TR-2.

LEGEND table with columns: EXISTING, PROPOSED, DESCRIPTION. Lists symbols for SLOPE RATIO, ELECTRIC MANHOLE, SEWER MANHOLE, TELEPHONE MANHOLE, WATER MANHOLE, SEWER LINE, WATER LINE, GAS LINE, ELECTRICAL CONDUIT, TELEPHONE CONDUIT, PLUG, VALVE, HYDRANT WITH BOLLARDS, TEE, UTILITY POLE, ELECTRIC HANDHOLE, HAYBALE, SILTATION FENCE, HAYBALE CHECK DAM, SEDIMENTATION TRAP, TEMPORARY SWALE, 1' CONTOUR LINE, 5' CONTOUR LINE, SPOT GRADES, CATCH BASIN, DOUBLE CATCH BASIN, DRAINAGE MANHOLE, DRAIN PIPE, FLOW DIRECTION, HEADWALL, SPLASH PAD/RIP RAP, FLORED END SECTION, BOTTOM OF SLOPE, SNOW STORAGE AREA.

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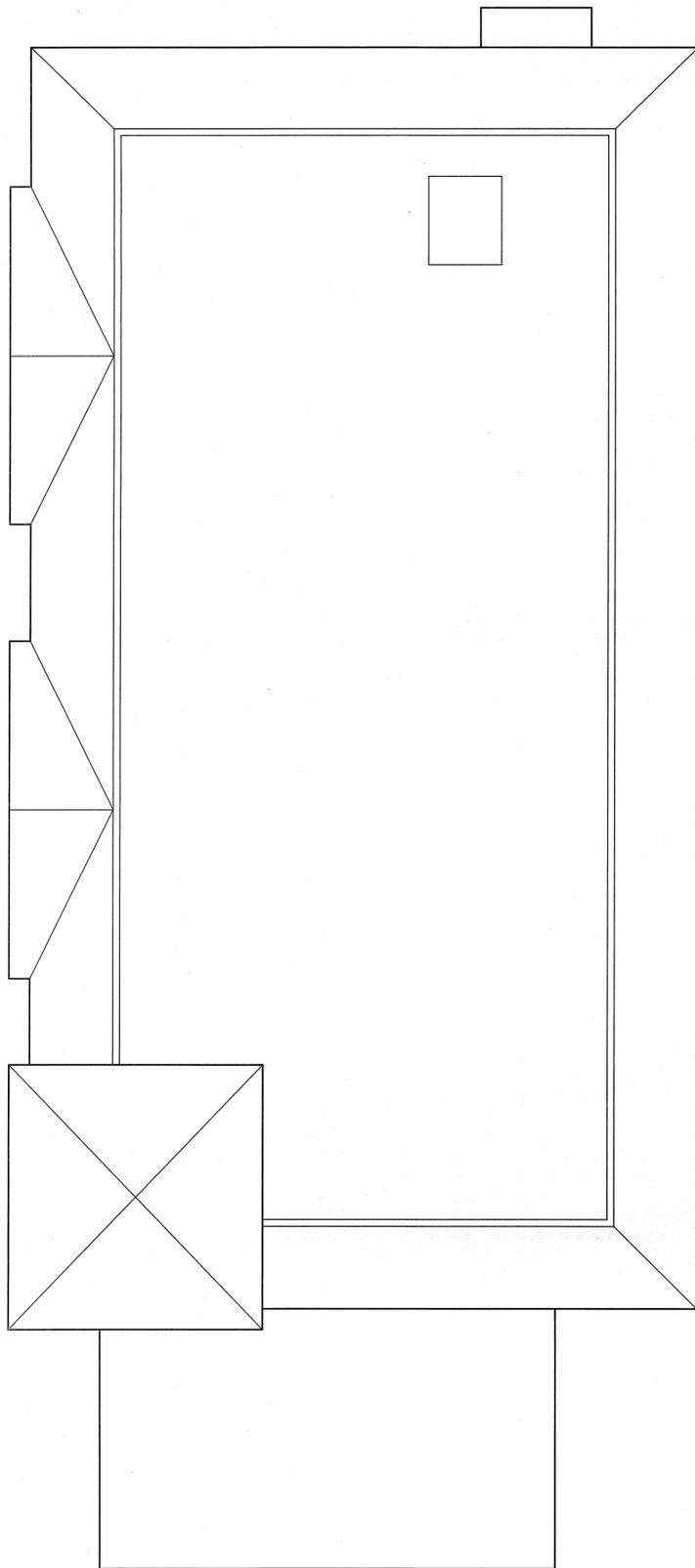
RJ O'CONNELL & ASSOCIATES, INC. Civil Engineers & Land Planners. 80 MONTVALE AVE. STONEHAM, MA 02180. PHONE: 781 279 0180 FAX: 781 279 0173. SHERKEY ARCHITECTS 14 Franklin Street Quincy, MA 02169

Proponent: Twenty Wayland, LLC 260 Boston Post Road, Suite 9 Wayland, MA 02109. Project No: RJC 06032. Drawn By: WJH. Checked By: CAD/BPD. Issue Date: 2 JUNE 2008. Revision: Date:

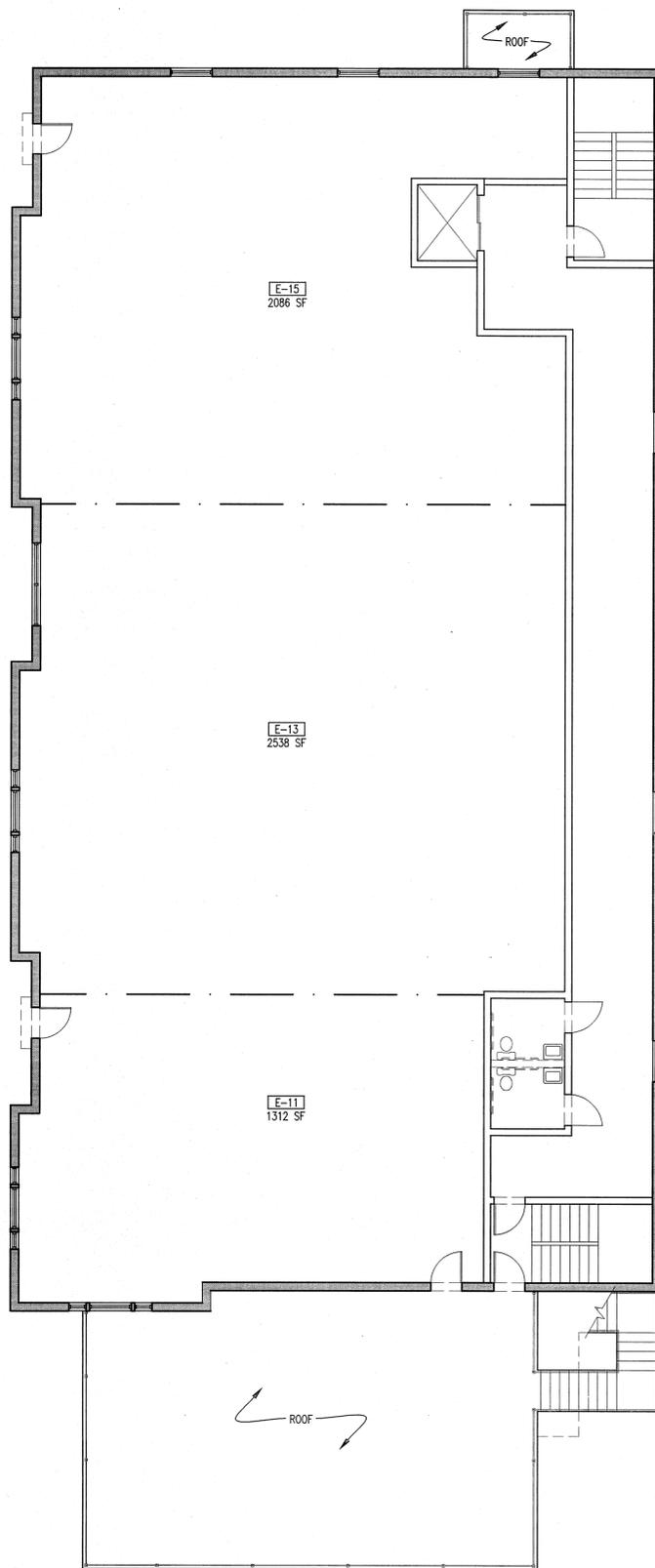
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Site Plan II Phase I Site Plan Application

