

TWENTY WAYLAND, LLC

c/o KGI Properties, LLC
4th Floor – 45 Broad Street
Boston, MA 02109

RECEIVED

MAY 12 2008

PLANNING BOARD

May 12, 2008

Wayland Planning Board
Wayland Town Building
41 Cochituate Road
Wayland, MA 01778-2614
Attention: Joseph Laydon, Town Planner

Re: Site Plan I
Phase I Permit Application
Town Center Project
400 Boston Post Road
Wayland, MA

Dear Mr. Laydon;

Pursuant to applicable provisions in the Mixed Use Overlay District zoning (§ 198-2300) and the Mixed Use Overlay District Rules and Regulations as amended through April 24, 2008, this document and twenty-five (25) copies of the design drawing are submitted for Phase I Site Plan Review. The drawings are titled: "Site Plan I Approval Submission, dated 2 May 2008, consisting of eleven drawings and prepared by Arrowstreet Architects. The cover sheet provides the drawing list. The application form is provided in Attachment A.

This submittal is the solely for the architectural design components of Building I-A, I-B, and I-C. The floor and roof plans in this application are provided as a convenience since the MUOD zoning and associated regulations do not regulate floor layouts. We respectfully request that the board's decision be based only on the elevations.

As we discussed with the Planning Board, subsequent Phase I Site Plan applications will provide additional building and site information for the board to review. This application provides waiver requests from the regulations primarily to addresses the phased submittal approach. The only deviation from that statement is the waiver request to depict the existing signage. That signage is going to be demolished and we believe it is not necessary to depict. Accordingly we believe it is in the public's interest to grant the waivers.

The following information is required by the board's rules and regulations.

1. Checklist summary of required submittal information (§ 304-12 C(5)).

See Attachment B.

2. Outline of Proposed Buildings. (§ 304-12 C(5)b [1]).

This information is provided on the design drawing but the following table summarizes the anticipated building program.

Use	Floor Area (SF)	Gross SF Per Zoning (1)
<u>Residential</u>	Not Designed	Will not exceed 165,000 sf
<u>Office Use</u>		Will not exceed 10,000 sf
Bldg 1- A (Second Floor)	8,000	7,500
Other Office	Not Designed	Up to 2,500
<u>Retail/Restaurant Uses</u>		Will not exceed 156,750 sf
Bldg 1- A (First Floor)	7,963	6,800
Bldg 1-B	7,769	6,635
Bldg 1-C	10,715	9,108
Other	Not Designed	Up to 134,207

(1) Gross Floor Area does not include mechanical rooms. Final summary of mechanical room area will be determined as each tenant designs their store and will be provided to the Building Inspector to ensure zoning compliance with each building permit application.

3. Document How The Application Complies With The MSP Decision (§ 304-12 D (1)).

Wayland Town Center is a mixed-use project designed to embody the most desirable characteristics of New England and the Town of Wayland as realized in the design of the retail buildings shown in this submittal.

The buildings have been designed to utilize the characteristics of a traditional New England village by using a variety of roof forms, articulated storefronts with awnings, pilasters and varying window types and sizes. We have also broken down the massing of the buildings to look as if they were built as a series of individual buildings and not one long continuous block.

Building 1-A is a two story, mixed-use structure. Through the use of gable ends, dormers and a tower element, this building conforms to the recommendations of the Master Special Permit. The first floor storefronts windows are designed to engage the public by allowing views into the store from the pedestrian way. On the second level traditional double hung windows are used along with strategically placed Juliet balconies.

Building 1-B is a one story retail structure located on the "Main Street". In this building we broke up the massing into 3 distinct "buildings" through the use of Hip and Gambrel roof forms, differing window types and trim details. The scale of the building relates well to the pedestrian and the traditional one storey retail streets found in many New England towns.

Building 1-C, also a one storey retail structure is located adjacent to building 1-B. Here we not only utilized differing roof forms to break up the massing, we varied the height of the tenant storefronts. This adds a sense of rhythm to the street edge that reinforces the recommendations of the Master Special Permit.

All three buildings being submitted use traditional clapboard as their main material enhanced with trim, panel, pilaster and rail details which are in keeping with the feel of a town center. They also are located within the proposed "building envelopes" as defined in the Master Special Permit, and are in compliance with the MSP decision regarding height limits.

The addition of historically styled light fixtures both on the streets and the facades, in conjunction with signage that is architecturally compatible with the retail buildings, helps articulate the streetscape serving to further reinforce the pedestrian-friendly scale.

4. Submit Information on the Application Phasing and Schedule (§ 304-12 D (2)).

It is important to understand the Phase I Site Plan submittal approach we have agreed with the Planning Board. A number of applications will be provided that relate to the residential, retail, and office components. Once each application is approved then no further planning board review is anticipated unless required pursuant to § 2304.4.5.

Based on the above, the current anticipated submittal schedule is as follows:

Submittal	General Description	Anticipated Submittal Date
Site Plan I	Architectural Design – Block I	May 12, 2008
Site Plan II	Site Development Plan	June 16, 2008
Site Plan III	Architectural Design – Block II	June 16, 2008
Site Plan IV	Architectural Design – Grocery Store	June 23, 2008
Site Plan V	Architectural Design – Block III	July 1, 2008

5. Submit Drainage Report (§ 304-12 D (3)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

6. Revisions to the MSP Approved Stormwater O&M Plan (§ 304-12 D (4)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

7. Explain compliance with MDEP Stormwater Regulations (§ 304-12 D (5)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

8. Provide Landscaping and Maintenance Plan (§ 304-12 D (6)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

9. Describe Proposed Signage (§ 304-12 D (7)).

The proposed signage is depicted on Drawing A4.1 and will comply with the MSP decision.

10. Describe proposed lighting plan (§ 304-12 D (8)).

Compliance with the site lighting requirements is a function of the building exterior lights and the site lighting. Details on both of those components will be provided in subsequent Phase I Site Plan applications. Therefore such information is not provided herein and a waiver from this requirement for this application is requested.

11. Describe the proposed waste management practices (§ 304-12 D (9)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

Thank you for your consideration. Please do not hesitate to contact me with any questions or concerns.

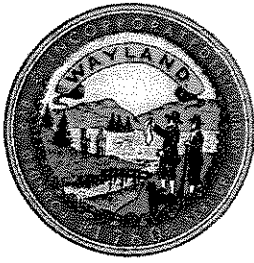
Sincerely,

TWENTY WAYLAND, LLC

By: 
Francis X. Dougherty, authorized representative

cc: D. Stratouly, CGI
G. Clagett, CGI
C. Irving, KGI
A. Deluca, KGI

ATTACHMENT A – APPLICATION FORM



TOWN OF WAYLAND
TOWN BUILDING
41 COCHITUATE ROAD
MASSACHUSETTS, 01778

PLANNING BOARD

MIXED-USE OVERLAY DISTRICT APPLICATION

Date of Application Submittal:

Site Plan I - May 12, 2007

Application for:

- ☐ Concept Plan ☐ Master Special Permit (MSP) ☐ MSP Modification
☒ Site Plan ☐ Site Plan Modification ☐ Other (see narrative)

LOCATION OF SUBJECT PROPERTY

400 Boston Post Road 023 5L-D,E,G,H,I,J,K,L, & M
and Street Name Plate Parcel Year Built

OWNER/ APPLICANT CONTACT INFORMATION

Frank Dougherty,
Authorized Representative (617) 357-9300 (617) 357-9990
Name Telephone Number Fax

Twenty Wayland, LLC 45 Broad St. Boston MA02109 f.dougherty@kgiproperties.com
Address Email

LEAD CONSULTANT CONTACT INFORMATION (if different from owner information)

Name	Telephone Number	Fax
Address		Email


ATTORNEY/AGENT INFORMATION (if applicable)

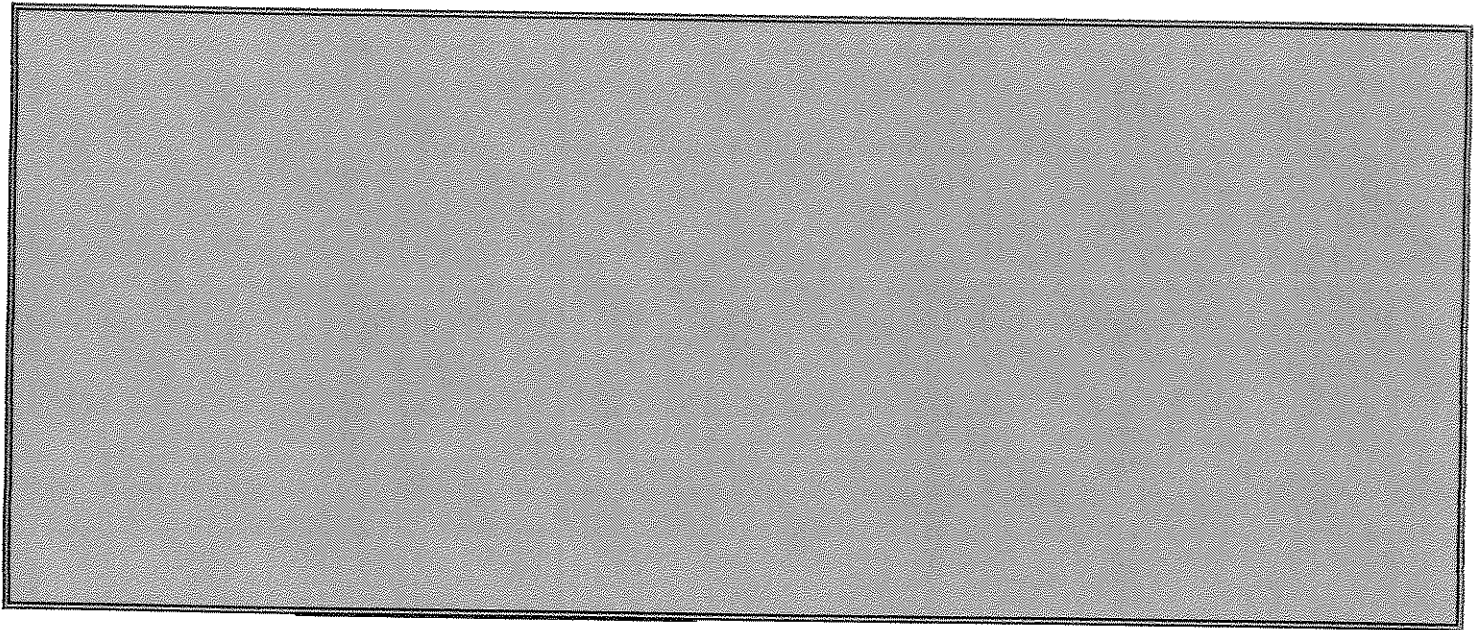
Adam Weisenberg	(617) 570-1473	(617) 523-1231
Name	Telephone Number	Fax
<u>Goodwin Procter LLP Exchange Place Boston, MA 02109</u> <u>aweisenberg@goodwinprocter.com</u>		Email
Address		

NARRATIVE (describe proposal)

We request that the Planning Board find, as we believe will be apparent from our submission, that the proposed Project meets the applicable criteria for approval, including the requirements that the Project design, as depicted in the Phase I Site Plan Application, is in compliance with MUP Master Special Permit

I hereby request a meeting/hearing before the Planning Board with reference to the above application, with supporting documentation submitted, and certify that the proposed work is authorized by the Owner of Records and I have been authorized by the owner to make this application as the agent.

 Authorized Agent/Owner	<u>5/12/08</u> Date
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Fee Paid: _____

Signature of Planning Board/ Agent

↑
No FEE REQUIRED
-FAD 5/12/08

ATTACHMENT B – COMPLIANCE CHECKLIST

ATTACHMENT B – SUBMITTAL CHECKLIST

PHASE I SITE PLAN SUBMITTAL CHECKLIST MIXED USE OVERLAY DISTRICT (§ 304-12) WAYLAND, MASSACHUSETTS

SITE PLAN I APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(1)a	Plan Sheets No Larger Than 24" x 36"	Y	
C(1)b	Plans to have cover sheet, title block, index of drawings, and legend of symbols.	Y	Legend of Symbols not required per architect for Site Plan I.
C(1)c	Each plan to have title block, North Arrow (civil drawings) and scale of measurement.	Y	
C(1)d	Each plan to be stamped and certified by appropriate professional	Y	
C(1)e	Plans to show existing and proposed site grading.	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(1)f	Base plans to have layers of information	Y	
C(2)	Plans to have suitable scale. A site plan shall be prepared for recording.	N	Need Planning Board agreement on what should be on the site plan.
C(3)	Submit multiple sheets with drawing index	Y	
C(4)	Cover sheet to have Planning Board endorsement provision	Y	
C(5)	Provide submittal checklist	Y	
C(5)a[1]	Plans to include locus map	Y	

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN I APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)a[2]	One Sheet to depict typical symbols	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[3]	Plans to have lot lines, abutters, and property lines	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[4]	Existing and proposed easements shall be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[5]	Existing and proposed private and public roads, pavement, and other features	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[6]	Zoning district should be shown on plans	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[7]	Existing and proposed topography with benchmarks to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C5a[8]	Open space areas to be shown on one sheet	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[9]	Wetlands and Buffer Area shall be shown on one sheet	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[10]	Watercourses and water bodies shall be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[11]	Special site features shall be shown on at least one drawing	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)b[1]	Show outline of existing and proposed structures	Y	Proposed footprints are shown, existing footprints are not shown for architectural submittal.
C(5)b[2]	Show building design, elevations, materials, and heights	Y	
C(5)b[3]	Table summarizing the gross floor area for retail, office, municipal, and residential uses	Y	See written submittal information.
C(5)b[4]	Show setbacks to MUOD zoning or MSP decision	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[5]	Existing and proposed signs	Y	Existing sign is to be demolished and not shown. Proposed signage is shown on Drawing A4.1 and described in the narrative for Section § 304-12D (7).
C(5)b[6]	Existing and proposed lighting to be shown	N	Existing lighting will not be shown as it will be demolished. Proposed lighting will be shown in subsequent submittals. Waiver for this submittal is requested. Information not required for architectural submittal as described in the narrative for § 304-12 (D)8.
C(5)b[7]	Proposed landscaping, buffer area plantings, and other screening elements.	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN I APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)b[8]	Outdoor storage area to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[9]	Underground storage containers to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[10]	Existing and proposed sidewalks, walkways, and driveways to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[11]	Existing and proposed parking facilities including landscaped areas and related information to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[1]	Stormwater design and detail information should be provided	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[2]	Erosion Control devices should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[3]	Water services should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[4]	Proposed hydrants should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[5]	Underground utilities with access covers should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[6]	Solid waste disposal facilities should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN I APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)c[7]	Existing and Proposed on-site sewage disposal facilities should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[1]	Provide details of drainage and road construction materials	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[2]	Show details on trees and planting areas	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[3]	Show details on parking spaces	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[4]	Show outdoor structures and lighting	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[5]	Show erosion and sedimentation controls	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[1]	Show landscaping, plantings, buffers area plantings	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[2]	Show perimeter wooded areas	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[3]	Tabulate open space, building coverage, and upland areas	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[4]	Show screening and buffers	N	Waiver for this submittal requested. Information not required for architectural submittal.
D (1)	Document how the application complies with the MSP decision	Y	See narrative.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN I APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
D(2)	Submit information on application phasing and how the final plans will be integrated	Y	See narrative.
D(3)	Drainage calculations should be provided	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(4)	Any revisions from the MSP stormwater O&M Plan should be provided	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(5)	Explanation on how the application complies with the DEP Stormwater regulations	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(6)	Description on the landscaping and maintenance plan.	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(7)	Description of the proposed signage	Y	See narrative.
D(8)	Proposed lighting plan description	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(9)	Description on the proposed waste disposal practices	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(10)	Applicant is encouraged to submit more information	N	None required.