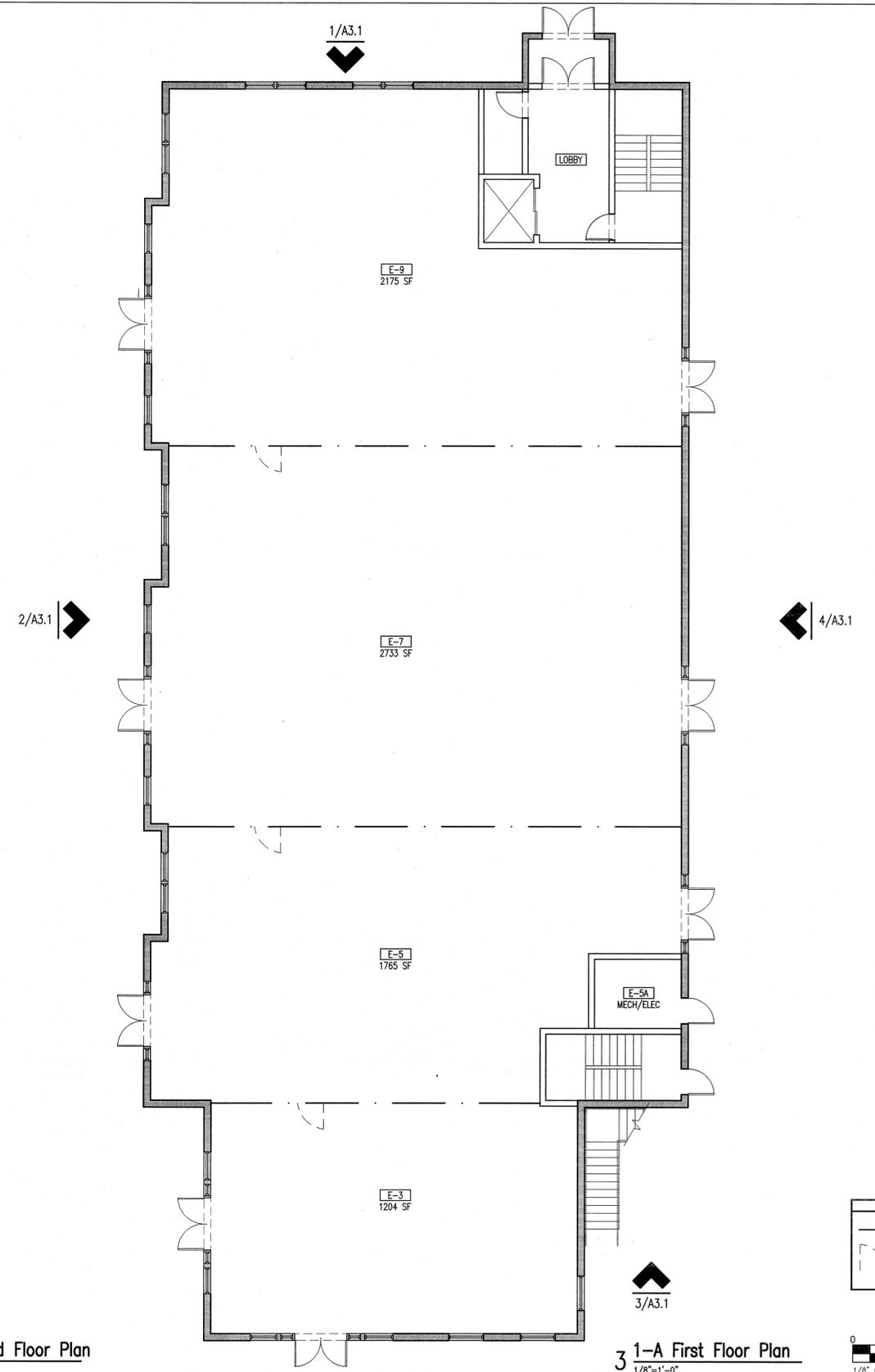
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1 1-A Roof Plan  
1/8"=1'-0"



2 1-A Second Floor Plan  
1/8"=1'-0"

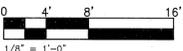


3 1-A First Floor Plan  
1/8"=1'-0"

**LEGEND**

--- LEASE LINE

--- FIRE RATED DOOR



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 Wayland, MA 01778

Project:  
**Wayland Town Center**  
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 Wayland, Massachusetts

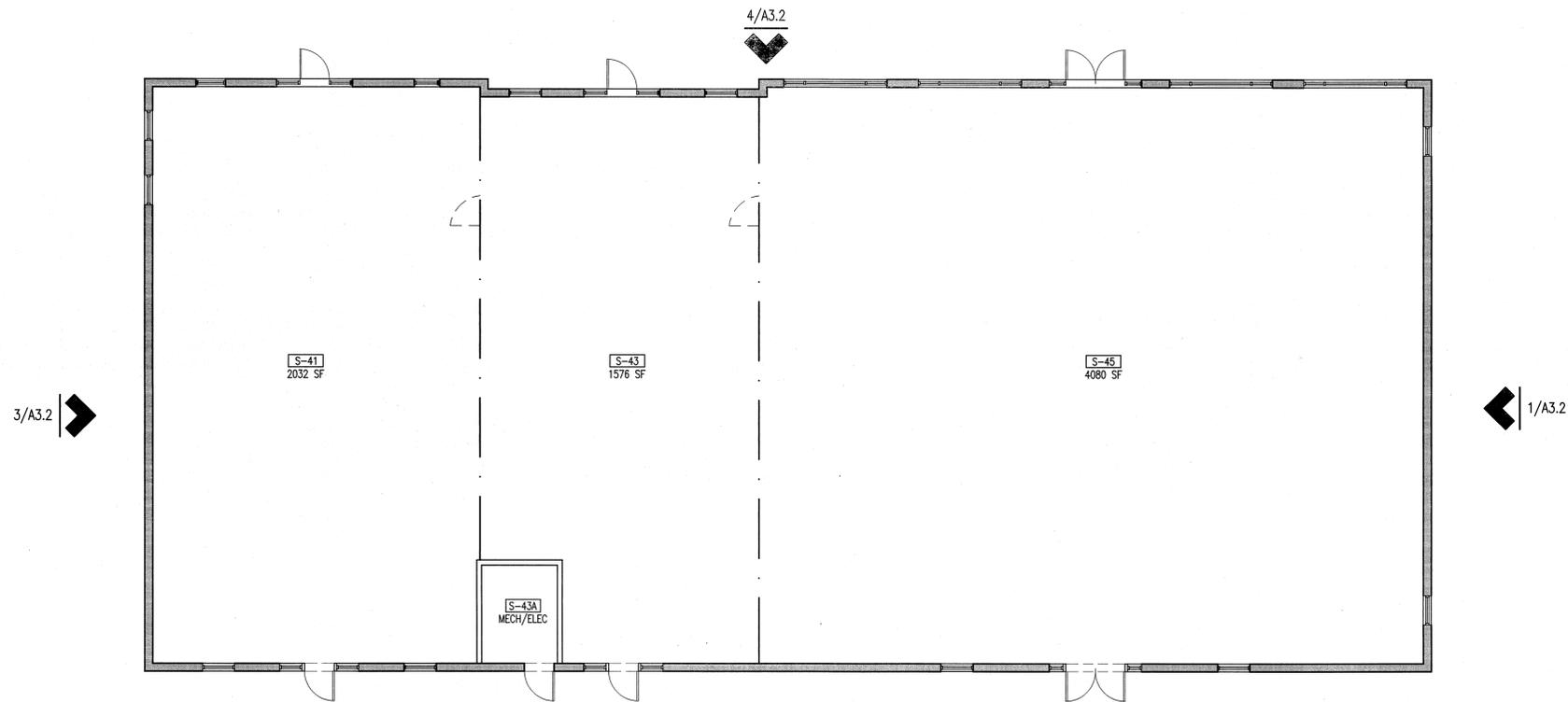
Site Plan I Approval  
 Submission

Project No: 06065  
 Drawn By: RPK/NM  
 Checked By: MW/EM  
 Issue Date: 2 MAY 2008  
 Revision Date:

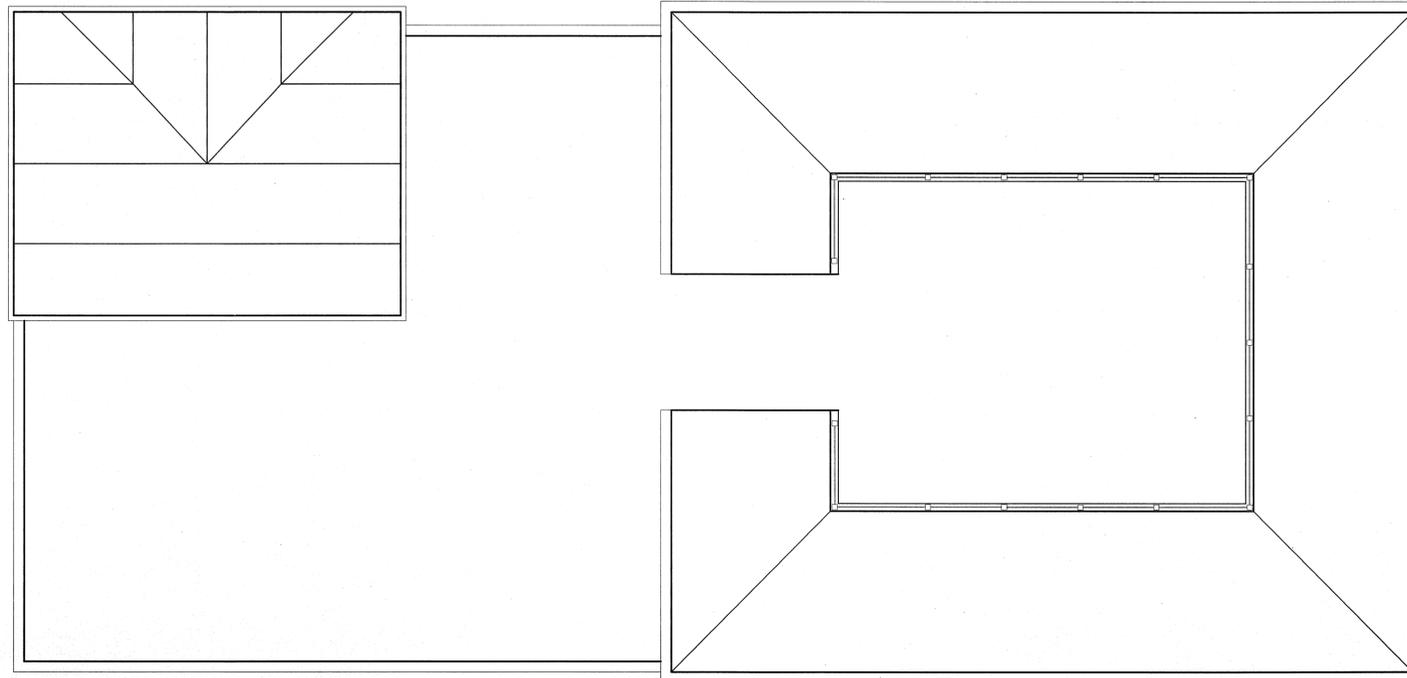


Drawing Title:  
**Building 1-A  
 Floor Plans**  
 Drawing Number  
**A2.1**  
 SCALE 1/8"=1'-0"

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1 1-B First Floor Plan  
1/8"=1'-0"



2 1-B Roof Plan  
1/8"=1'-0"

LEGEND	
	LEASE LINE
	FIRE RATED DOOR



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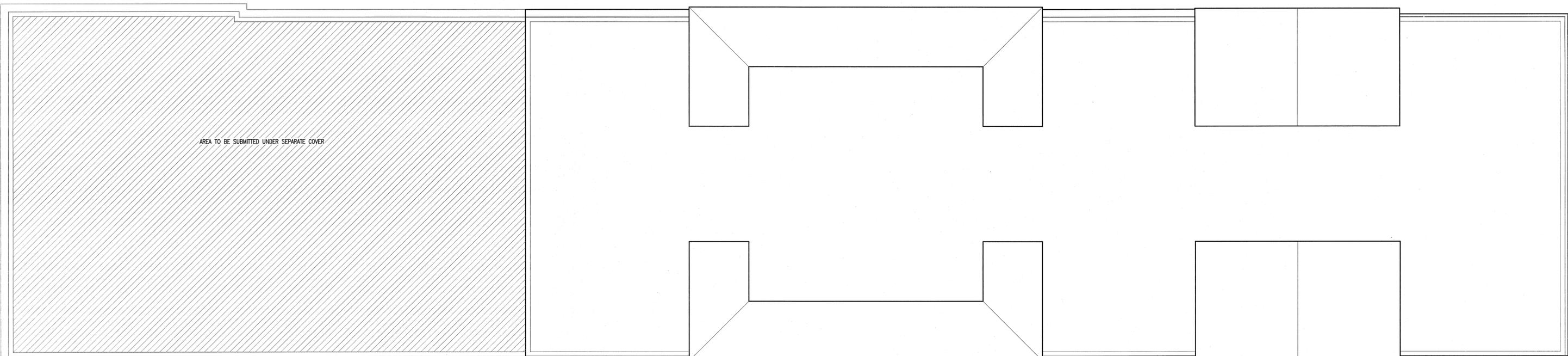
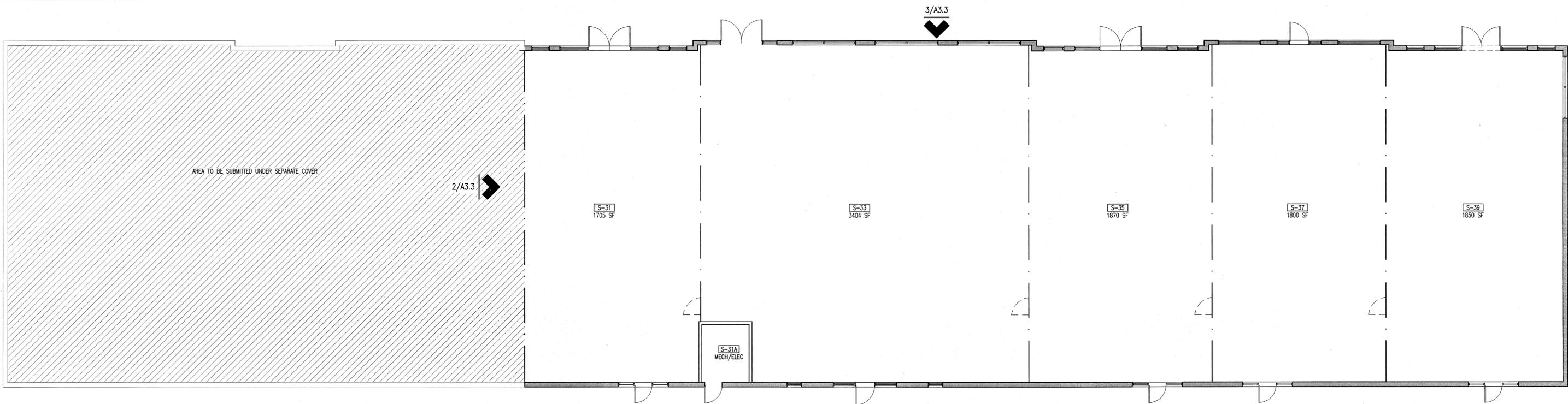
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Submission