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781-938-0570 / FAX: 781-938-0031

Proponent:

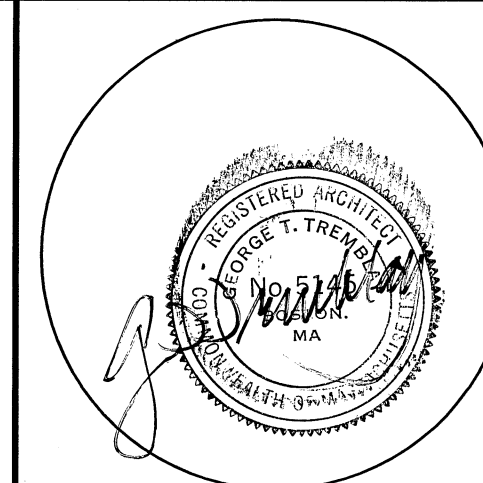
Twenty Wayland, LLC
260 Boston Post Road, Suite 9
Wayland, MA 01778

Project:

Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

**Site Plan I Approval
Submission**

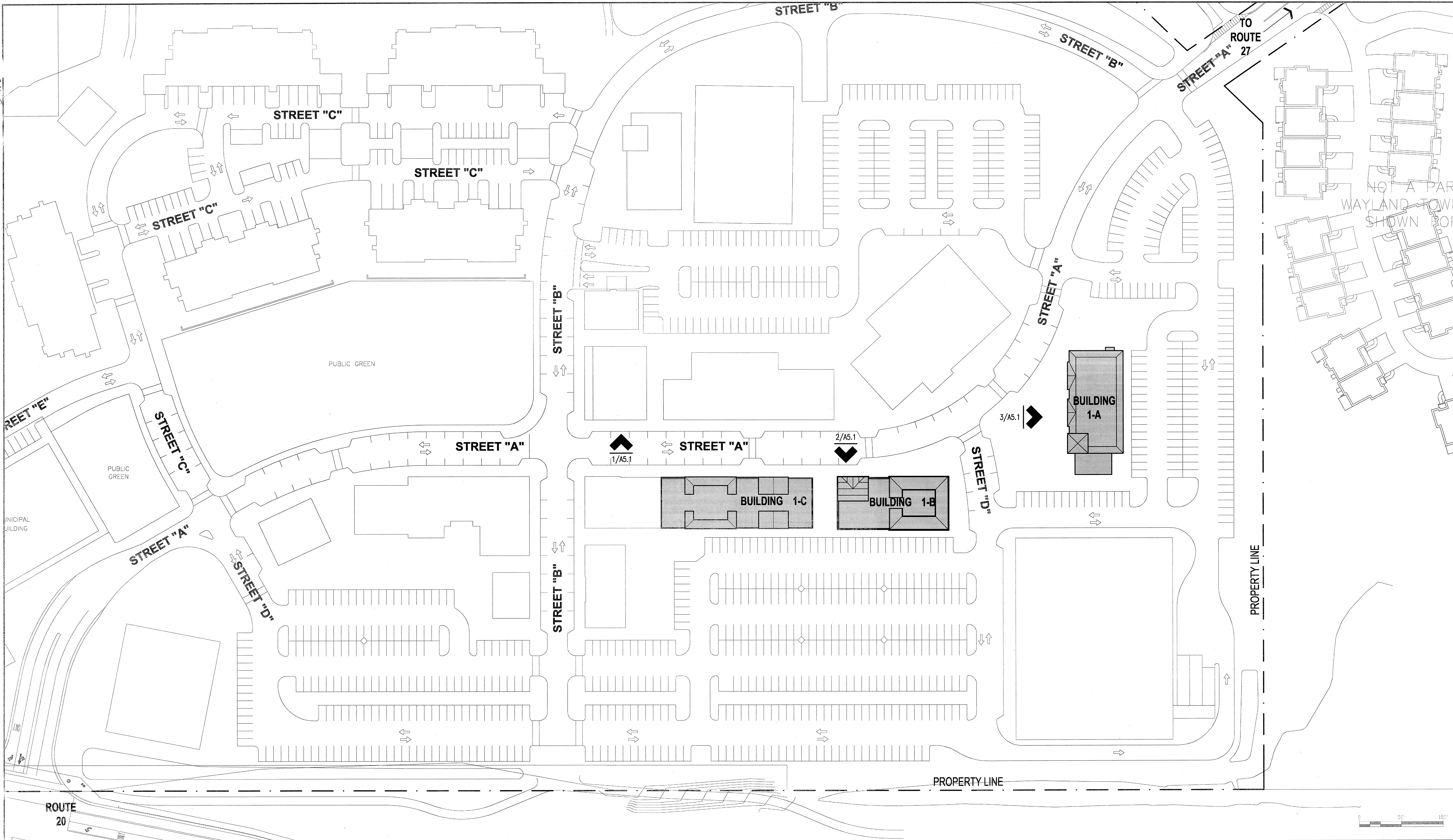
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Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 2 MAY 2008
Revision Date:



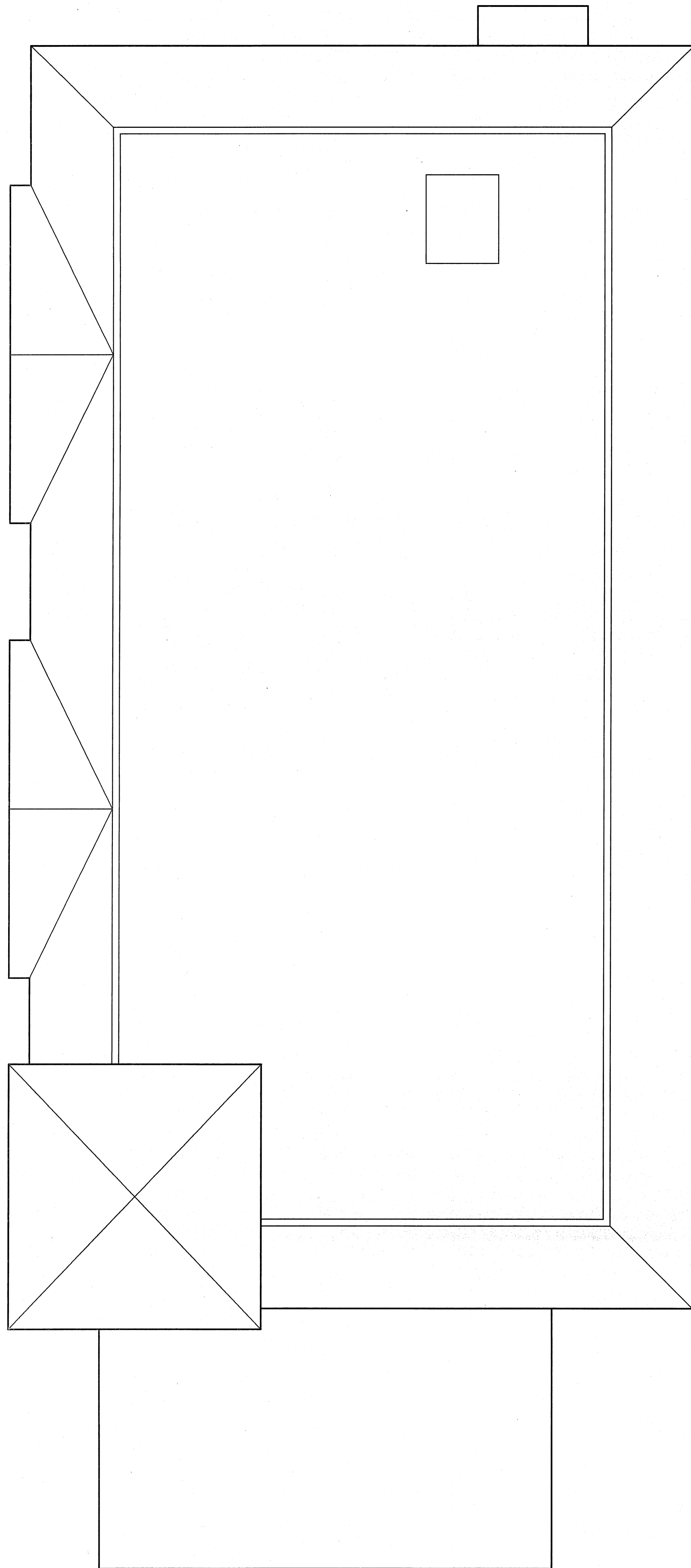
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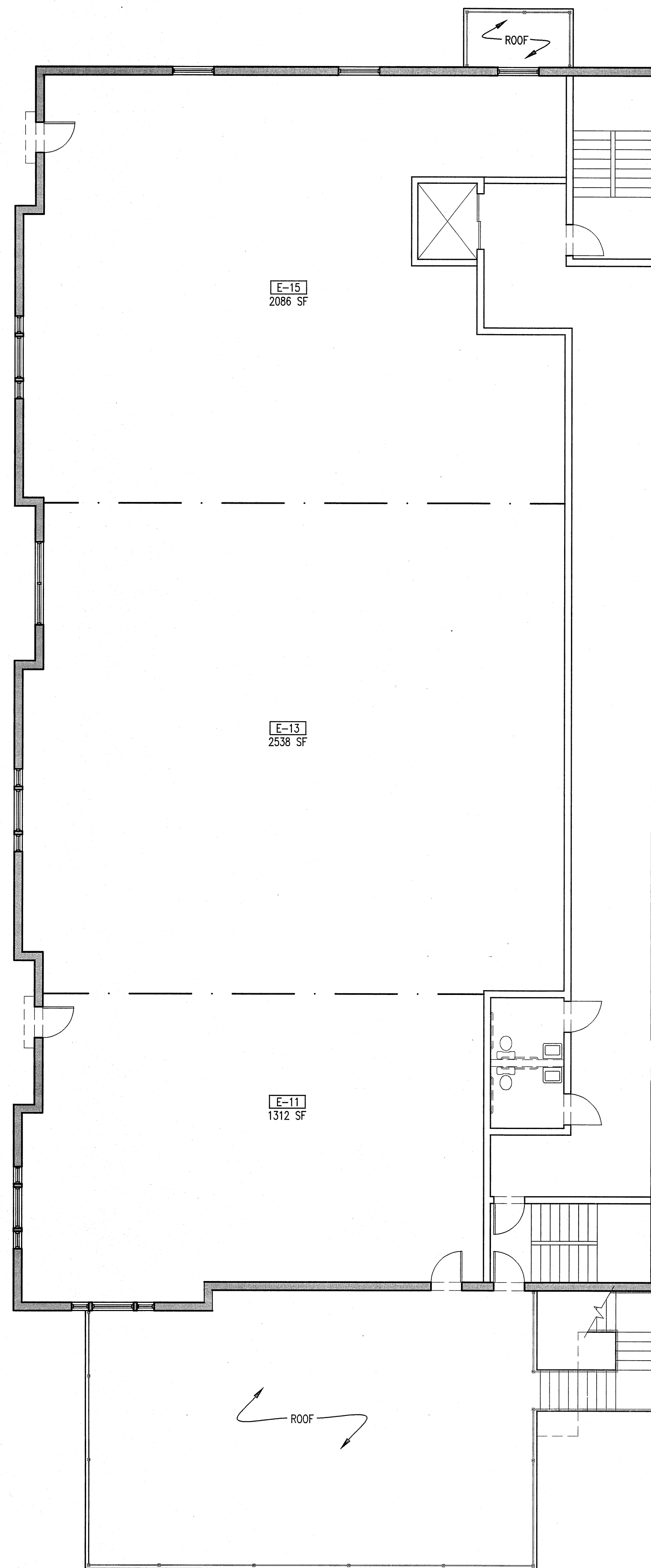
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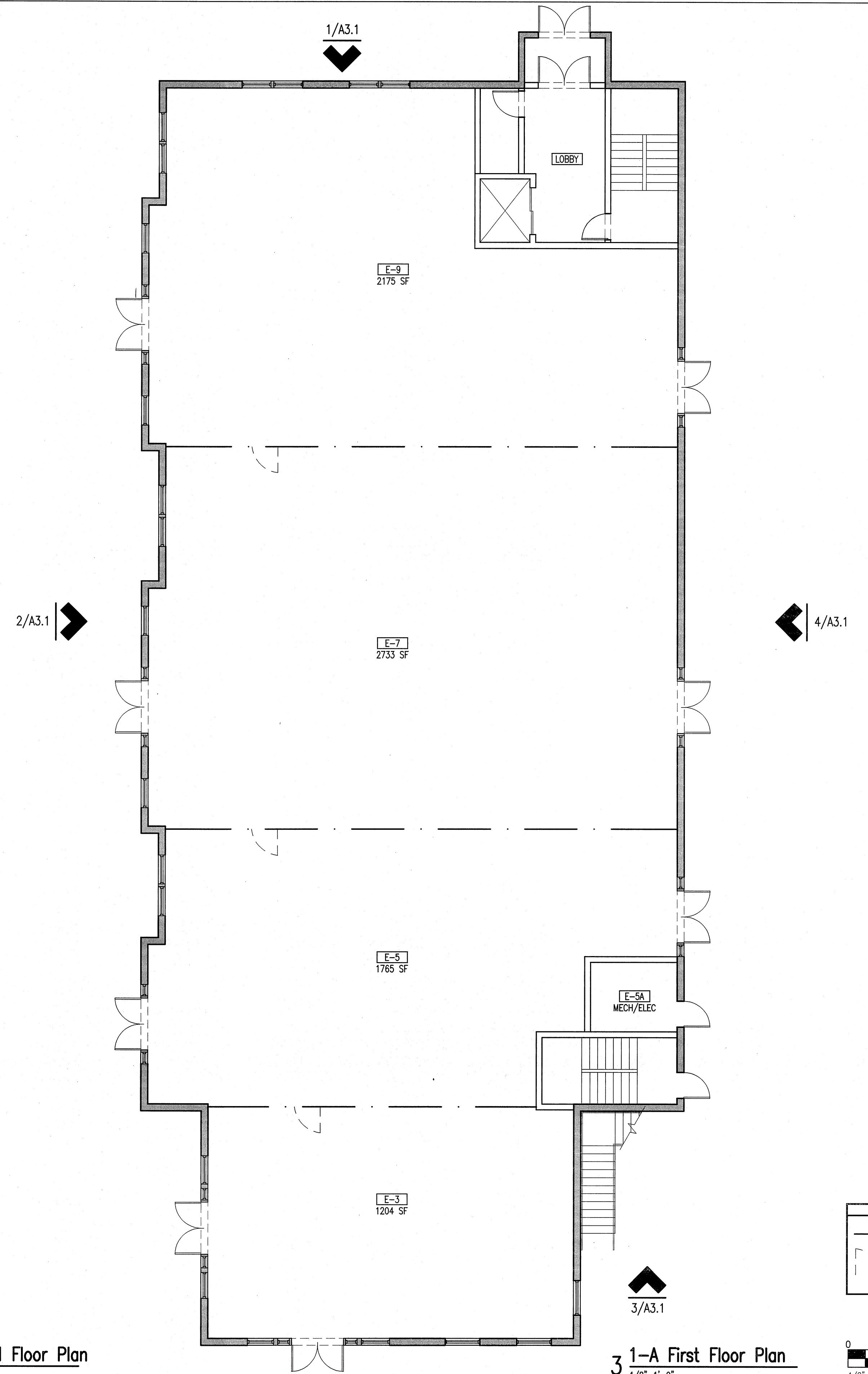
<p>ARROW STREET Architecture Urban Design Planning Graphics and Interiors</p> <p>212 Elm Street Somerville MA 02144 617.623-5555 fax:617.625.4646 www.arrowstreet.com</p>	<p>RJ O'CONNELL & ASSOCIATES, INC. Civil Engineers & Land Planners 600 UNICORN PARK DRIVE WOBURN, MA 01801 781-938-0570 / FAX: 781-938-0031</p>	<p>Proponent:</p> <p>Twenty Wayland, LLC 260 Boston Post Road, Suite 9 Wayland, MA 01778</p>	<p>Project:</p> <p>Wayland Town Center 400 Boston Post Road Wayland, Massachusetts</p>	<p>Site Plan I Approval Submission</p>	<p>Project No: 06065 Drawn By: RPK/NM Checked By: MW/EM Issue Date: 2 MAY 2008 Revision Date:</p>		<p>Drawing Title:</p> <p>Site Plan</p> <p>Drawing Number</p> <p>A1.2</p> <p>SCALE 1"=50'-0"</p>
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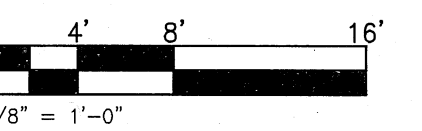
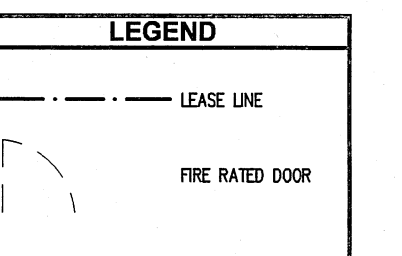
1 1-A Roof Plan
1/8"=1'-0"



2 1-A Second Floor Plan
1/8"=1'-0"



3 1-A First Floor Plan
1/8"=1'-0"



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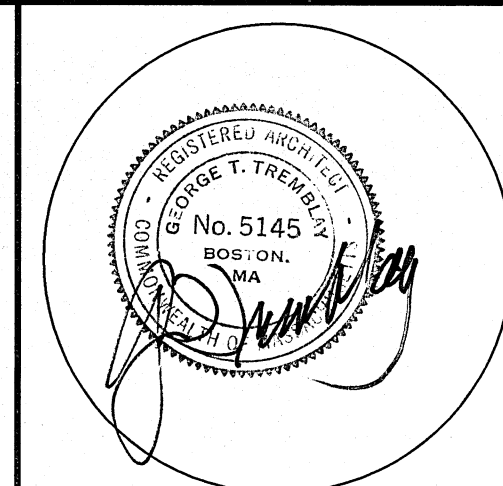
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Issue Date: 2 MAY 2008
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Drawing Title:

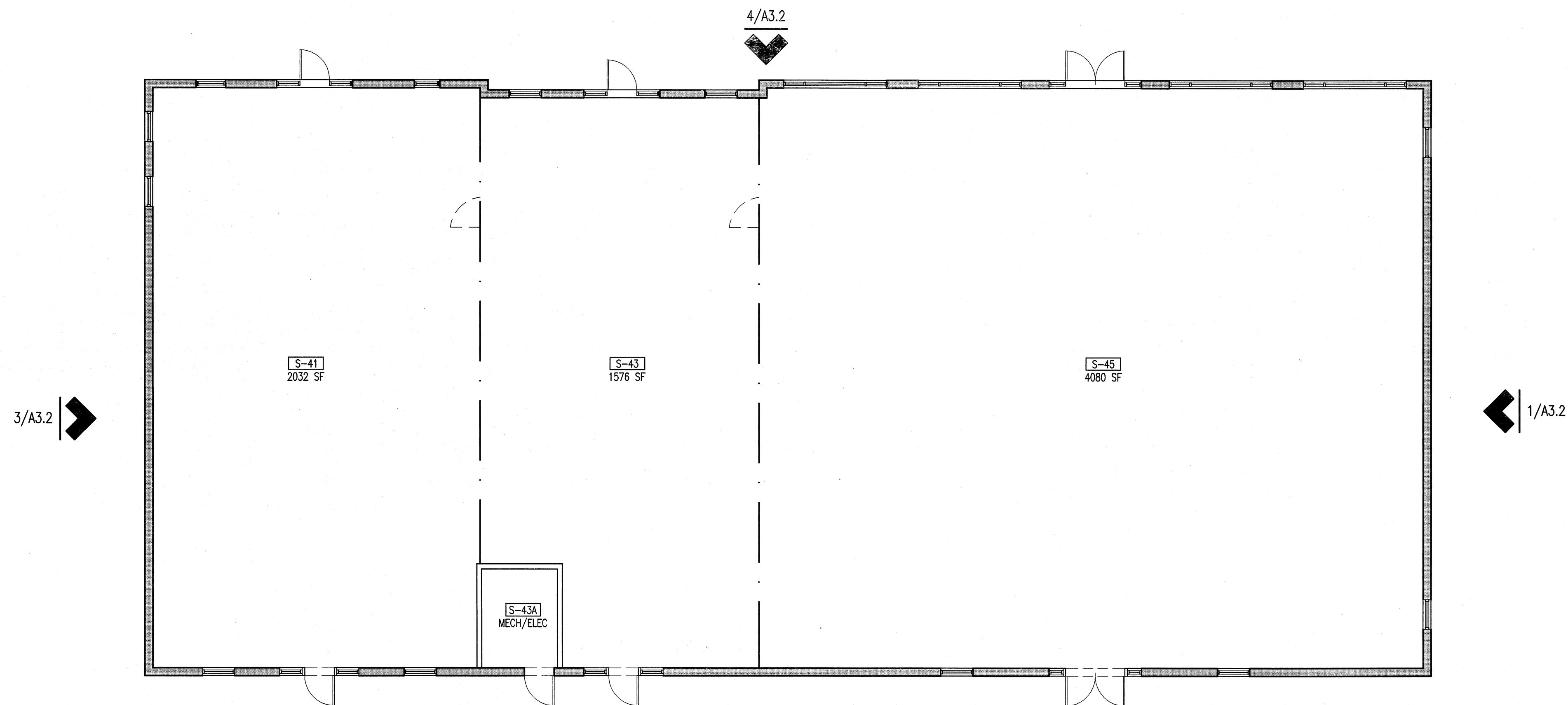
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Floor Plans**