Project No: 06065  
Drawn By: RPK/NM  
Checked By: MWEM  
Issue Date: 2 MAY 2008  
Revision Date:



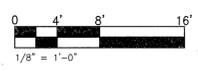
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**Building 1-B  
Floor Plans**  
Drawing Number  
SCALE 1/8"=1'-0" **A2.2**



**LEGEND**

--- LEASE LINE

--- FIRE RATED DOOR



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**Site Plan I Approval Submission**

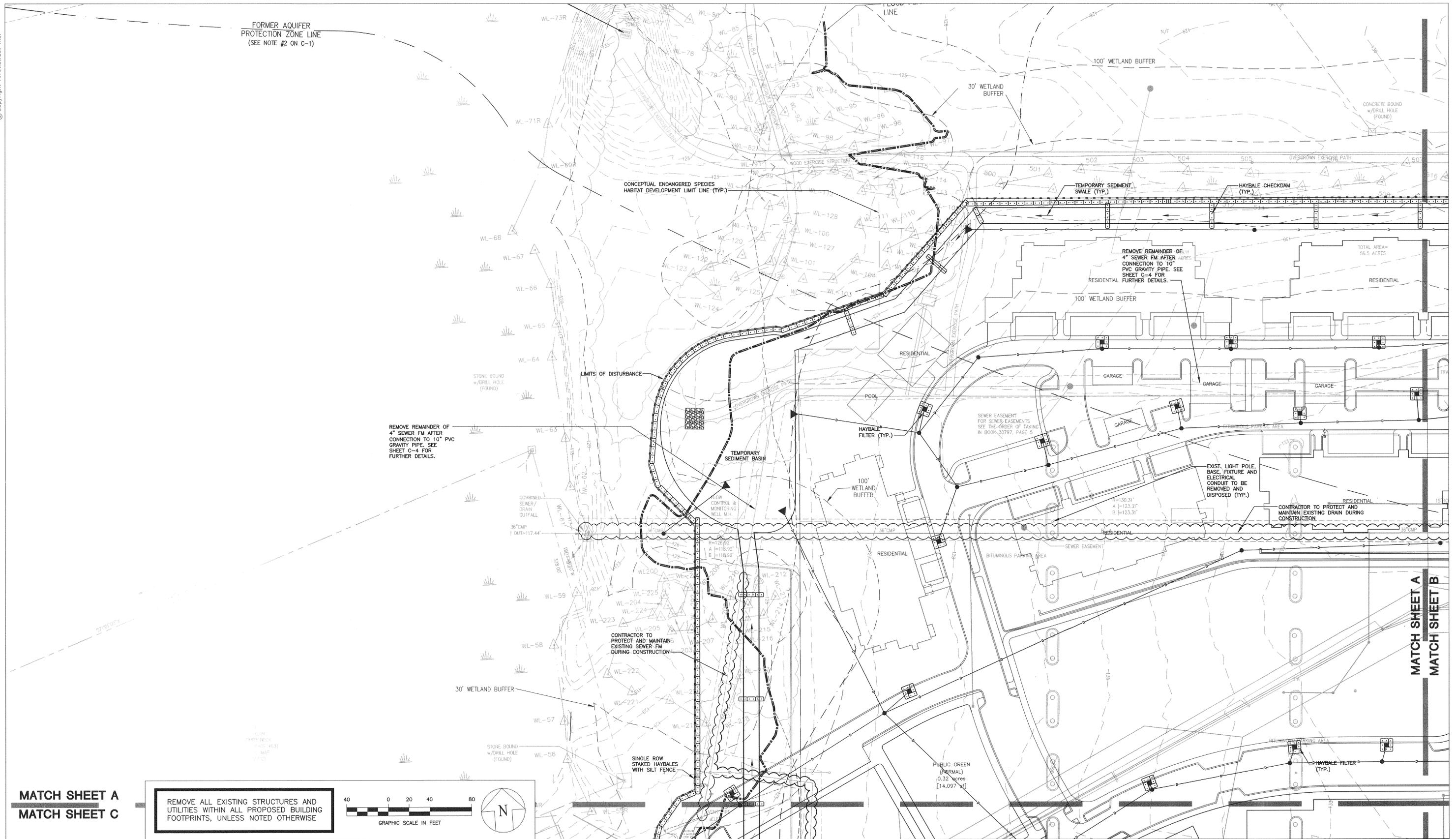
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Drawn By: RPK/NM  
Checked By: MW/EM  
Issue Date: 2 MAY 2008  
Revision Date:



Drawing Title:  
**Building 1-C Floor Plans**  
Drawing Number  
**A2.3**  
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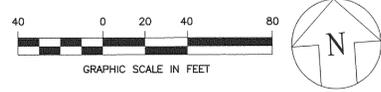
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FORMER AQUIFER PROTECTION ZONE LINE (SEE NOTE #2 ON C-1)



MATCH SHEET A  
MATCH SHEET C

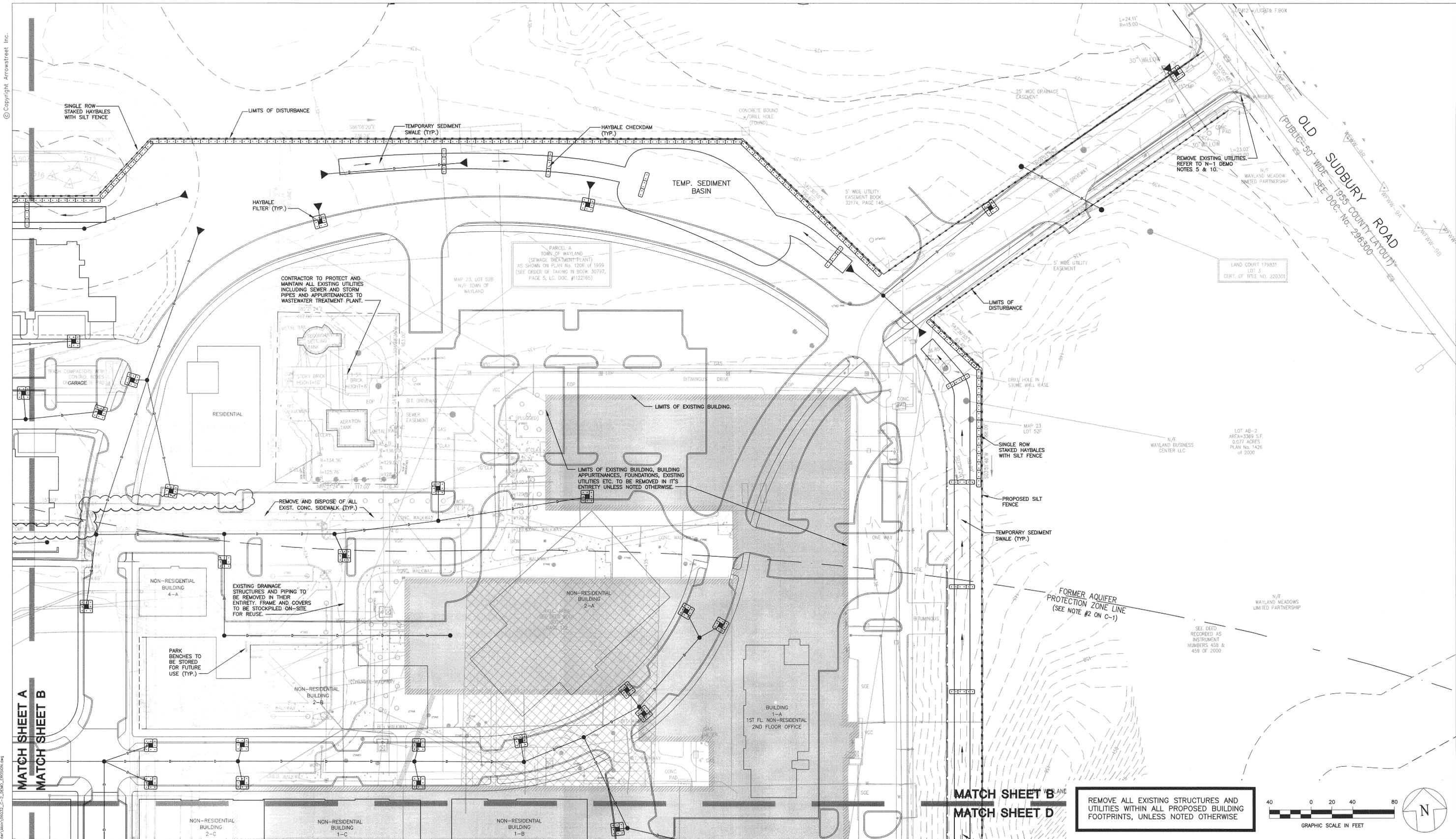
REMOVE ALL EXISTING STRUCTURES AND UTILITIES WITHIN ALL PROPOSED BUILDING FOOTPRINTS, UNLESS NOTED OTHERWISE



MATCH SHEET A  
MATCH SHEET B

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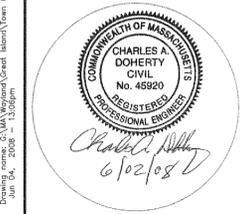
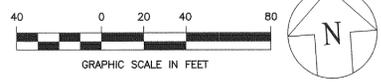
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MATCH SHEET B  
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REMOVE ALL EXISTING STRUCTURES AND UTILITIES WITHIN ALL PROPOSED BUILDING FOOTPRINTS, UNLESS NOTED OTHERWISE



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Project No: RJOC 06032  
Drawn By: WJHCAD  
Checked By: CAD/BPD  
Issue Date: 2 JUNE 2008  
Revision: Date:

Project:  
**Wayland Town Center**  
400 Boston Post Road  
Wayland, Massachusetts

Drawing Title:  
**Site Plan II**  
Phase I Site Plan Application

Drawing Title:  
**DEMOLITION & EROSION CONTROL PLAN**

Drawing Number  
**C-2B**

SCALE 1" = 40'

Plotting name: C:\MY Network\Green Island\Town Center\Wc\06032\_C-2\_RJOC\_EROSION.dwg  
Jun 24, 2008 11:30am

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MATCH SHEET A  
MATCH SHEET C

CONCEPTUAL ENDANGERED SPECIES  
HABITAT DEVELOPMENT LIMIT LINE (TYP.)

LIMITS OF EXISTING BUILDING, BUILDING  
APPURTENANCES, FOUNDATIONS, EXISTING  
UTILITIES ETC. TO BE REMOVED IN IT'S  
ENTIRETY UNLESS NOTED OTHERWISE.

FLOOD PLAIN  
LINE

BOSTON POST ROAD ROUTE 20  
(PUBLIC-VARIABLE WIDTH - STATE HIGHWAY)

STABILIZED CONSTRUCTION ENTRANCE (MIN. 6"  
THICK, 20' WIDE AND 60' LONG)

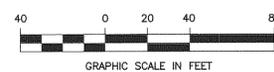
TEMPORARY BENCHMARK  
TOP OF STONE BOUND  
ELEVATION = 124.17

100'  
WETLAND  
BUFFER

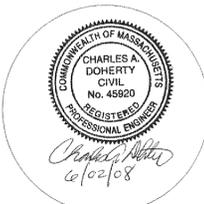
CONTRACTOR TO PROTECT ALL  
EXISTING UTILITIES ASSOCIATED  
WITH EXISTING BUILDING

APPROXIMATE LIMITS OF  
SAWCUT LINE

REMOVE ALL EXISTING STRUCTURES AND  
UTILITIES WITHIN ALL PROPOSED BUILDING  
FOOTPRINTS, UNLESS NOTED OTHERWISE



MATCH SHEET C  
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**SUESKEY ARCHITECTS**  
14 Franklin Street  
Quincy, MA 02169

Proponent:  
**Twenty Wayland, LLC**  
260 Boston Post Road, Suite 9  
Wayland, MA 02109

Project No: RJOC 06032  
Drawn By: WJH/MCR  
Checked By: CAD/BPD  
Issue Date: 2 JUNE 2008  
Revision: Date:

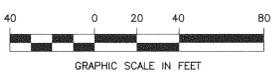
Project:  
**Wayland Town Center**  
400 Boston Post Road  
Wayland, Massachusetts

Drawing Title:  
**Site Plan II**  
Phase I Site Plan Application

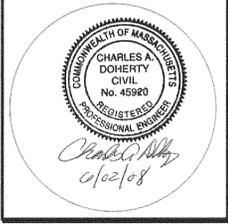
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**DEMOLITION & EROSION  
CONTROL PLAN**  
SCALE 1" = 40'  
**C-2C**