Drawing Number

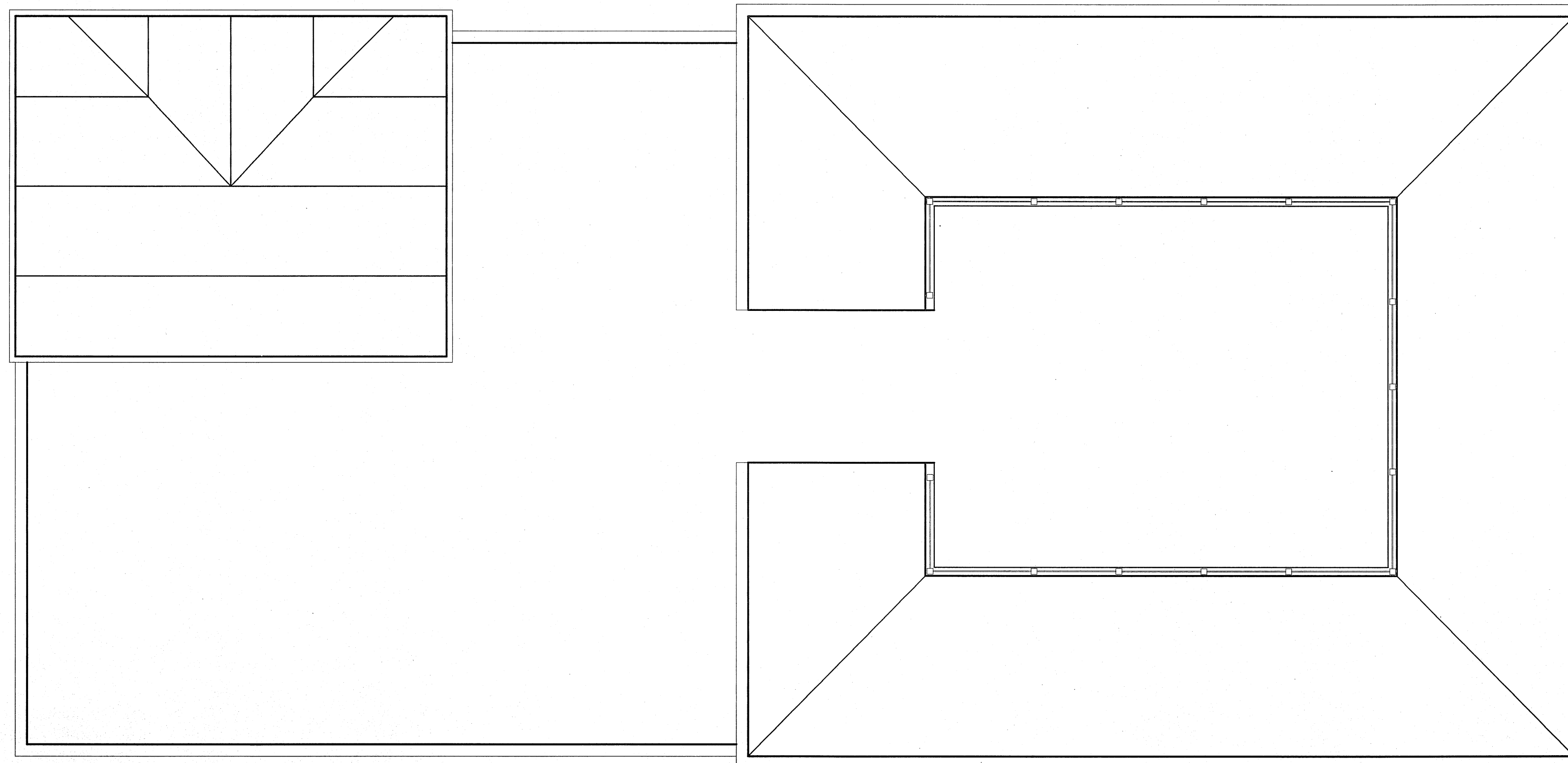
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A2.1

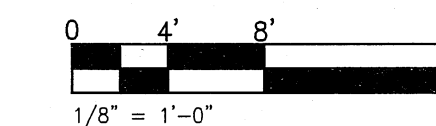
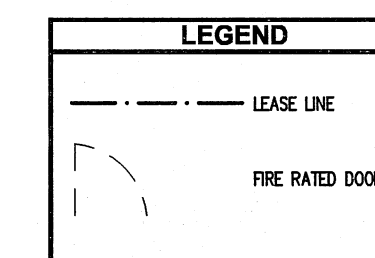
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1 1-B First Floor Plan
1/8"=1'-0"



2 1-B Roof Plan
1/8"=1'-0"



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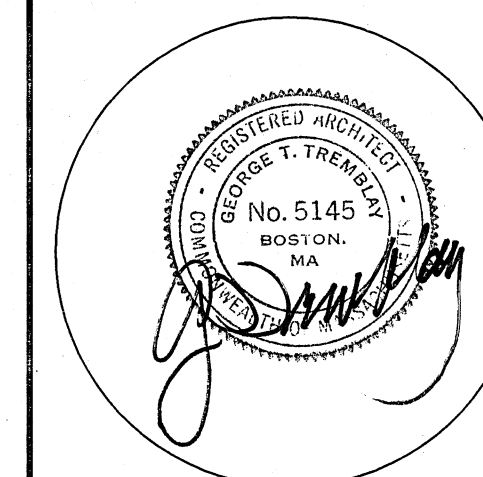
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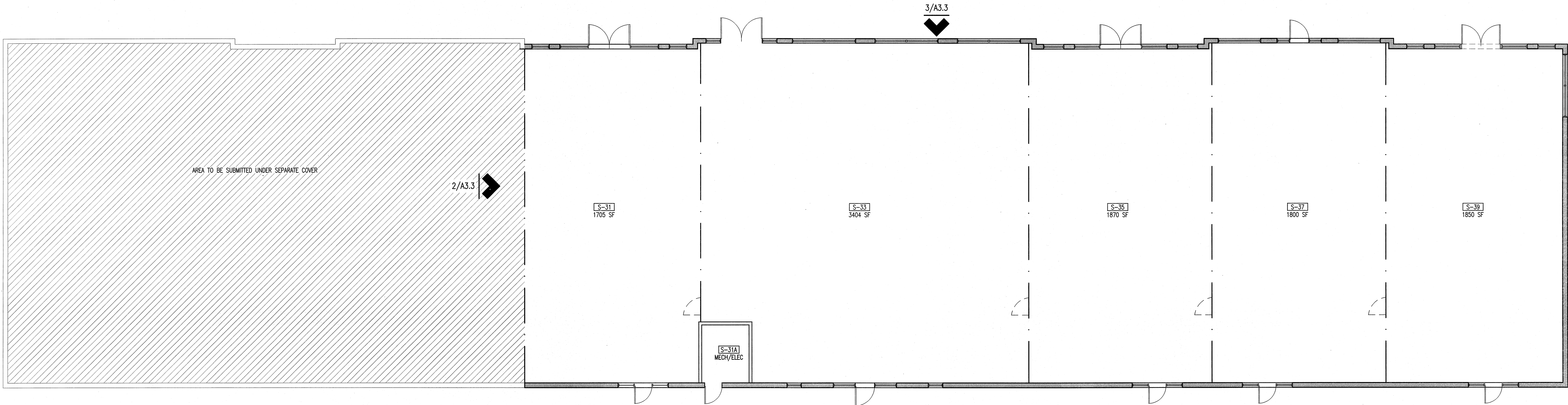
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**Building 1-B
Floor Plans**

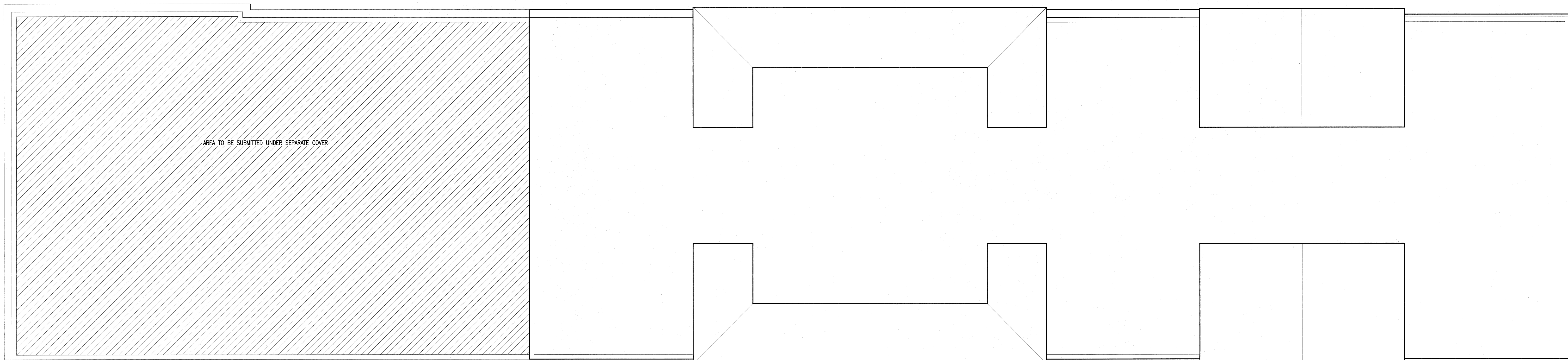
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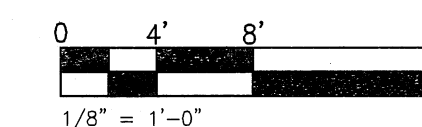


1 1-C First Floor Plan
1/8"=1'-0"



2 1-C Roof Plan
1/8"=1'-0"

LEGEND	
	LEASE LINE
	FIRE RATED DOOR



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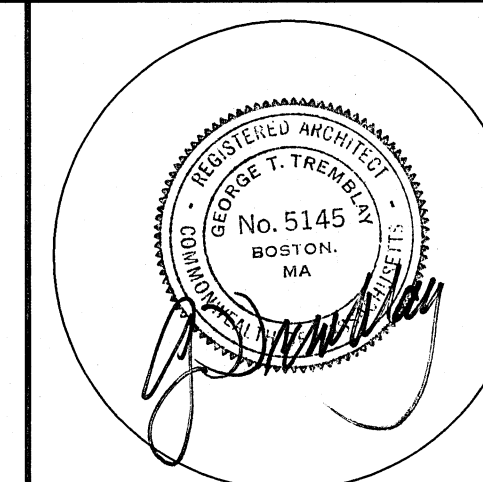
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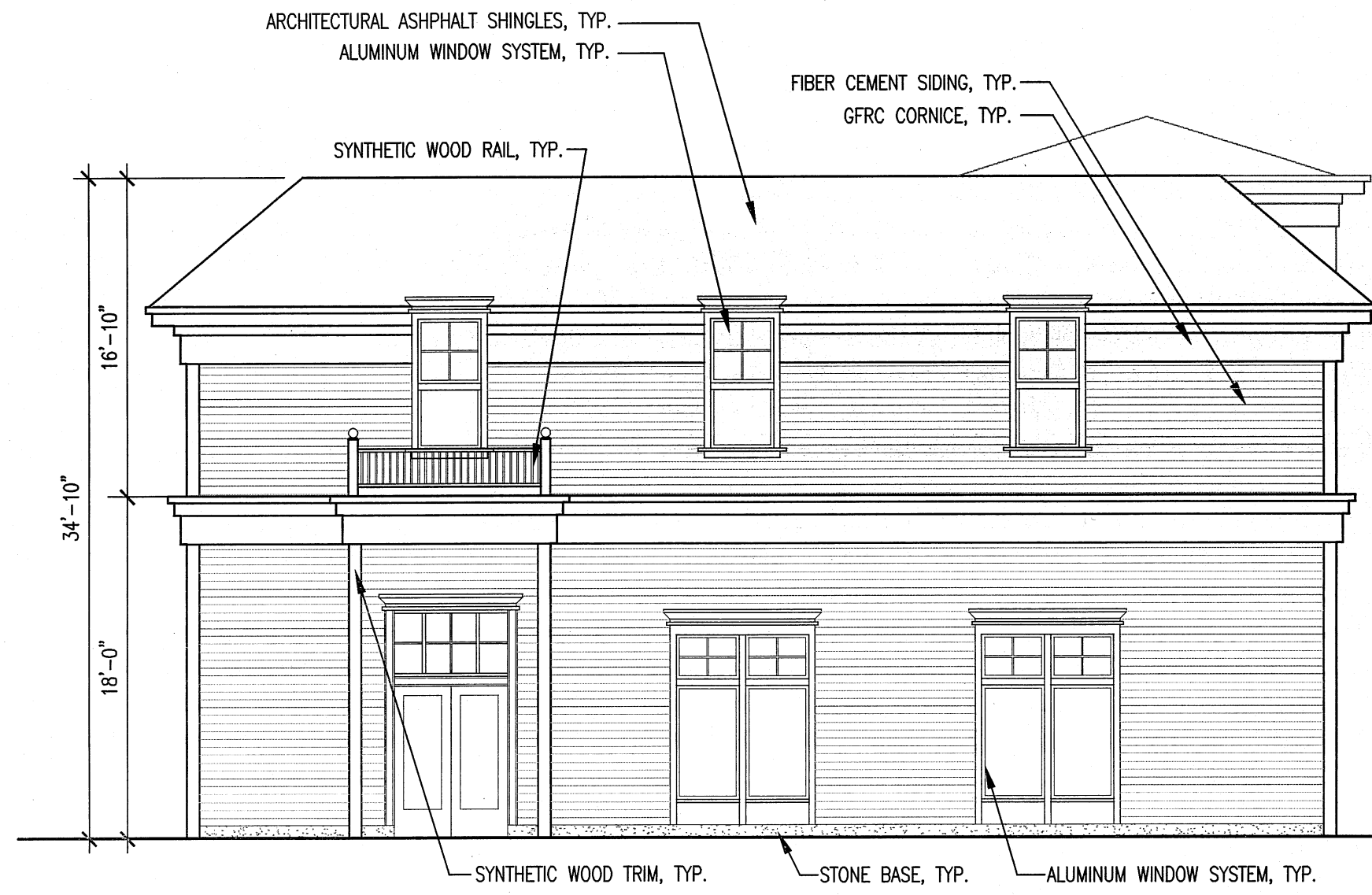
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**Site Plan I Approval
Submission**

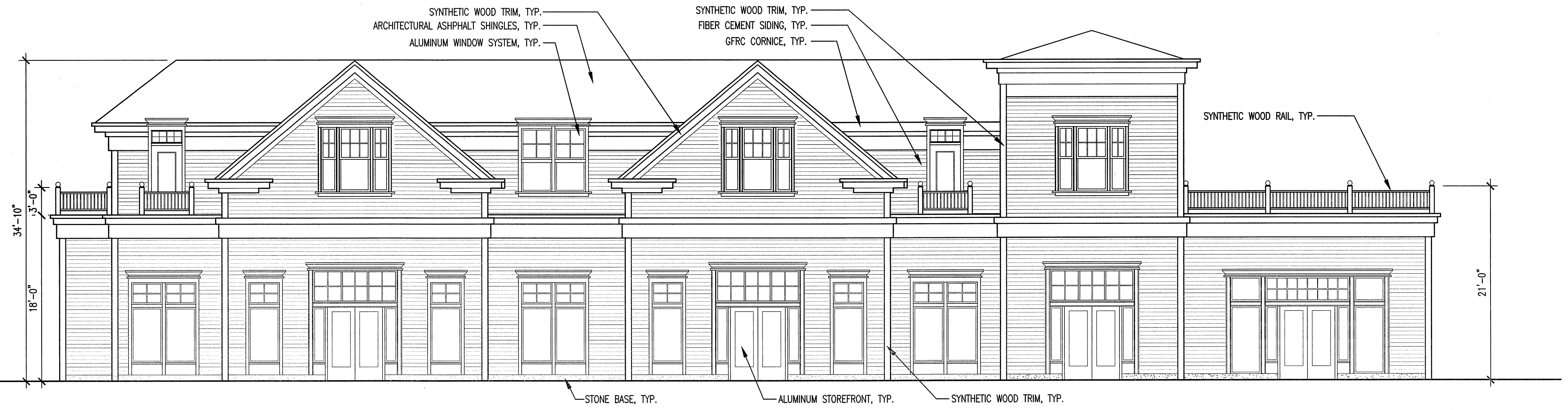
Project No: 06065
Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 2 MAY 2008
Revision Date:



Drawing Title:
**Building 1-C
Floor Plans**
Drawing Number
A2.3
SCALE 1/8"=1'-0"



1 North Elevation
1'-0" = 1/8"



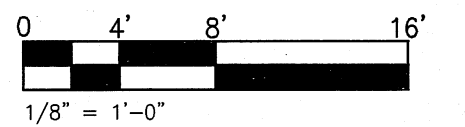
2 West Elevation
1'-0" = 1/8"



3 South Elevation
1'-0" = 1/8"



4 East Elevation
1'-0" = 1/8"



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& ASSOCIATES, INC.**
Civil Engineers & Land Planners
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WOBURN, MA 01801
781-938-0570 / FAX: 781-938-0031

Proponent:

Twenty Wayland, LLC
260 Boston Post Road, Suite 3
Wayland, MA 01778

Project:

Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

**Site Plan I Approval
Submission**

Project No: 08065
Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 2 MAY 2008
Revision Date:



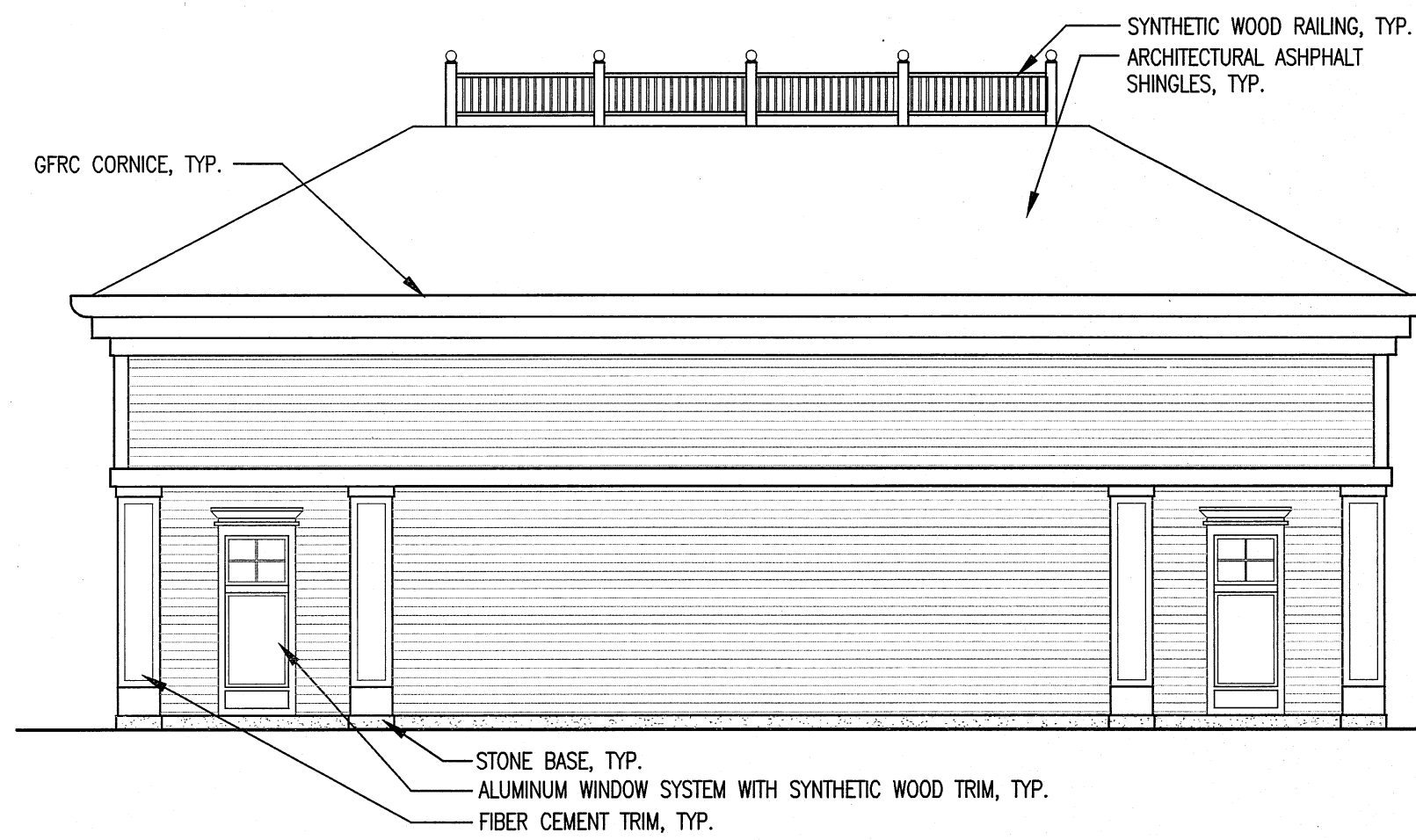
Drawing Title:

**Building 1-A
Elevations**

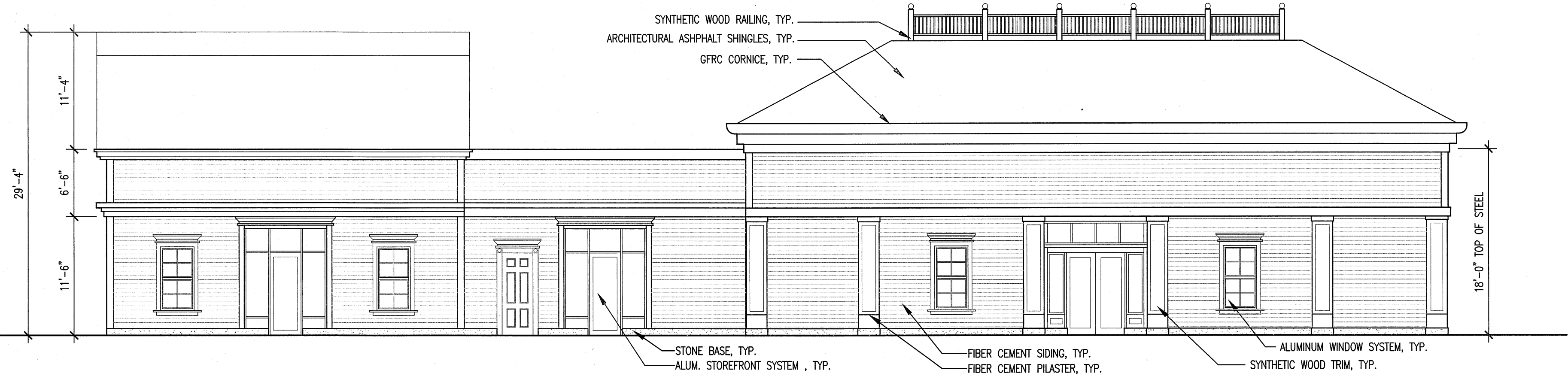
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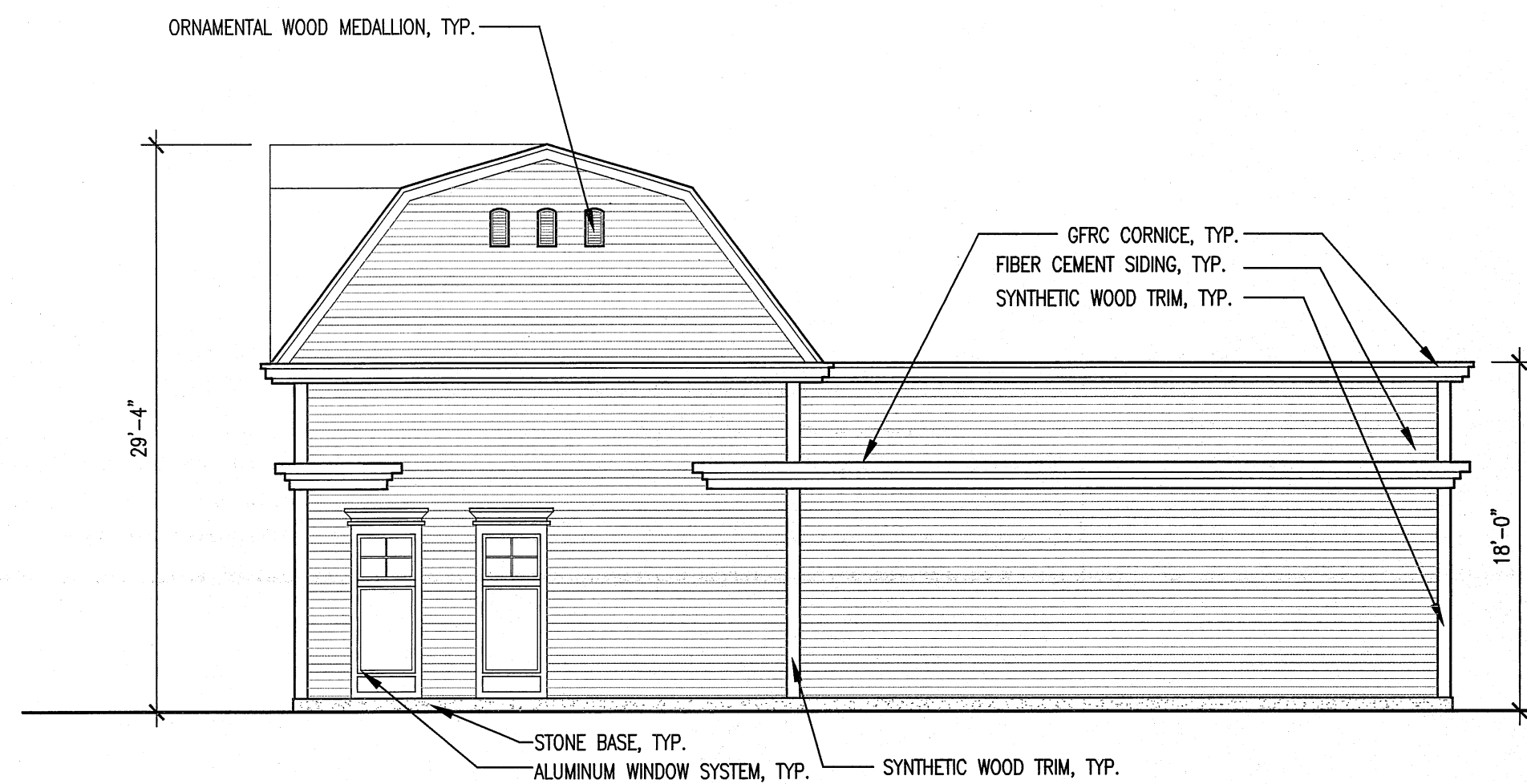
A3.1



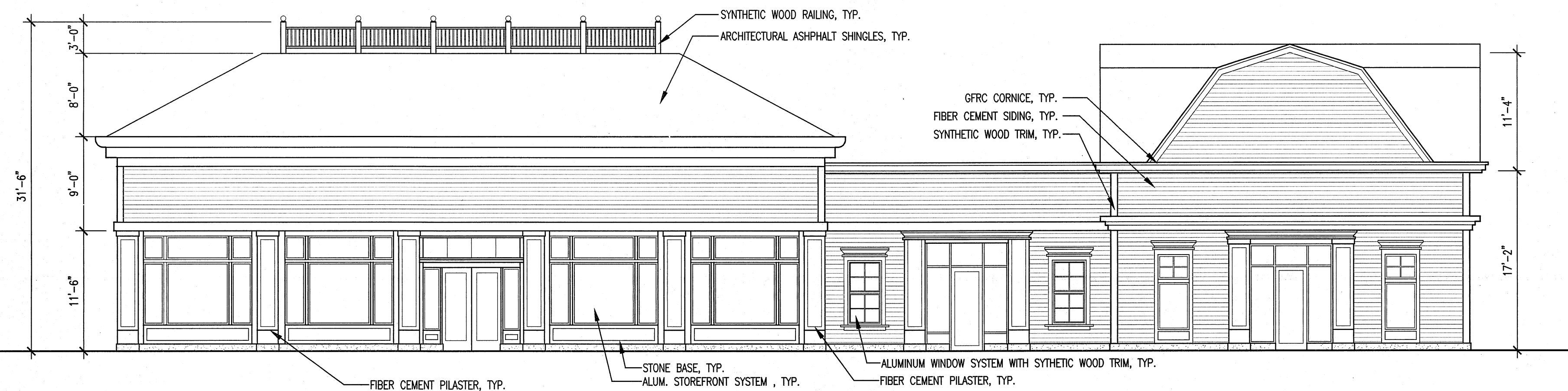
1 East Elevation
1/8" = 1'-0"



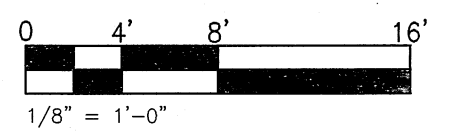
2 South Elevation
1/8" = 1'-0"



3 West Elevation
1/8" = 1'-0"



4 North Elevation
1/8" = 1'-0"



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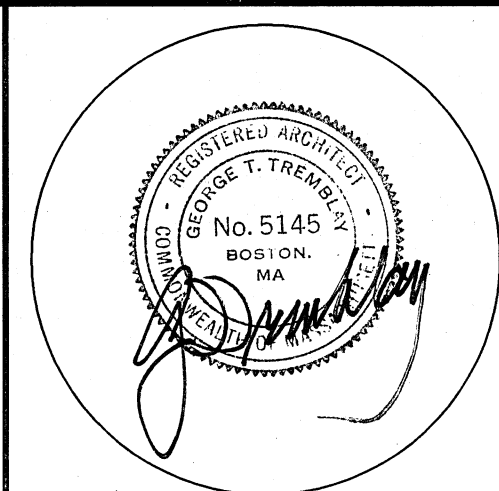
Twenty Wayland, LLC
260 Boston Post Road, Suite 9
Wayland, MA 01778

Project:

Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

**Site Plan I Approval
Submission**

Project No: 06065
Drawn By: RPK/NM
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Issue Date: 2 MAY 2008
Revision Date:



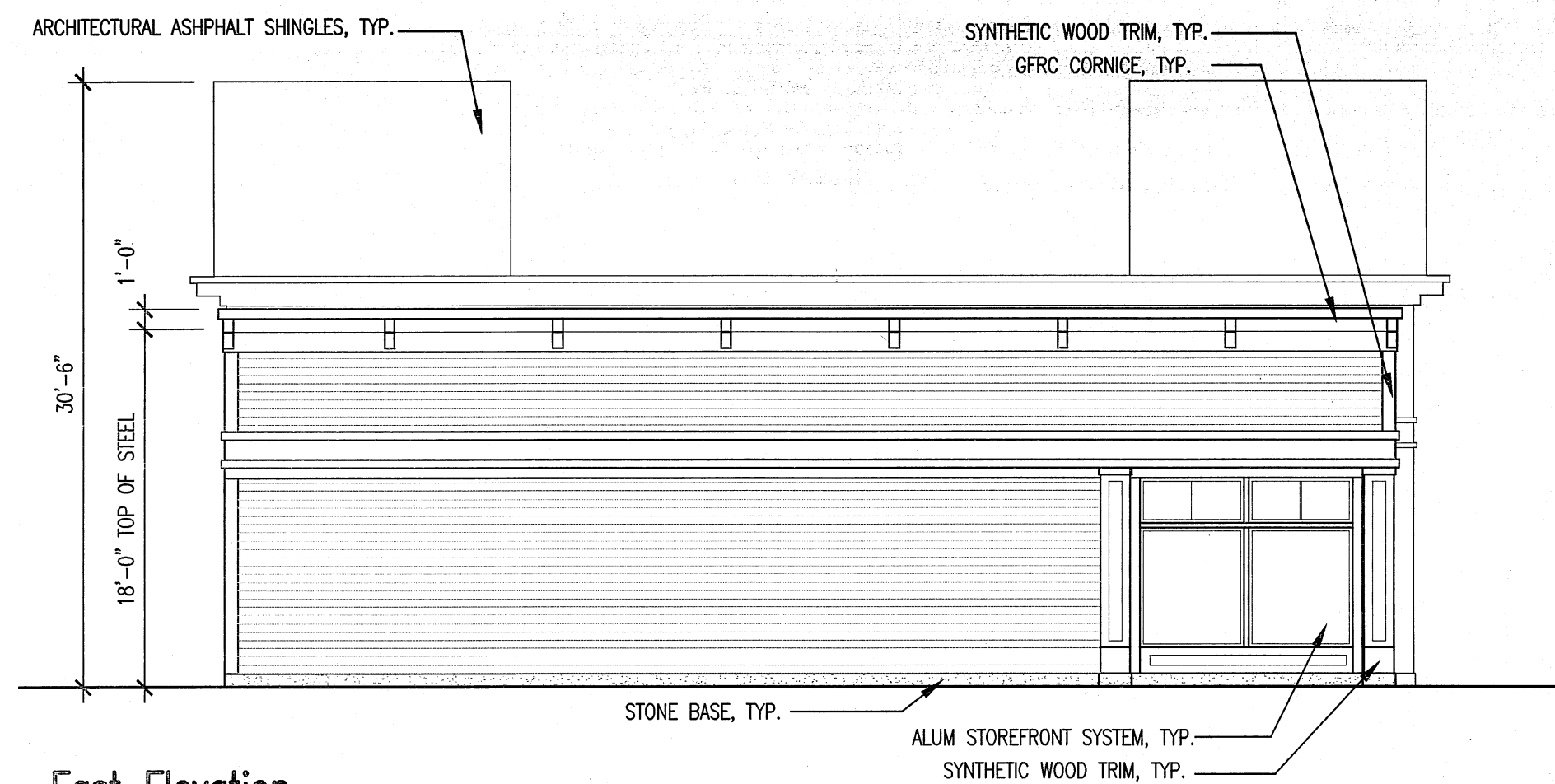
Drawing Title:

**Building 1-B
Elevations**

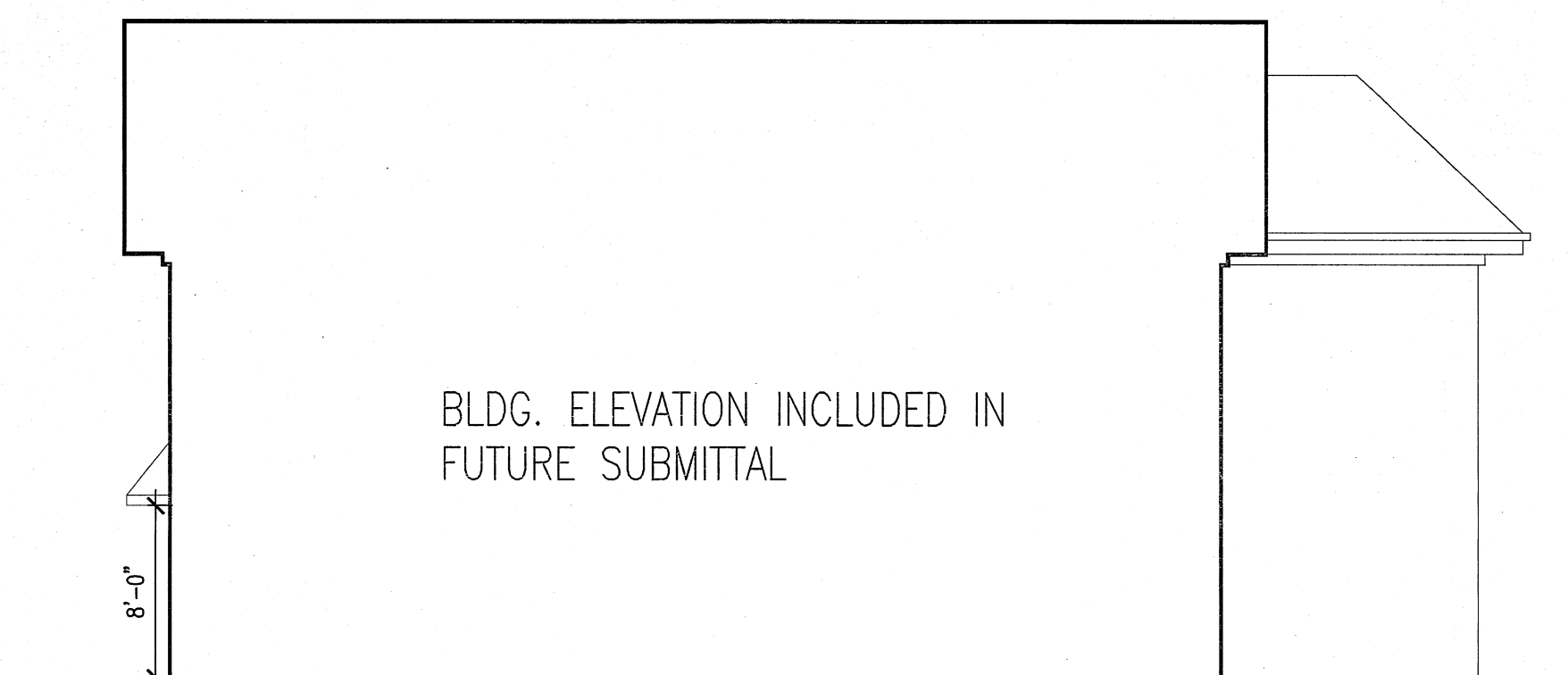
Drawing Number

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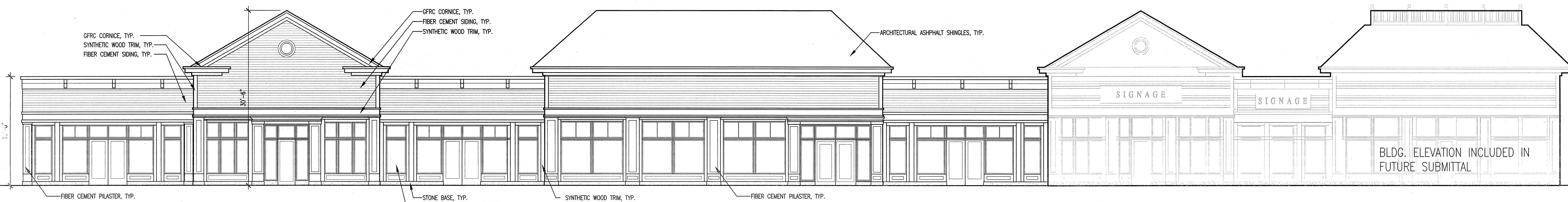
A3.2



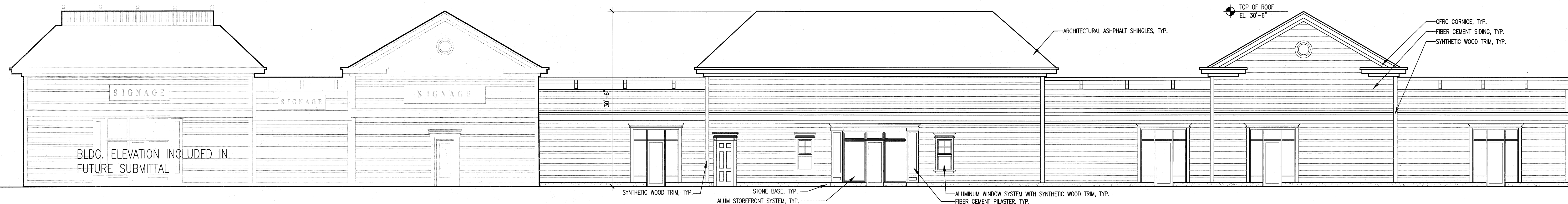
1 East Elevation
1/8" = 1'-0"



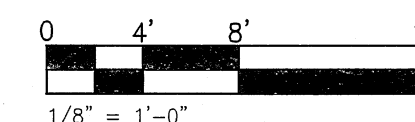
2 West Elevation
1/8" = 1'-0"



3 North Elevation
1/8" = 1'-0"



4 South Elevation
1/8" = 1'-0"



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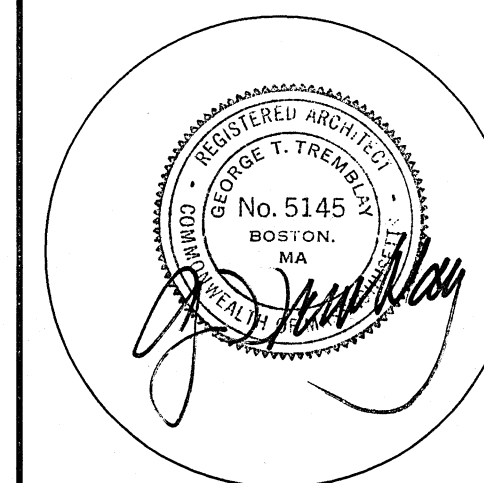
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Proponent:
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Site Plan I Approval
Submission

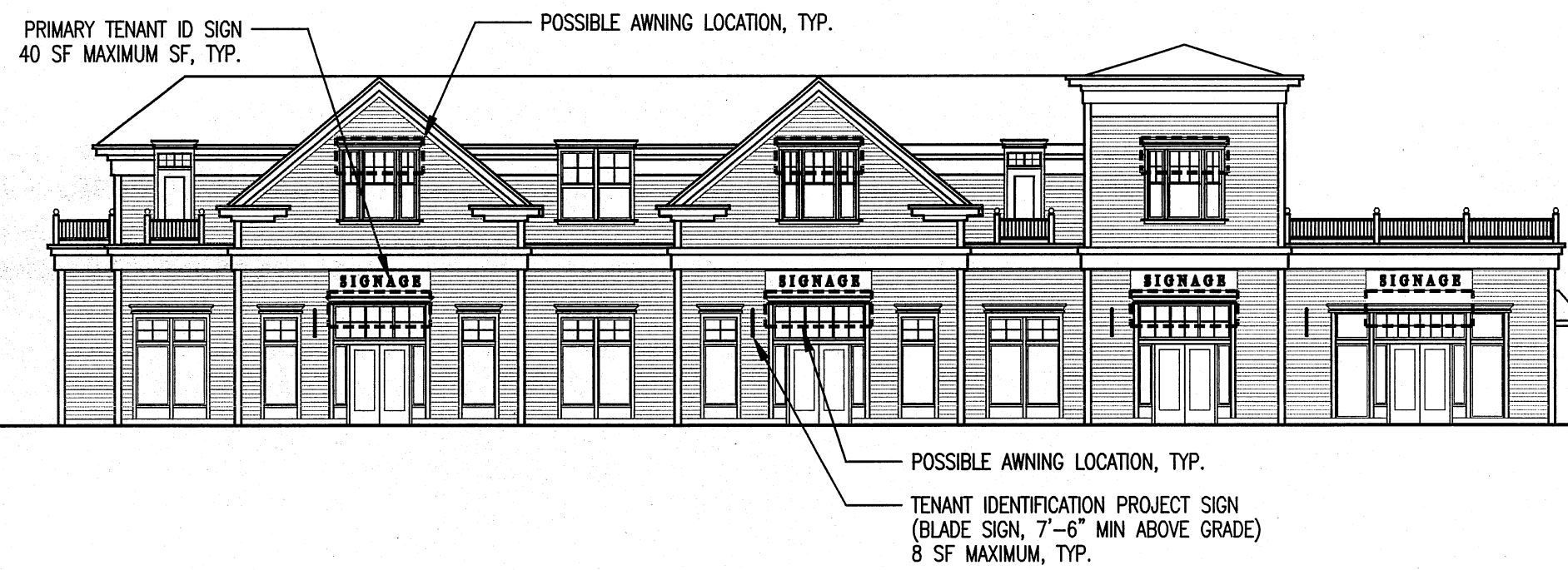
Project No: 06065
Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 2 MAY 2008
Revision Date:



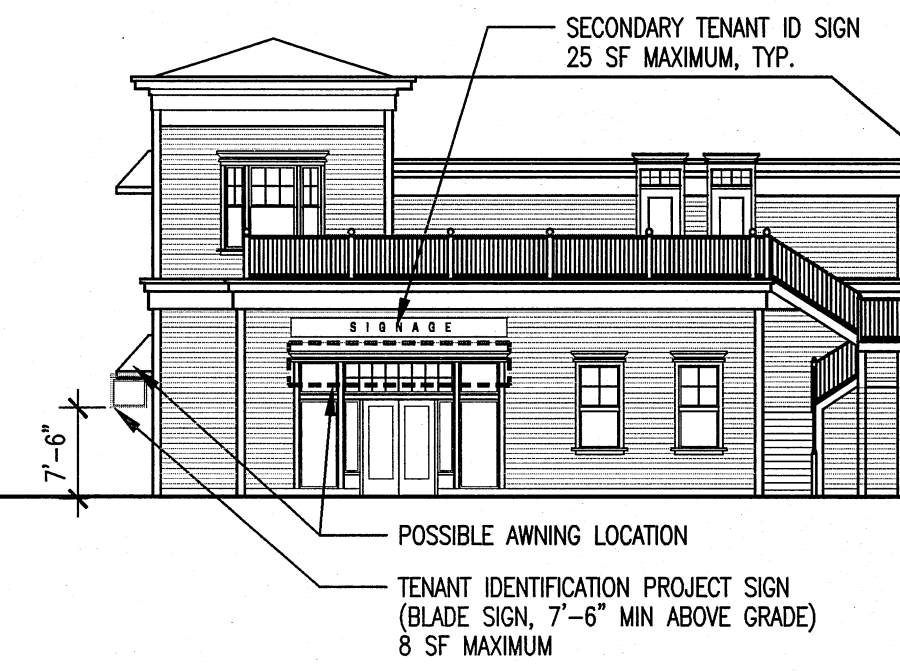
Drawing Title:
Building 1-C Elevations
Drawing Number
SCALE 1/8"=1'-0" **A3.3**



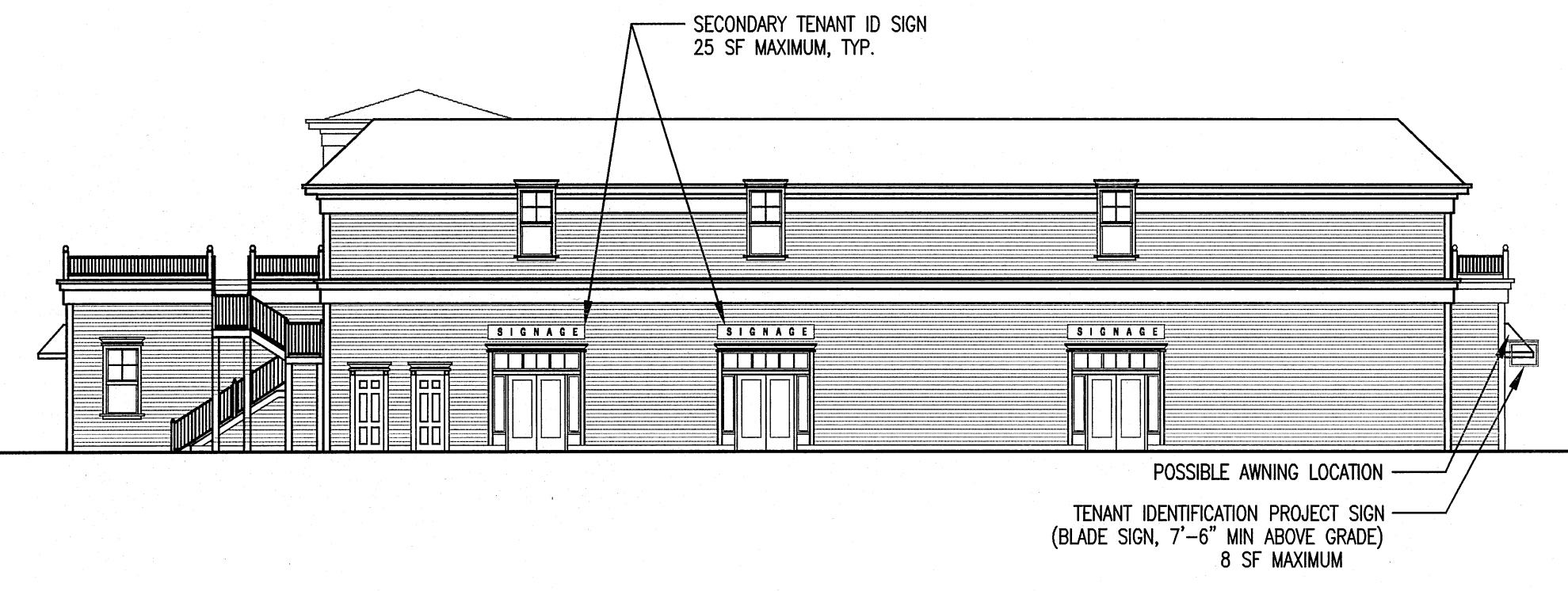
1 Building 1-A - South Elevation
1/16"=1'-0"



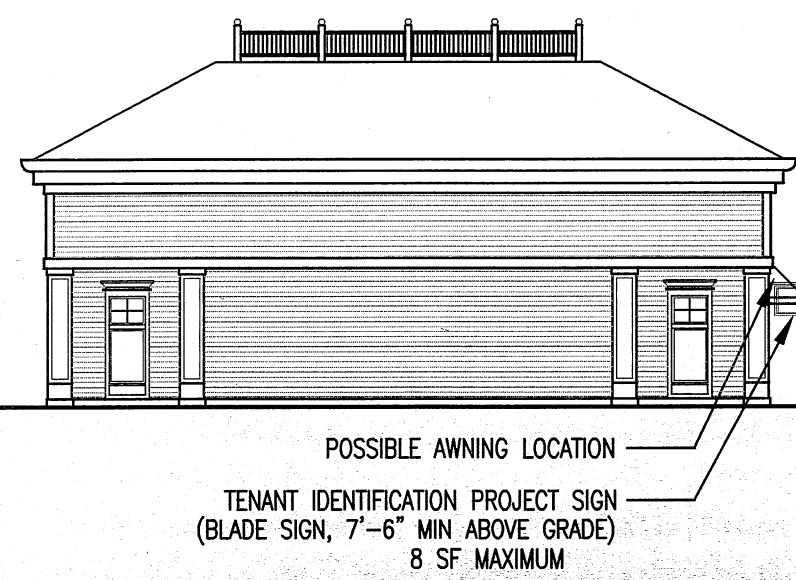
2 Building 1-A - West Elevation
1/16"=1'-0"



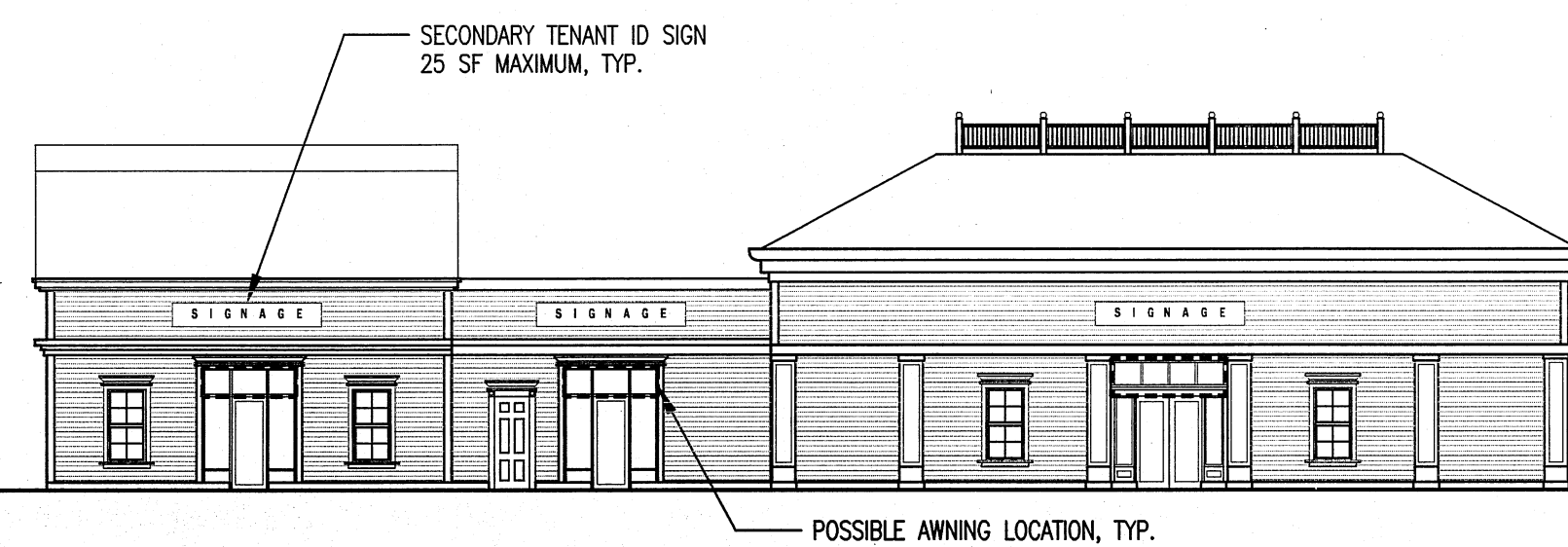
3 Building 1-A - South Elevation
1/16"=1'-0"



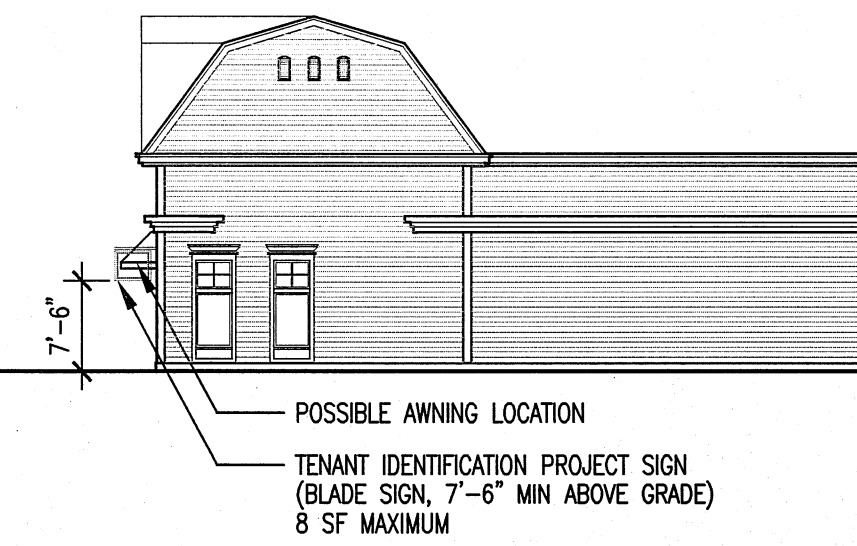
4 Building 1-A - East Elevation
1/16"=1'-0"



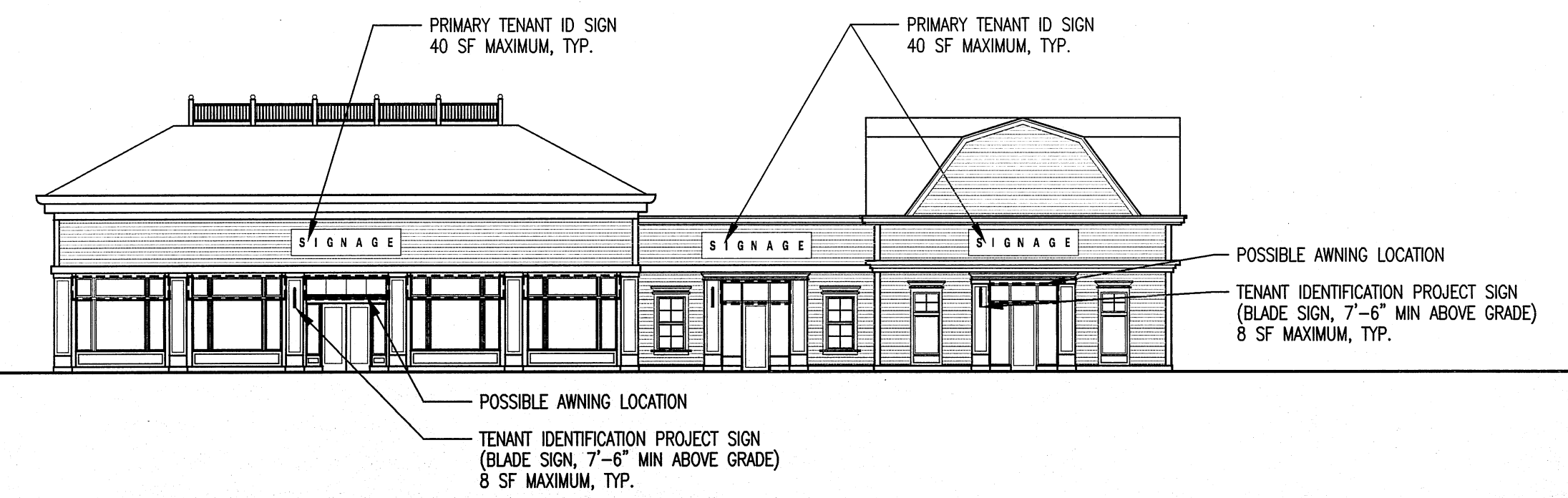
5 Building 1-B - East Elevation
1/16"=1'-0"



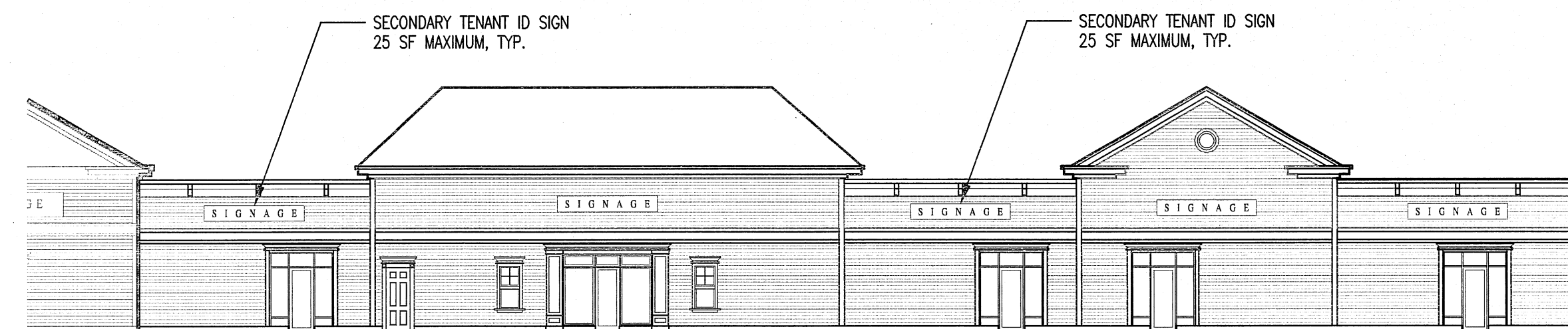
6 Building 1-B - South Elevation
1/16"=1'-0"



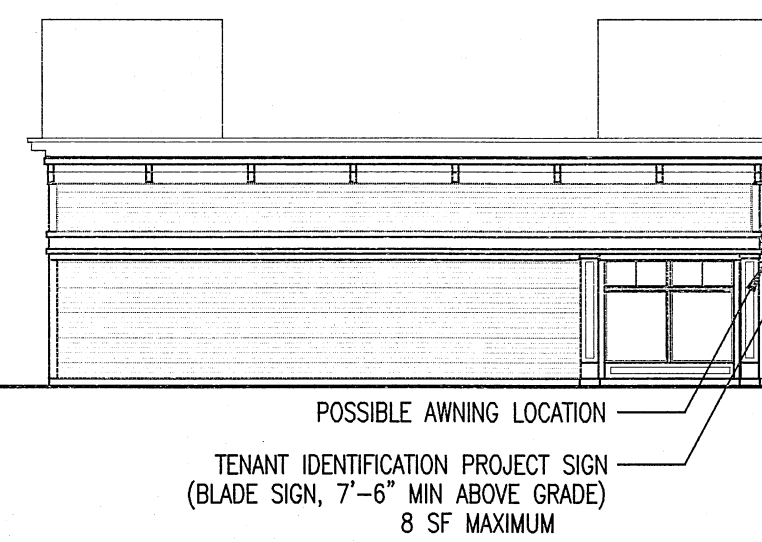
7 Building 1-B - West Elevation
1/16"=1'-0"



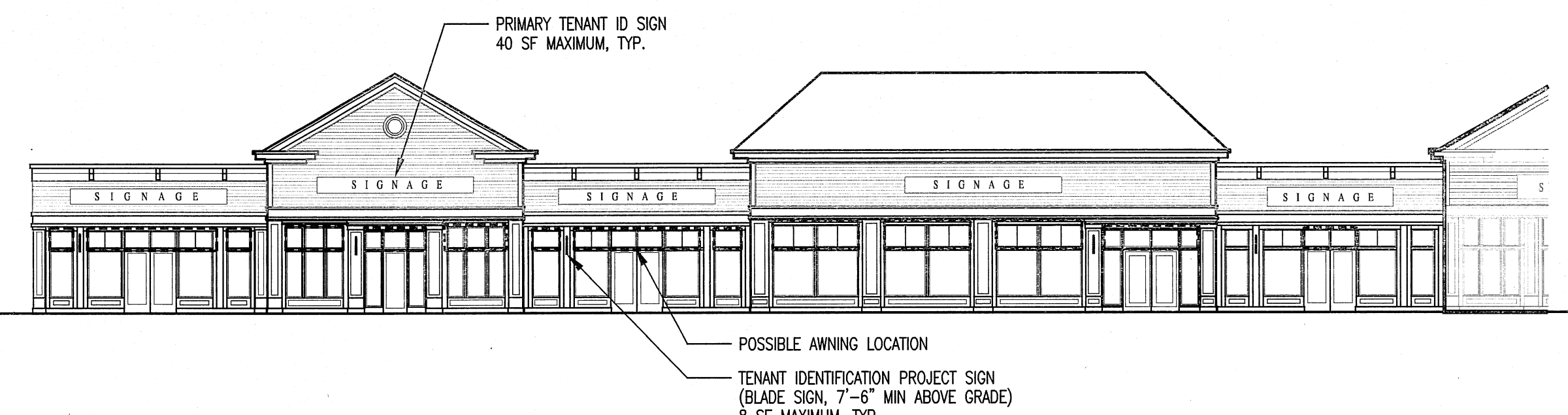
8 Building 1-B - North Elevation
1/16"=1'-0"



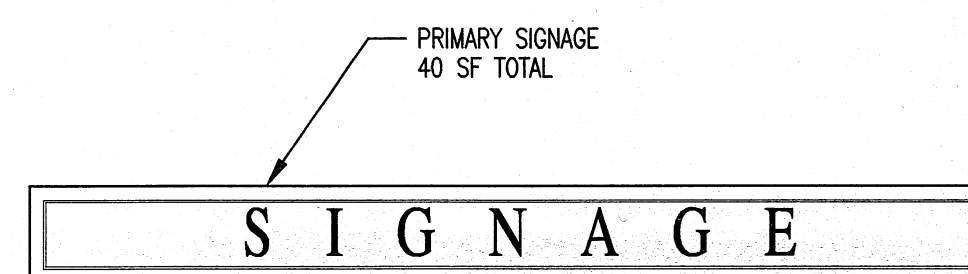
9 Building 1-C - South Elevation
1/16"=1'-0"



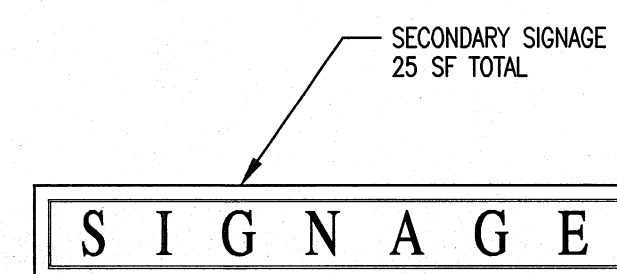
10 Building 1-C - East Elevation
1/16"=1'-0"



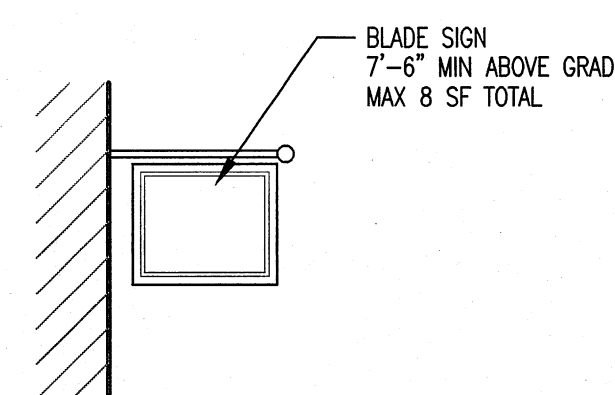
11 Building 1-C - North Elevation
1/16"=1'-0"



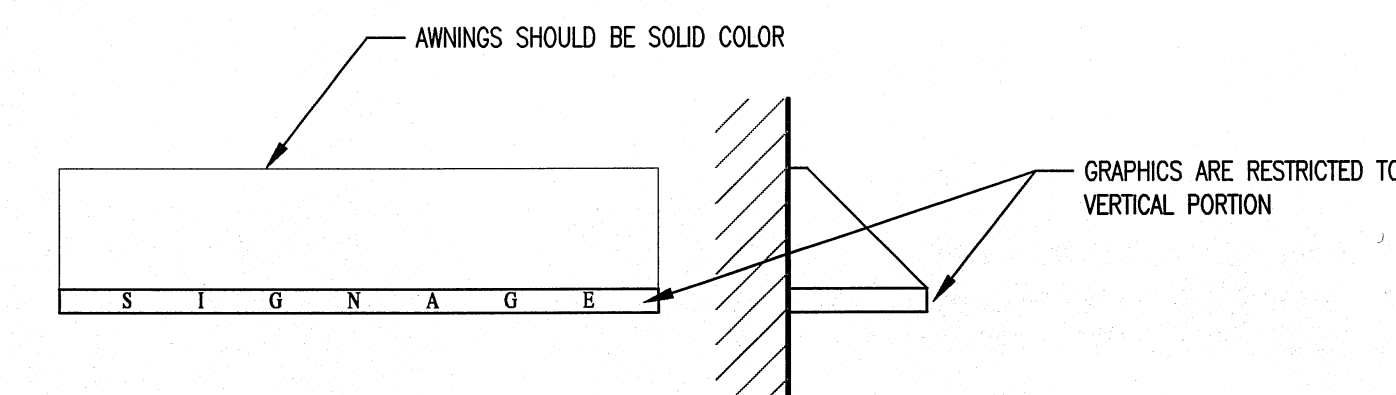
12 Primary Signage Elevation
1/4"=1'-0"



13 Secondary Signage Elevation
1/4"=1'-0"

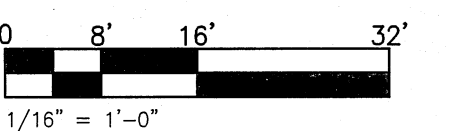


14 Blade Sign Elevation
1/4"=1'-0"



15 Awning Elevations
1/4"=1'-0"

NOTE: SIGNAGE AND AWNINGS SHOWN ARE POSSIBLE CONFIGURATIONS. ALL SIGNAGE AND AWNINGS MUST BE COORDINATED BY TENANT NOT TO EXCEED ZONING BYLAW REQUIREMENTS.



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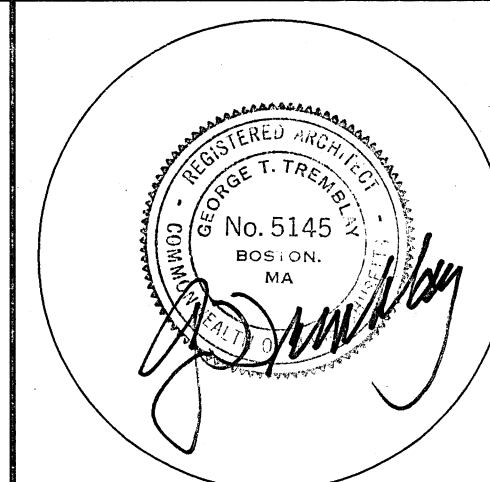
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Project:

Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

Site Plan I Approval
Submission

Project No: 06085
Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 2 MAY 2008
Revision Date:



Drawing Title:

Signage Elevations

Drawing Number
SCALE As Noted **A4.1**



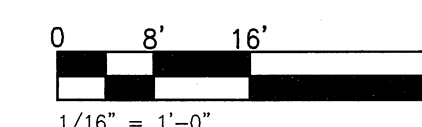
1 South Elevation – Adjacent Block
1/16"=1'-0"



2 North Elevation – Proposed 1-B and 1-C in Context
1/16"=1'-0"



3 North Elevation – Proposed 1-A in Context
1/16"=1'-0"



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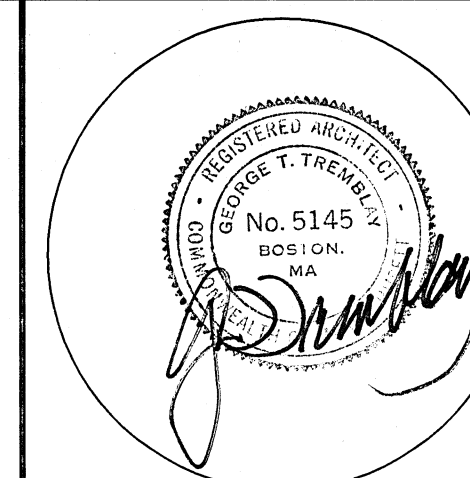
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Project:

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Wayland, Massachusetts

**Site Plan I Approval
Submission**

Project No: 06065
Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 2 MAY 2008
Revision Date:



Drawing Title:

Streetscape Elevations

Drawing Number

SCALE 1/16"=1'-0"

A5.1

MEMORANDUM

Date: June 13, 2008

To: Wayland Planning Board

From: Kenneth Buckland, AICP LEED AP, The Cecil Group

RE: Recommendations on the Phase I Site Plan
Review; Submission 1, May 12, 2008

Copies: Steven Cecil AIA ASLA, The Cecil Group

The Cecil Group's peer review of the May 12 Phase I Site Plan Review is attached as a series of tables. Recommendations are made regarding conformance with the MUOD Bylaw, MUOD Rules and Regulations, Master Special Permit and associated Special Permits, and the MUOD Design Guidelines for the building architecture and signage for the three buildings submitted.

The Cecil Group will be prepared to discuss our findings at the upcoming public hearing before the Planning Board scheduled for June 17, 2008.