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Date: 06/02/08





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14 Franklin Street  
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Proponent:  
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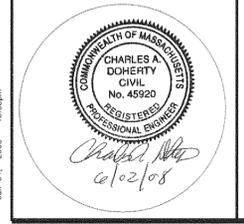
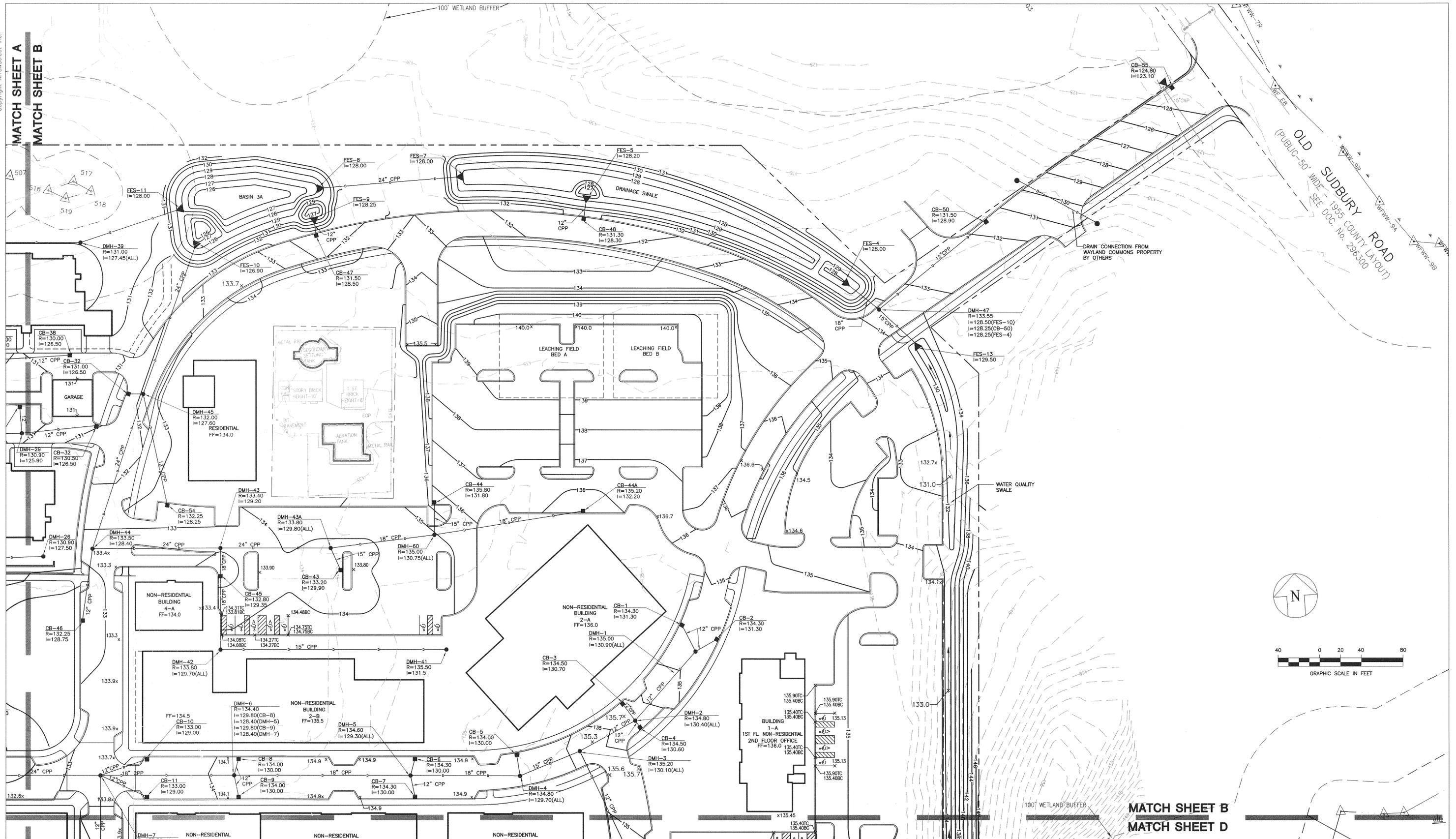
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Drawn By: WJH/MCR  
Checked By: CAD/BPD  
Issue Date: 2 JUNE 2008  
Revision: \_\_\_\_\_ Date: \_\_\_\_\_

Project:  
**Wayland Town Center**  
400 Boston Post Road  
Wayland, Massachusetts

Drawing Title:  
**GRADING & DRAINAGE PLAN**  
Phase I Site Plan Application  
SCALE 1" = 40'

Drawing Number  
**C-3A**

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Proponent:  
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Project No: RJOC 06032  
 Drawn By: WJH/MCR  
 Checked By: CAD/BPD  
 Issue Date: 2 JUNE 2008  
 Revision: Date:

Project:  
**Wayland Town Center**  
 400 Boston Post Road  
 Wayland, Massachusetts

Drawing Title:  
**Site Plan II**  
 Phase I Site Plan Application

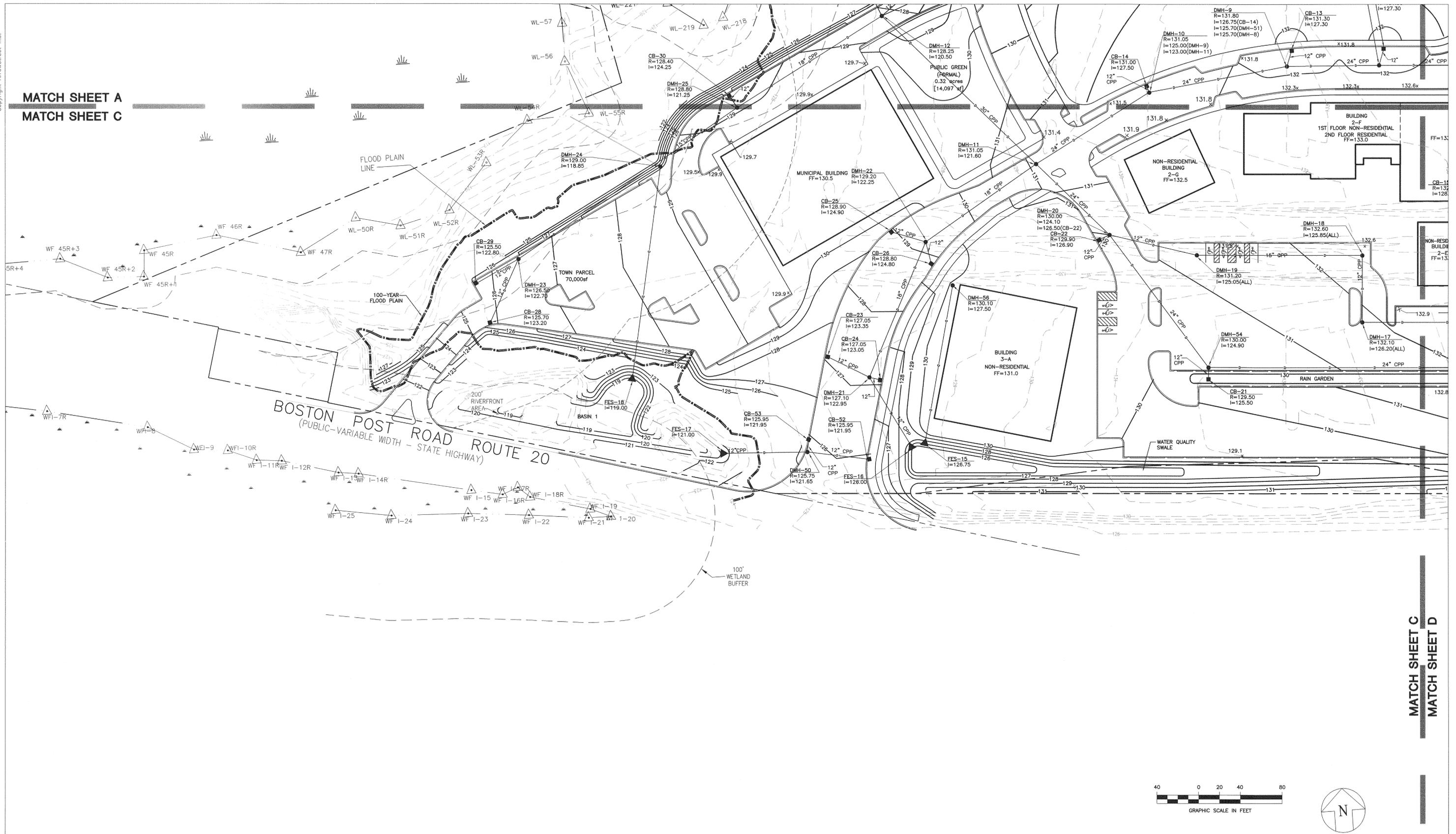
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Drawing Number  
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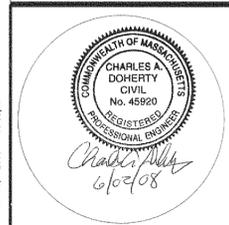
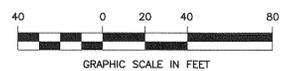
SCALE 1" = 40'

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MATCH SHEET A  
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MATCH SHEET C  
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Drawn By: WJHMCR  
Checked By: CAD/BPD  
Issue Date: 2 JUNE 2008  
Revision: Date:

Project:  
**Wayland Town Center**  
400 Boston Post Road  
Wayland, Massachusetts

Drawing Title:  
**Site Plan II**  
Phase I Site Plan Application

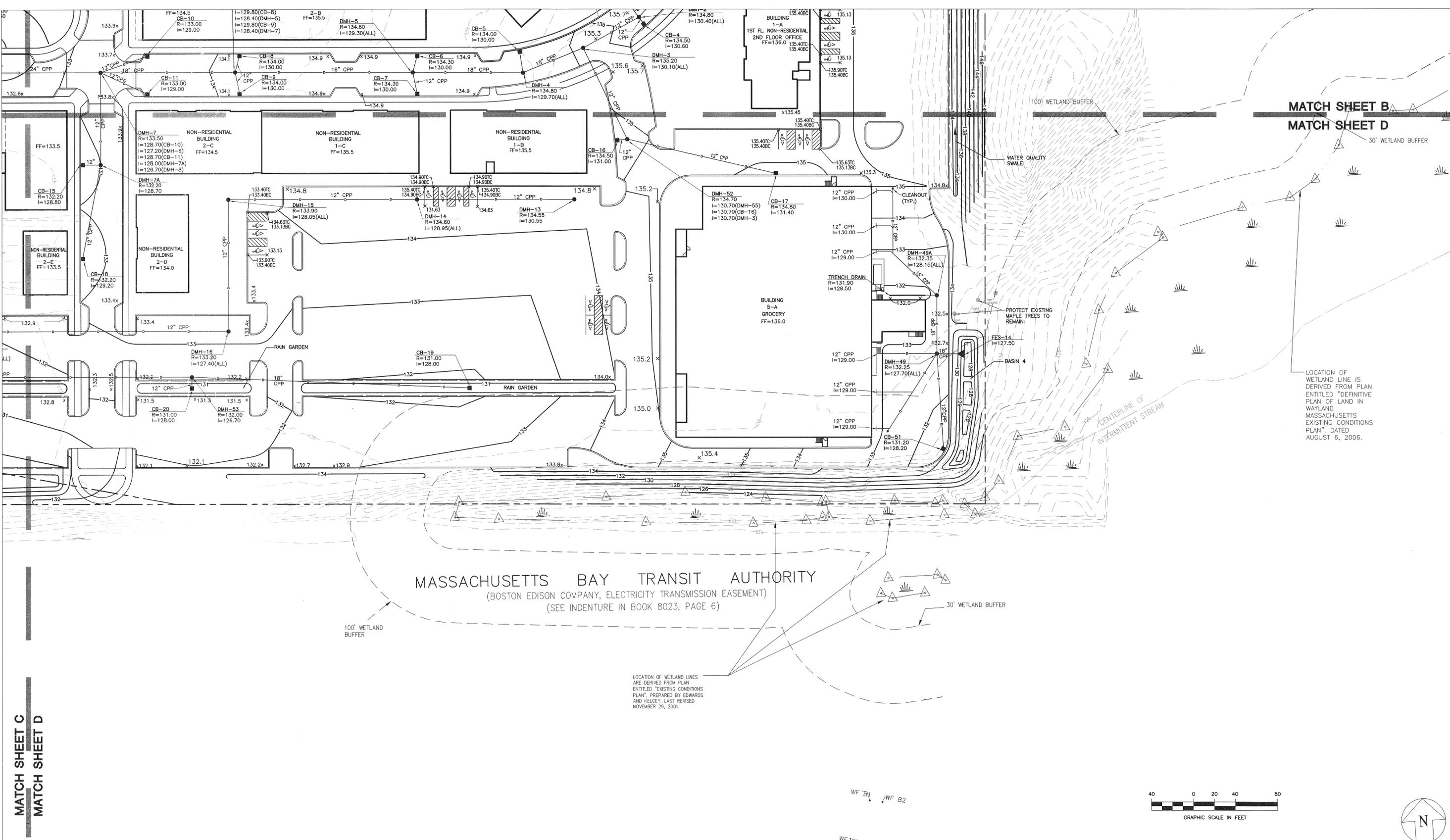
GRADING & DRAINAGE  
PLAN

Drawing Number  
**C-3C**

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Jun 04, 2008 - 13:24pm



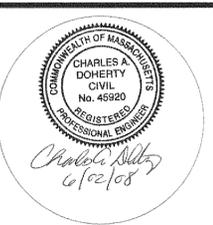
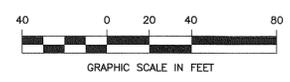
MASSACHUSETTS BAY TRANSIT AUTHORITY  
(BOSTON EDISON COMPANY, ELECTRICITY TRANSMISSION EASEMENT)  
(SEE INDENTURE IN BOOK 8023, PAGE 6)

LOCATION OF WETLAND LINES  
ARE DERIVED FROM PLAN  
ENTITLED "EXISTING CONDITIONS  
PLAN", PREPARED BY EDWARDS  
AND KELOEY, LAST REVISED  
NOVEMBER 29, 2001.

MATCH SHEET B  
MATCH SHEET D

LOCATION OF  
WETLAND LINE IS  
DERIVED FROM PLAN  
ENTITLED "DEFINITIVE  
PLAN OF LAND IN  
WAYLAND,  
MASSACHUSETTS  
EXISTING CONDITIONS  
PLAN", DATED  
AUGUST 6, 2006.

MATCH SHEET C  
MATCH SHEET D



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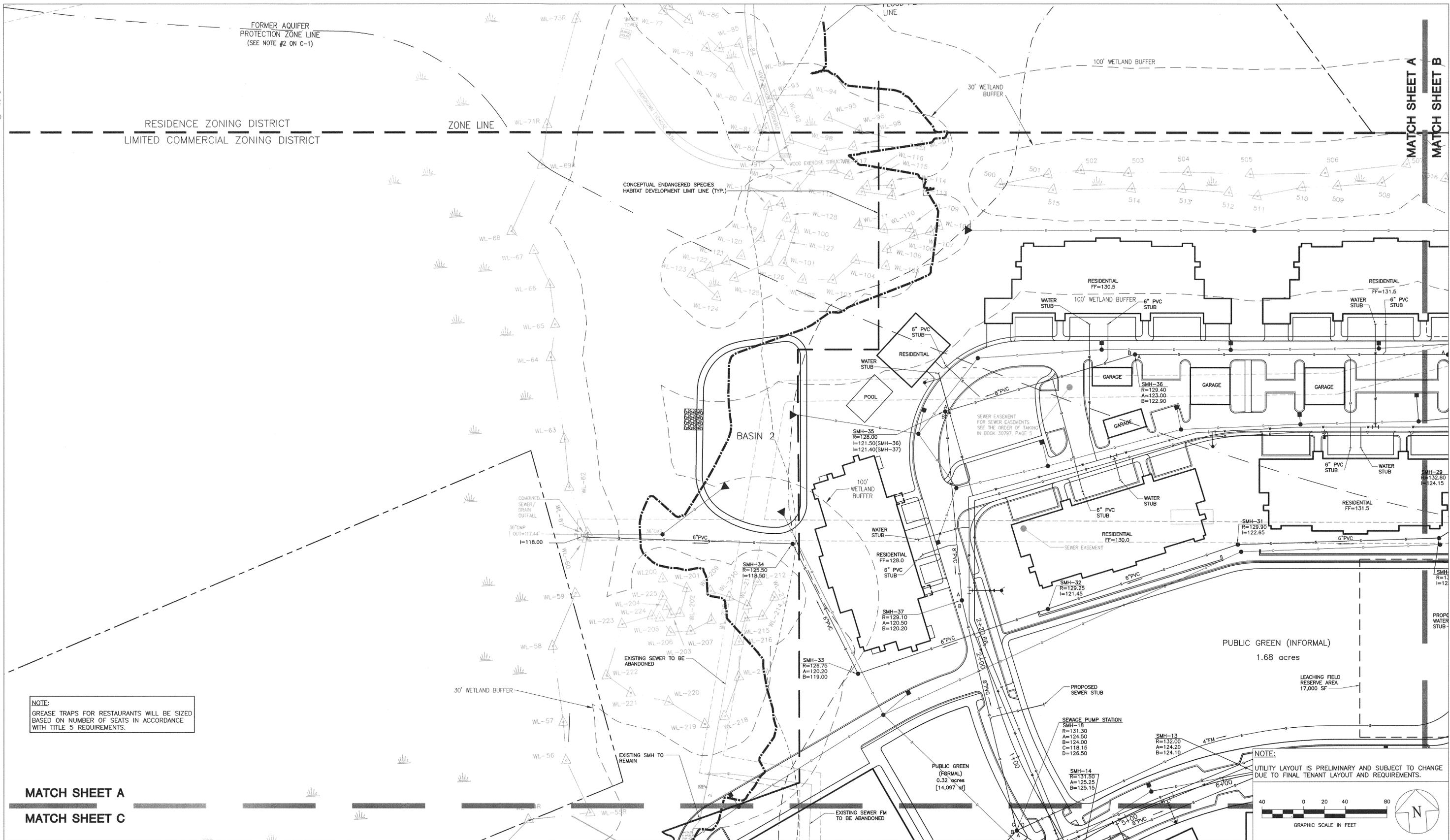
Proponent:  
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Project No: RJOC 06032  
Drawn By: WJH/MCR  
Checked By: CAD/IBPD  
Issue Date: 2 JUNE 2008  
Revision: \_\_\_\_\_ Date: \_\_\_\_\_