Wayland MUOD Phase I Site Plan Review

Prepared by The Cecil Group - 6/13/08

RE: Peer Review of Selected Building Components

Architectural design components of Buildings I-A, I-B, and I-C, in Building Envelopes IV, IVA, and VI

Plans and Documents Submitted for Review

- Cover letter, written report and application, signed by Francis X. Dougherty, dated May 12, 2008
- Set of plans entitled, Site Plan I Approval Submission, stamped by George Tremblay, Architect, dated 2 May 2008

Tables referred to in this matrix and providing summaries of findings, follow this chart. The tables are:

- Building Program Uses and Areas
- Building-Street Setbacks
- Building Heights
- Building Materials
- Building/Tenant Signage
- Daylighting and Natural Ventilation
- Analysis of Conformance to section 2309.2.1-
“authentic, New England regional character”

<u>Regulatory Standard/Reference</u>	<u>Applicability</u>	<u>Findings and Recommendations</u>
Zoning Bylaw [STM 2006] §198-2304. Approvals Process. 2304.4.4. Phase I Site Plan Review.	Applies to submission	Phase I Site Plan submitted for review
2304.4.4.1. Prior to the issuance of a building permit the Planning Board shall conduct a Phase I Site Plan Review.	Applies to submission	Phase I Site Plan application materials submitted for review and checked for completeness

2304.4.4.2. The applicant shall submit an application and plans showing:	Applies to submission	Phase I Site Plan application materials submitted for review and checked for completeness.
<ul style="list-style-type: none"> • building design and elevations; 	Applies to submission	Approximate footprints, with floor plans, building materials, and elevations included in the submission.
<ul style="list-style-type: none"> • signs; 	Applies to submission	Building/tenant identification sign locations, sizes and types included in the submission.
<ul style="list-style-type: none"> • landscaping; 	Does not apply to submission	Information to be submitted in subsequent applications.
<ul style="list-style-type: none"> • lighting; 	Does not apply to submission	Information to be submitted in subsequent applications.
<ul style="list-style-type: none"> • parking; 	Does not apply to submission	Information to be submitted in subsequent applications.
<ul style="list-style-type: none"> • compliance with the MUP Master Special Permit; 	Applies to submission	This document includes applicable criteria from the MUP Master Special Permit for review of compliance.
<ul style="list-style-type: none"> • and any other documents required by the MUP Master Special Permit and the Planning Board's rules and regulations for the MUOD. 	Applies to submission	This document includes applicable criteria from the MUP Master Special Permit and MUOD Rules and Regulations for review of compliance.
The Planning Board shall review the application and plans to determine whether the proposed building(s) and associated improvements are consistent with:	Applies to submission	This document includes applicable criteria for review of compliance.
<ul style="list-style-type: none"> • the performance standards set forth in Section 198-2309 and 	Applies to submission	This document includes applicable criteria for review of compliance.
<ul style="list-style-type: none"> • the specific conditions of the MUP Master Special Permit. 	Applies to submission	This document includes applicable criteria for review of compliance.
§198-2308. Dimensional Requirements and Aggregate Limits.	Applies to submission	Compliance noted below

2308.1.2. Maximum Building Height. Height shall be as defined in Section 198-701.1.2, except that penthouses shall refer only to mechanical penthouses and that none of the items referred to in that section are used for occupancy purposes. Height shall be measured in accordance with the provisions of Section 198-104.2.	Applies to submission	Maximum building heights are in conformance with bylaw and Special Permits (see table – Building Heights).
2308.1.3. Maximum Building Size. No building shall exceed 60,000 square feet of Gross Floor Area.	Applies to submission	Maximum building size is in conformance (see table – Building Program and Uses).
2308.2. The total amount of development allowed under Article 23, exclusive of any uses related to a wastewater treatment facility, is limited to 372,500 square feet of Gross Floor Area, of which 40,000 square feet of Gross Floor Area can be used only for municipal uses. 2308.2.1. The non-residential component of any Mixed-Use Project, exclusive of municipal uses and any uses related to a wastewater treatment facility, shall be limited to 165,000 square feet of Gross Floor Area. Not more than 156,750 square feet of such Gross Floor Area shall be dedicated to retail uses. Not more than 10,000 square feet of such Gross Floor Area shall be dedicated to office uses.	Applies to submission	Maximum building size in conformance (see table – Building Program and Uses).
2308.3. Aggregate limits on sizes and numbers of individual establishments. 2308.3.1. To ensure a mix of larger and smaller establishments devoted to retail, service, assembly or restaurant use, and without limiting the size or configuration of buildings, the size and number of individual establishments in the MUOD taken as a whole shall not exceed the following aggregate limits: [deleted for space]	Applies to submission	The submission includes Zone IVA which allows Categories B, C, D and E; and Zones IV and VI which allow Categories C, D, and E. Allowed building program and uses are indicated in Table A of the Master Special Permit decision (see below)
§198-2309. Performance Standards.	Applies to submission	Sections on Massing, Signs, and Efficiency of Design directly apply to this building design proposal.
2309.2. Massing.	Applies to submission	Compliance as noted below.
2309.2.1. Massing within the MUOD should promote buildings designed in a traditional New England style and create a Mixed-Use Project with an authentic, New England regional character to its buildings.	Applies to submission	The individual elements are individually related to the New England regional style of architecture. The individual building critiques are in the table -

		Analysis of Conformance to section 2309.2.1- “authentic, New England regional character.”
2309.2.1.1. Any buildings proposed for a Mixed-Use Project shall provide visual relief, generally every 30 feet, along the façade of each building.	Applies to submission	<p>The standard is generally met with two exceptions. Those exceptions are:</p> <ul style="list-style-type: none"> • The East and West facades of Building 1-B have continuous walls without vertical changes or openings for lengths of 34ft and 32ft, respectively. • The East façade of Building 1-C is a continuous wall without vertical changes or openings for a length of 43ft. <p>The West façade of Building 1-B and the East façade of Building 1-C are the walls which line one of the proposed mews for this Building Envelope. The separation of the buildings, landscape and hardscape treatments, and lighting for this passage should be designed to make the connection attractive and compensate for the adjacent walls.</p> <p>It is recommended that the Planning Board find appropriate conformance with this standard conditional on approval of the landscape and streetscape submissions that show the proposed treatment.</p>
2309.2.1.2. Building design throughout a Mixed-Use Project shall include designs which promote visual relief by including varying roof lines and roof heights.	Applies to submission	<p>The submission includes a design with visual relief. However, reference is made to the discussion under 2309.2.1.</p> <p>It is recommended that the Planning Board only find conformance after determining the conformance with 2309.2.1.</p>
2309.2.1.3. A Mixed-Use Project shall include residential buildings and buildings with multiple non-residential uses and a mix of buildings containing single or multiple	Applies to submission	The submission proposes a mix of buildings with multiple establishments.

establishments.		It is recommended that the Planning Board find conformance with the mix of uses specified.
2309.4. Signs.	Applies to submission	Conformance as noted below.
2309.4.1. Signage must (a) be in keeping with a traditional New England town center; and (b) be integrated into the overall architectural design of the Mixed-Use Project.	Applies to submission	<p>The signage does indicate traditional placements and types. However, the repeated placement of the signs at the same locations and with the same sizes does not represent a typical, traditional main street. Some offsets and more variations would be acceptable and could significantly liven the feel of the facades and street. The allowed variations could be included as a condition of the approval of these plans.</p> <p>The signage shown is considered integrated with the overall architecture.</p> <p>It is recommended that the Planning Board find conformance with this section but encourage greater variations in tenant signs.</p>
<p>2309.4.2. The following dimensional standards apply: Excerpt: Category E:</p> <p>Single Primary Wall Sign up to 40 sq.ft.</p> <p>Single Secondary Wall Sign up to 25 sq.ft.</p> <p>An establishment can have only one primary wall, to be designated in the signage plans referenced in Section 2309.4.6. All other designations will be made in the signage plans.</p>	Applies to submission	<p>Tenant signage proposals for buildings indicated on Drawing A.4.1. Areas and placements conform to requirements (See table – Building Signage).</p> <p>Primary and secondary walls are indicated by sign designation. All establishments in a single building have the same secondary and primary walls. An allowance for variation for each establishment may be appropriate. However, the windows and door openings have otherwise reinforced the primary and secondary wall designations.</p> <p>It is recommended that the Planning Board find the implied designations in conformance with this section.</p>

2309.4.3. For Size Category B, the allowed aggregate area of an establishment's main signs on the primary wall can be up to 90 sq.ft.	Does not apply to submission	No Category B buildings are included in the proposal.
2309.4.4. For all Size Categories, the aggregate area of signage will be determined by special permit.	Applies to submission	The Special Permit allows up to 6,384sf for Category E buildings, with an aggregate of 6,860sf total. The individual and total signage proposed is found in conformance with the Special Permit (see table – Building/Tenant Signage).
2309.4.5. Signs may be illuminated externally, but no sign can be illuminated internally.	Does not apply to submission	Lighting plan not yet submitted.
2309.4.6. The applicant shall prepare signage plans indicating aggregate signage, maximum sign area, and proposed lighting, demonstrating that signs and proposed lighting will comply with Section 198-2309.4, Section 198-501 (except that the area and height limits specified in Section 198-501.1 shall not apply), and the Planning Board's rules and regulations for the MUOD.	Applies to submission	<p>Tenant signage proposals for buildings indicated on Drawing A.4.1. Areas and placements conform to requirements (See table – Building/Tenant Signage). See also discussion in the above sign sections.</p> <p>Lighting plans are not included in this submission.</p> <p>The review of conformance with the MUOD Rules and Regulations is in a separate section of this matrix.</p>
2309.4.7. By special permit, the Planning Board may allow signage that varies from that which is permitted in Section 198-501.1 and Section 198-2309.4, including signage not on the same premises as the building, structure, or use to which the signage pertains (provided the signage is still within the MUOD).	Applies to submission	A Special Permit for signage was issued with the Master Special Permit decision. The proposal is found in conformance with the standards of the Special Permit.
2309.12. Efficiency of Design.	Applies to submission	Conformance noted below.
2309.12.1. Every effort shall be made to design buildings and use materials and construction techniques to optimize daylight in building interiors, natural ventilation, and energy efficiency; to minimize exposure to and consumption of toxics and non-renewable resources; and to incorporate appropriate "green" design techniques.	Applies to submission	Information on natural ventilation, energy efficiency, exposure to and consumption of toxics and non-renewable resources, and appropriate "green" design techniques is not included in the submission.

		See table – Daylighting and Ventilation
MUOD Rules and Regulations [April 24, 2008]		
ARTICLE IV Phase I Site Plan Review		
§ 304-12. Required Submittals.		
A. Application for Phase I Site Plan Review and Approval.	Applies to submission	Compliance as noted below.
(1) The Application Form for Phase I Site Plan Review and Approval as provided by the Planning Board.	Applies to submission	Submitted
(2) As part of the submittal of the Application for Phase I Site Plan Review and Approval, as set forth in these regulations, the applicant shall provide the information listed in § 304-12.	Applies to submission	Submitted
(3) In accordance with §304-6, the Planning Board may waive any information requirements listed below in the review of a particular application.	Applies to submission	Waiver for information are necessary for the submission and are considered appropriate to the application
(4) For the purpose of this Article, the word “existing” shall not refer to any structure, sign, light, or other element in existence on the site prior to the date of the adoption of this Article that is intended to be removed or demolished.	Applies to submission	Use of word “existing” is addressed in the submission.
B. List of Requested Waivers. Any request for a waiver from these regulations shall be submitted as part of the application, which may be amended by letter before the Site Plan Application hearing is closed. Said requests shall include a statement that clearly identifies the provision or provisions of these regulations from which relief is sought and a statement setting forth the reason or reasons why, in the applicant's opinion, the granting of each such waiver would be in the public interest and not inconsistent with the intent and purpose of the Zoning Bylaws and these regulations.	Applies to submission	Information submitted only applies to the architectural plans for the three buildings. Appropriate waivers are requested for all site- and utility-related requirements.
C. Site Plan Application Plans and Drawings.		
(1) General Requirements.	Applies to submission	Compliance as noted below.
a. Plan sheets shall not be larger than 24 by 36 inches and shall be clearly and legibly drawn.	Applies to submission	Submitted

b. Each set of plans shall have a cover sheet depicting the USGS locus map, an appropriate title block, an index of plan sheets, and the numbering system used on the sheets. Legends of symbols can be presented on a drawing or on each drawing as determined by the design professional developing the drawing.	Applies to submission	Submitted
c. Each plan sheet shall contain an appropriate title block, North arrow (plan view civil drawings only), and scale of measurement.	Applies to submission	Submitted
d. Each plan sheet shall be stamped and certified by an appropriate Massachusetts licensed registered professional such as an architect, landscape architect, land surveyor, and/or professional engineer.	Applies to submission	Submitted
e. Site grading for existing and proposed conditions. Proposed site grading should refer to the National Geodetic Vertical Datum, and identify the location and elevation of existing permanent benchmarks on the site. If no benchmarks exist on-site, then proposed benchmarks should be depicted.	Does not apply to submission	
f. Base plans shall be prepared so that layers of information can be later combined in a single plan sheet.	Applies to submission	Submitted
(2) Any site plan for which an applicant seeks approval shall be presented at a suitable scale, which shall be shown on each sheet of said plan. Said plan shall be clearly and legibly drawn, so as to fully depict and detail the intentions of the applicant. A site layout plan shall be submitted in a form suitable for recording.	Applies to submission	Submitted plans provide the requested information. Notations are included where additional detail is recommended to complete the required findings and decision.
(3) The use of multiple sheets in preparation of the site plan is encouraged if the submission of the plan on a single sheet renders the information unreadable or confusing. These sheets shall be labeled such that the labels may serve to distinguish these multiple sheets (i.e. General Site Plan, Utility Plan, Landscape Plan, and Details Plan); however, applicants should present the information in the most effective manner. Where multiple plan sheets are used, an index and numbering system shall be provided for	Applies to submission	Submitted

convenience.		
(4) The cover sheet shall include an appropriate title block and North arrow. Space shall be provided for endorsement, including the date, with the caption "Date Site Plan Endorsed: _____."	Applies to submission	Cover sheet includes all information except for North arrow. However, USGS map indicates north/south and east/west.
(5) A checklist of all of the items listed in this section, Sections §304-12 Subsections A through E, shall be included with the application, with each item marked either "Applicable, see site plan, sheet(s) No. ____" or "Not applicable, request for waiver submitted." The site plan drawings shall provide the following information, as applicable (all lines, boundaries, setbacks, etc., must be labeled and must show precise dimensions and directions and all lots, districts, footprints, etc., must show precise areas, in acres and in square feet):	Applies to submission	The May 12 submission lists the requirements but does not indicate which sheet provides the information. With the few sheets submitted, the information can be found. However, it is recommended that future submissions include the cross-referencing.
a. The plans shall show all of the following general site characteristics on or related to the site:	Applies to submission	Compliance as noted below.
1. The locus at a scale of one inch equals 1,000 feet for a minimum radius of 1/2 mile centered on the site shall be shown on one sheet	Applies to submission	Submitted
2. At a minimum one sheet shall depict a legend identifying any representative symbols used on the plans in the application.	Does not apply to submission	Waiver requested and acceptable for this submission.
3. Lot lines and boundaries of the site, with permanent bounds, and abutters with their property lines indicated shall be shown on at least one sheet	Does not apply to submission	Waiver requested and acceptable for this submission.
4. Existing and proposed easements shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
5. Existing and proposed internal and adjacent private and public rights-of-way, edges of pavement and other surface and subsurface features within said rights-of-way shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
6. Zoning districts (including the Floodplain and Aquifer Protection Districts) shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.

7. Existing and proposed topography at two-foot intervals, referenced to the National Geodetic Vertical Datum, with the location and elevation of the permanent benchmark, plus at least two additional permanent benchmarks on the site.	Does not apply to submission	Waiver requested and acceptable for this submission.
8. Areas intended for use as open space shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
9. Wetlands and wetland buffers, as defined in MGL c. 131, § 40 shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
10. Watercourses and water bodies, including ponds, streams, brooks and ditches shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
11. Special site features, including stone walls, fences, historic structures, ledge outcroppings, large trees, etc shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
b. The plan set shall include drawing(s) that collectively show all of the following site improvements on or related to the site:	Applies to submission	Compliance as noted below.
1. The outline or footprint of existing and proposed structures.	Applies to submission	Proposed building footprints shown for three structures 1-A, 1-B and 1-C. Existing building footprint in this area is the existing office building which is to be demolished.
2. Building design and elevations of the front, sides and rear of existing and proposed structures; with materials, colors, and maximum heights indicated.	Applies to submission	Colors of the materials are not indicated in the submittal transmitted to this office. General information on the proposed building façade materials is indicated.
3. A table summarizing the gross floor area proposed for the retail, office, municipal, and residential uses.	Applies to submission	Table is provided in the submittal. Additional summary of building program and uses is shown in table – Building Program and Uses.
4. Setbacks to either the property line or the prominent curb line as defined in the MUOD zoning or the Master Special Permit decision, including building envelope as applicable, for proposed structures and parking and loading facilities.	Applies to submission	Waiver requested and acceptable for this submission.

5. Existing and proposed signs.	Applies to submission	Tenant and building signs shown on the submitted plan A4.1 (see table – Building/Tenant Signage).
6. Existing and proposed lighting.	Does not apply to submission	Waiver requested and acceptable for this submission.
7. Proposed landscaping, buffer area plantings, and other screening elements.	Does not apply to submission	Waiver requested and acceptable for this submission.
8. Areas intended for outdoor storage, indicating whether fenced or enclosed.	Does not apply to submission	Waiver requested and acceptable for this submission.
9. Underground storage containers for fuel or other chemical storage, including type, capacity, and anticipated contents of each container.	Does not apply to submission	Waiver requested and acceptable for this submission.
10. Existing and proposed sidewalks, walkways, driveways and accesses to the site.	Does not apply to submission	Waiver requested and acceptable for this submission.
11. Existing and proposed parking and loading facilities, including any proposed landscaped areas within the perimeter of a parking facility. Number and location of parking spaces, including handicap spaces, must be shown on the plan. Areas proposed for reserve parking shall be identified.	Does not apply to submission	Waiver requested and acceptable for this submission.
C.(5)c.1.-7., C.(5)d1.-5., and C.(5)e.1.-4.	Do not apply to submission	Waiver requested and acceptable for this submission.
D. Written Submittals.	Applies to submission	Compliance as noted below.
(1) Documentation demonstrating how the Phase I Site Plan Application incorporates the conditions and recommendations of the Master Special Permit shall be submitted.	Applies to submission	A written report is provided and addresses requirements and requested information.
(2) It is recognized that multiple Site Plan Applications may be provided for the Mixed Use Overlay District project due to anticipated construction and/or market phasing.	Applies to submission	A schedule has been provided and discussed.