Project:  
**Wayland Town Center**  
400 Boston Post Road  
Wayland, Massachusetts

Drawing Title:  
**GRADING & DRAINAGE PLAN**  
Site Plan II  
Phase I Site Plan Application  
Drawing Number  
SCALE 1" = 40'  
**C-3D**

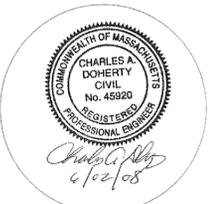
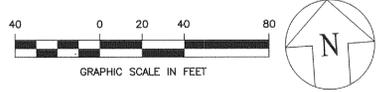
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**NOTE:**  
GREASE TRAPS FOR RESTAURANTS WILL BE SIZED BASED ON NUMBER OF SEATS IN ACCORDANCE WITH TITLE 5 REQUIREMENTS.

**NOTE:**  
UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE DUE TO FINAL TENANT LAYOUT AND REQUIREMENTS.

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Issue Date: 2 JUNE 2008  
Revision: \_\_\_\_\_ Date: \_\_\_\_\_

Project:  
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Drawing Title:  
**Site Plan II**  
Phase I Site Plan Application

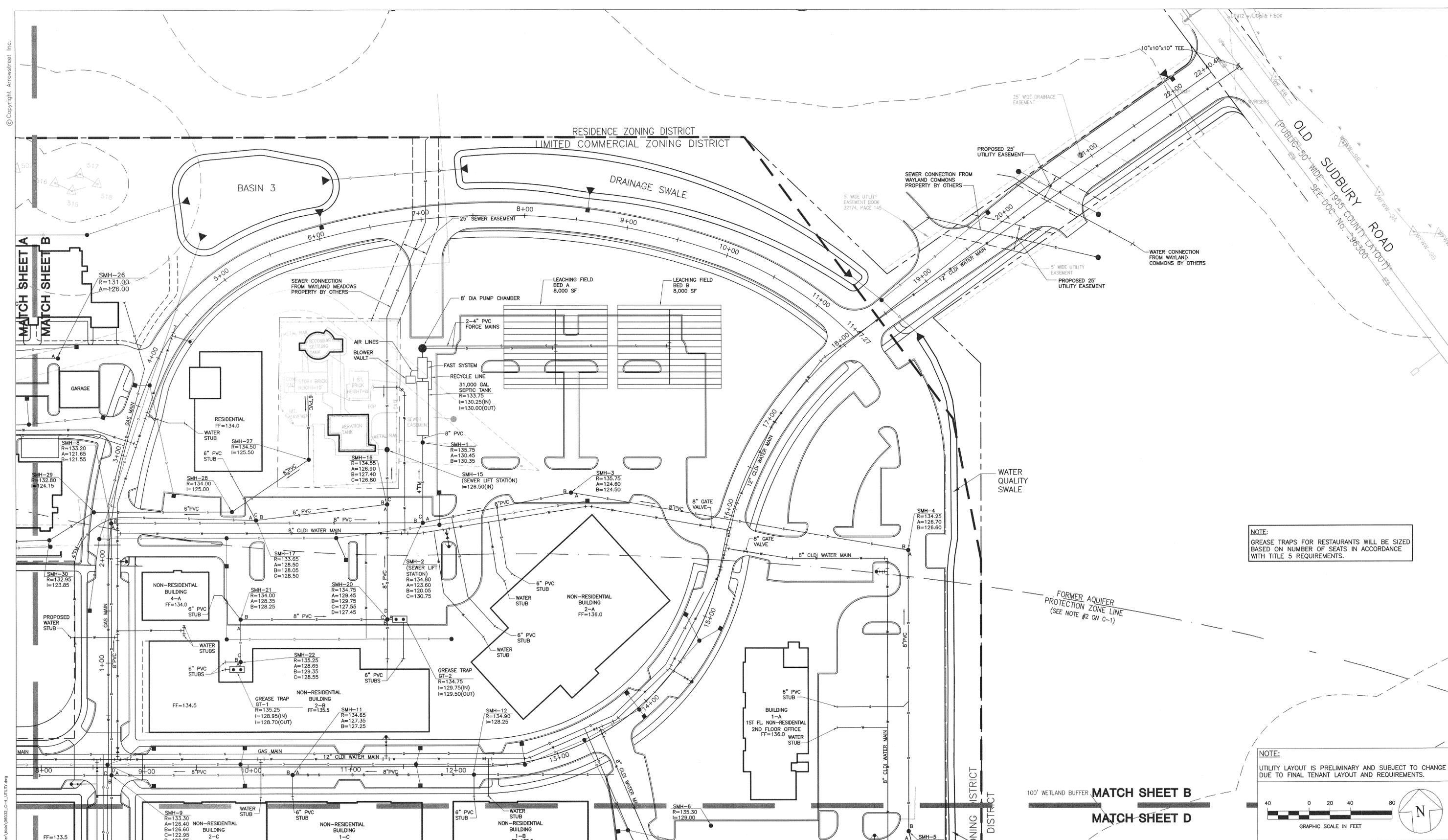
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**UTILITY PLAN**  
Drawing Number  
**C-4A**  
SCALE 1" = 40'

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Date: 6/2/08  
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MATCH SHEET B

Drawing name: C:\Wayland\Green\InRoad\Main\VR632\_C-4\_UTILITY.dwg  
Jun 16, 2008 11:33am



NOTE:  
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BASED ON NUMBER OF SEATS IN ACCORDANCE  
WITH TITLE 5 REQUIREMENTS.

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FORMER AQUIFER  
PROTECTION ZONE LINE  
(SEE NOTE #2 ON C-1)

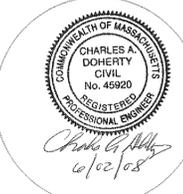
100' WETLAND BUFFER

GRAPHIC SCALE IN FEET

40 0 20 40 80

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