MIXED USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN APPROVALS DECISION – CORRECTED [January 17,2008]		
Board hereby grants: a.) a master special permit pursuant to §198-2304.3 of the By-Laws for the construction of a MUP on the Locus consisting of up to (i) 165,000 square feet of gross floor area (“GFA”) which shall be used for nonresidential purposes as set forth in Table A of Article 23 of the By-Laws, exclusive of municipal uses and any uses related to a wastewater treatment facility;	Applies to submission	Total building area in this submission is less than that allowed by the decision.
b.) a special permit pursuant to §198-2305.3 of the By-Laws to exceed the 35-foot maximum height of structures allowing... (ii) a maximum building height of 42 feet for buildings containing second story office within Building Envelopes III, IV, VI and VII (nonresidential); and	Applies to submission	The proposed buildings are located in Building Envelopes IV, IVA, and VI; where the building in IV/IVA includes second floor office (See table – Building Heights). It is recommended that Building 1-A utilize the maximum height option of 42ft to provide a more substantial presence at the end of the straight section of Street “A.” See also discussion in table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character.”
c.) a special permit pursuant to Table B of Article 23 to reduce the minimum setbacks for buildings and structures of 15 feet from the edge of curb to allow (i) a minimum setback of 13 feet and 6 inches (13” 6”) along Major Streets as defined in Condition IV B 1 a.) in the MUP, measured from the predominant curb line, excluding pedestrian bump-outs; (ii) no minimum setback from other roadways or parking areas in the MUP;	Applicant has requested a waiver for site plan information for this submission.	Street layout has not yet been set and the setbacks can not be measured at this time.
d.) a special permit pursuant to Table A of Article 23 of the By-Laws to allow restaurants with outdoor seating in such locations as may be approved in Phase I Site Plan Review;	Applicant has requested a waiver for site plan	No streetscape or site plans have been prepared for this submission.

	information for this submission.	
e.) a special permit pursuant to Table A of Article 23 of the By-Laws to allow a bank with drive-up windows;	Applicant has requested a waiver for site plan information for this submission.	Submitted building plans do not indicate a drive-up window.
f.) a special permit pursuant to §198-2309.4.4 of the By-Laws to allow (1) aggregate area of wall signage for establishment size categories as follows:	Applies to submission	Zone IVA allows Categories B, C, D and E; Zones IV and VI allow Categories C, D, and E.
Size Category A - 586 square feet; Size Category B - 540 square feet; Size Category C - 504 square feet; Size Category D - 840 square feet;	Do not apply to submission	Categories of establishments not indicated in this submission
Size Category E - 6,384 square feet;	Applies to submission	Aggregate of signs proposed are less than total allowed (see table – Building/Tenant Signage)
with an aggregate of 6,860 square feet for all establishment size categories collectively	Applies to submission	Aggregate of signs proposed are less than total allowed (see table – Building/Tenant Signage)
b.) a modification of the off-street loading requirements of §198-507.1 of the By-Laws to allow loading for establishments in size Categories B, C, D and E without a loading dock, though any door of the establishment, unless otherwise specified in Phase I Site Plan Review as to Size Category B establishments.	Applies to submission	Submitted building plans do not include proposed locations for loading docks. This is acceptable for the indicated Size Category E establishments.
Consistency with Plans. Construction and development of the MUP shall be consistent with the plans approved in Phase I Site Plan Review, except for <i>de minimis</i> variations. [edited for space]	Applies to submission	The submitted building plans do not include a site layout, so site dimensions do not apply to this submission. However, the buildings are located where the Master Special Permit Exhibit A indicates the buildings. The building heights vary from the maximum allowed in the Special Permit. However, those values are considered an allowance and not a requirement.

B. Site Design and Layout 1. Streets, Ways, Driveways and Passageways (including sidewalks, crosswalks, mews, bike paths and public green).	Applies to submission	Compliance as noted below.
a.) Layout and location; relocation. ... Not less than two (2) mews shall be provided within each of Building Envelopes III, VI and VII to provide pedestrian access between parking areas and the applicable major streets and/or the Public Green; provided that if buildings are not constructed on both sides of any such access way, then the same may be constructed as a walkway rather than a mews.	Applies to submission	The submission indicates the location of one of the mews in building envelop VI, by the positioning of the two adjacent buildings. While the streetscape and landscape treatments are not shown, the building walls facing and defining the mews are described. The building design and architectural character are discussed below in this context.
2. “Zones” - Locations of Uses. The locations of allowed uses within the MUP shall be as shown on the plan entitled “Building Envelopes” and as set forth in Table A below.	Applies to submission	The proposed buildings are in compliance with the Building Envelopes shown in Exhibit A, and the Table A (see table – Building Program and Uses).
b.) Commercial.	Applies to submission	All uses of the submitted buildings are commercial uses.
(i) Definition of categories of interchangeable uses for establishments not requiring Phase II Site Plan Review. Each of the following separately (i.e., changes from one numbered category listed here to another are not interchangeable, except for changes between accessory uses and their principal uses) constitutes an MSP-defined category of interchangeable uses: [as below]	Applies to submission	Compliance as noted below.
(1) All office uses other than diagnostic medical laboratories appurtenant to offices of physicians and dentists and bank or financial institution with drive-up window.	Applies to submission	All uses of the submitted buildings are commercial uses for Category E uses and office.
(2) All retail uses other than the food store located in the Size Category A Establishment.	Applies to submission	All uses of the submitted buildings are commercial uses for Category E uses and office.
(3) All service establishments other than printers and similar shops and trades and dry cleaning or laundry establishment (as distinguished from “pick-up station”).	Applies to submission	All uses of the submitted buildings are commercial uses for Category E uses and office.
(4) All restaurants.	Applies to submission	All uses of the submitted buildings are commercial uses for Category E uses and office.

(5) All accessory uses.	Applies to submission	All uses of the submitted buildings are commercial uses for Category E uses and office.
(ii) The Applicant shall make reasonable efforts to include a Size Category B establishment in Building Envelopes VIII and III or IV, but not both III and IV with none in VIII, unless the Applicant presents an architectural design that minimizes the apparent size, scale and mass of one or both of such buildings in III and IV, as reasonably determined by the Board during Phase I Site Plan Review.	Applies to submission	<p>Building 1-A is within Building Envelope IV. The proposed floor and signage plans are divided and numbered for Category E uses.</p> <p>This item should remain open until subsequent submittals define the remaining buildings.</p>
(iii) During Phase I Site Plan Review, the Board reserves its right to require that buildings in Building Envelopes III and IV be located as close as possible to the minimum setback from Street "A". Where building setbacks are greater than 13 feet 6 inches from the predominant curb line, additional activity areas such as outdoor cafés and plazas, or landscaped relief and walkways shall be shown on plans presented during Phase 1 Site Plan Review, except for Building Envelope V.	Applies to submission	<p>Building 1-A is located in Envelop IV and is proposed at approximately the same location shown on the Master Special Permit diagram, Exhibit A. However, no site plan or street layout has been submitted to allow a determination of the resulting setbacks.</p> <p>This item should remain open until the site plan and street layout are submitted.</p>
(iv) To the extent applications for Phase I Site Plan Review and Approval as to each of Building Envelopes III, IV, VI, VII and VIII do not present for approval all buildings contemplated to be located within the applicable Building Envelope, the Applicant shall include generic representations of any such buildings not presented for approval within the applicable Building Envelope (the "Reserved Buildings"). When the Applicant presents any Reserved Buildings for Phase I Site Plan Review, such Phase I Site Plan Review shall be limited to the elements not previously presented and approved and shall be conducted as expeditiously as possible.	Applies to submission	<p>Buildings 1-B and 1-C are located within Envelope VI. The submission shows three storefronts for Building 1-B and five storefronts for Building 1-C. This is substantially what was shown on the Master Special Permit diagram, Exhibit A.</p> <p>The submission also includes a partial representation of the continuation of Building 1-C. This was not indicated on the Master Special Permit diagram, Exhibit A. There were four buildings in Envelope VI indicated on the Master Special Permit diagram, Exhibit A. The implication is that two of the buildings may be attached to continue the line of storefronts on Major Street "A." The previously indicated mews on Street "A" between the buildings will be closed off with this configuration. However,</p>

		<p>that is considered acceptable with the mews proposed in this submission between Buildings 1-B and 1-C, and the crossing Street “B” providing alternate pedestrian access.</p> <p>It is recommended that this change in building configuration be considered acceptable.</p> <p>The submission does not represent the remaining building in Building Envelope VI shown on Exhibit A in the same way as the continuation of Building 1-C. This remaining building will be necessary within Envelope VI as a separate structure related to the others to create the second mews called for under the MSP decision conditions Site Design and Layout, B.1.a.</p> <p>It is recommended that the Planning Board determine:</p> <ol style="list-style-type: none"> 1. Whether the application is in conformance with this condition as the last building indicated in Envelope VI is not represented in the same way as the extension of Building 1-C; and 2. Whether the last building in Envelope VI is one of the “Reserved Buildings” when it has not been represented in this submission. <p>This section notes that the Planning Board may approve elements of the Reserved Buildings in this Phase I Site Plan Review. It is recommended that the Board approve the connection of the buildings.</p>
3. Buildings a.) Design and architectural character.	Applies to submission	Compliance as noted below.
(i) Buildings in the MUP shall be designed in a traditional New England style and substantially in accordance §198-2309.2.1.1 and §198-2309.2.1.2 of the By-Laws, as determined by the Board in Phase I Site Plan Review.	Applies to submission	Discussion on conformance included in MUOD Bylaw sections above and in the table - Analysis of Conformance to section 2309.2.1- “authentic, New

		England regional character”
Every effort shall be made to design buildings and use materials and construction techniques to optimize daylight in building interiors, natural ventilation, and energy efficiency; to minimize exposure to and consumption of toxics and non-renewable resources; and to incorporate appropriate “green” design techniques.	Applies to submission	<p>Daylighting and ventilation options are summarized in the table Daylighting and Natural Ventilation.</p> <p>Proposed façade materials shown in the submission could incorporate recycled material.</p> <p>Other green design techniques are available to the developer to apply as appropriate.</p>
Board shall use as guidance (A) the building design guidelines promulgated by the Board for the Concept Plan Phase of the MUP application process and (B) the applicable illustrative portions of the plans submitted by the Applicant and referenced in Part I of this Decision. Although said portions of the plans and guidelines are not binding on the Applicant or the Board, they constitute a basis for the Board’s evaluation of plans and drawings submitted to the Board during Phase I Site Plan Review, and if the Board believes there to be a material departure from the style of architecture set forth in said portions of the plans and guidelines, then, at the Board’s request during Phase I Site Plan Review the Applicant shall explain and show the manner in which any particular elements identified by the Board in such request have precedents in authentic buildings or structures that the Applicant considers to conform to a traditional New England style and the Board shall determine whether the proposed design so conforms.	Applies to submission	<p>The building design guidelines are discussed below in a separate section.</p> <p>The discussion on the conformance with the applicable sections of the bylaw and the submissions is discussed above.</p> <p>The recommendation is to consider the suggestions and recommendations of this report before deciding on conformance.</p>
b.) Height. The maximum height of all buildings in the MUP shall be 35 feet, except where a greater height is allowed by this decision.	Applies to submission	Building 1-A is provided relief by Special Permit for greater height (42’). Buildings 1-B and 1-C are below the maximum height (see table –Building Heights).

c.) Envelopes. Subject to the limitations in Paragraph IV B 2 above, the buildings in the MUP shall be constructed within the building envelopes as shown on Exhibit A.	Applies to submission	The proposed Building 1-A is shown within Envelopes IV and IVA, and Buildings 1-B, and 1-C are shown within Envelope VI. The proposed uses are Size Category E and the proposed building program conforms to the regulations and decision (see tables – Building Program Uses and Areas, and Building-Street Setbacks).
5. Loading. a.) Establishment Size Categories B, C, D and E. Loading is permitted without a loading dock though any door of the establishment, unless otherwise specified in Phase I Site Plan Review as to Establishment Size Category B.	Applies to submission	At present, all of the Buildings are proposed with Size Category E uses. Consequently no loading dock is required.
E. Signage	Applies to submission	Compliance as noted below.
1. Compliance with By-Laws. All exterior signs in the MUP shall comply with the provisions of §198-2309.4 of the By-Laws, except where variations for such requirements are permitted by special permit(s) issued by the Board.	Applies to submission	The allowances for exterior signage have been further clarified by the MSP decision attachment, Signage Summary.
5. Tenant-Establishment Signs. a.) Wall signs.	Applies to submission	Compliance as noted below.
(i) Wall signs for commercial establishments in the MUP shall comply with the dimensional requirements of §198-2309.4.2 and §198-2309.4.3 of the By-Laws.	Applies to submission	<p>The proposed buildings show single sign, primary wall and secondary wall tenant signs which conform to the dimensional requirements under the Bylaws for Size Category C, D, and E uses.</p> <p>It is recommended that the Planning Board find the proposed tenant signage consistent with this standard.</p>
(ii) The aggregate area for signage for wall signs for each size category of establishment shall be as set forth in Paragraph 1 of the Signage Summary.	Applies to submission	The Size Category E uses have an allowed aggregate of 6,384sf, whereas total aggregate signage proposed is calculated to be 1,108sf. This portion proposed under the submission is equivalent to about 17.3% of the total aggregate allowed signage which is

		<p>equivalent to the portion of maximum building area. Consequently, this signage detail could be used consistently throughout the project. This analysis does not include miscellaneous signs.</p> <p>It is recommended that the Planning Board find the proposed tenant signage consistent with this standard.</p>
(iii) Primary and secondary walls for wall signs for purposes of § 198-2309.4.2 shall be designated during the Phase I Site Plan Review Process.	Applies to submission	<p>The primary and secondary walls are defined by the location of sign types on sheet A4.1 of the submission (see table – Building/Tenant Signage).</p> <p>It is recommended that the Planning Board find the walls designated as per the sign type.</p>
<p>b.) Blade, awning and identification signs.</p> <p>(i) The numbers and areas of blade, awning and identification signs for each size category of establishment shall be as set forth in Paragraph 2 of the Signage Summary.</p>	Applies to submission	<p>The blade and awning signs are indicated on the sheet A4.1. The identification signs (ID/Hours/Misc.) are not indicated on the plans.</p> <p>The recommendation is that the decision includes a finding that the Size Category Uses shown are allowed an additional 5sf of ID signs in addition to those signs shown in the Phase I Site Plan Review submission. Locations of these signs could be clarified for the building permit review with specific criteria.</p>
c.) Consistency with Plans. All tenant establishment signage within the MUP shall be designed and constructed substantially in accordance with plans approved in Phase I Site Plan Review.	Applies to submission	Appropriate as a condition of an approval.
MUOD Design Principles	Applies to submission	The building design principles apply as guidance in accordance with the conditions of the Master Special

		Permit decision. Compliance is noted below.
<p>2. Massing</p> <p>Summary of bylaw: Design according to traditional New England style and authentic New England regional character.</p>	Applies to submission	Discussion on conformance is found in the table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character”
<p>a. Building scale and shapes - A range of building size and roof forms is considered typical of the New England regional character of village centers that is consistent with the image and history of Wayland. Highly repetitive building forms, sizes or scales are not in keeping with this tradition. Variations in articulation of the facades can also add to the visual interest. However, whereas traditional centers were built with the buildings relating to one another, too highly varied building forms do not create an identity of place. The designers should consider both aspects in the design.</p>	Applies to submission	The discussion found in the table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character,” notes the repetitive elements of the base and the varied rooflines within the individual building forms of Building 1-B and 1-C.
<p>b. Hierarchy - The design of the buildings and location of uses should create distinctions in use and design. Commercial building elements should allow easy recognition of the uses, entrances and areas that are intended to invite and engage the public and reflect the more traditional New England main street of compact, closely-knit buildings that support a pedestrian environment. Residential buildings should be designed and articulated to suggest a scale appropriate to a suburban and rural area, and provide private views and spaces for the residents. Mixed-use buildings should provide combinations of the use indicators, but focus on the commercial and pedestrian aspects. Entrances, signs and windows area some of the key elements that should distinguish and differentiate the uses and spaces.</p>	Applies to submission	See discussion found in the table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character.”
<p>c. Historic context - “To a great extent, the personality and individuality of a town like Wayland is the result of its early history...” The Applicant is encouraged to examine the historic building patterns, materials, forms and planning principles that guided settlement in Wayland. The Wayland Public Library is a valuable example of a public building. Important historic buildings such as the Knights of Labor/Grange Hall and the Griffin House should be</p>	Applies to submission	See discussion found in the table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character.”

researched for elements applicable to the largest buildings. Beyond respect for indigenous architecture, applicants are also encouraged to research Wayland's historical past for events which may deserve commemoration. Refer also to the Attachment, Historical Images.		
d. Proportional building heights - Heights of buildings should be scaled in proportion to the existing and historic character of Wayland. Public buildings and institutions are usually the tallest structures. Traditional and unique architectural elements in the public buildings can establish these buildings as special places. Commercial buildings may typically be one story, but variations in the dimensions created by multiple stories and traditional roof outlines may appropriately add bulk to the building mass.	Applies to submission	Building heights are reviewed in table – Building Heights. Design of the rooflines is discussed in table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character.”
e. Buildings with individual integrity, not complexes - Traditional New England communities that should serve as a source for massing were created with separate buildings on individual lots. Rooflines should not imply the character of large connected complexes of uses within more massive, connected structures. While multiple uses and multiple storefronts are traditionally combined within a single building, each building appears to have its own integrity visible in its massing and the sense of distinction that was historically associated with different ownerships.	Applies to submission	Massing of the buildings is discussed in table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character.” The differences between Building 1-A and the other two buildings, 1-B and 1-C, highlight these issues.
f. Varied roof profiles - The rooflines should provide a varied profile against the sky as seen from the internal circulation network and as may be visible from surrounding areas.	Applies to submission	The rooflines are designed to be in keeping with this concept. However, the discussion in table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character,” notes the issues with the Building 1-B and 1-C rooflines and styles.
g. Simplicity of forms - The varied roofline should not be continuous in materials and color over multiple storefronts, unless clearly associated with the building façade. In general, roof forms should be simple and avoid excessive articulation. Avoid the use of applied roofs as merely decorative elements.	Applies to submission	The discussion in table - Analysis of Conformance to section 2309.2.1- “authentic, New England regional character,” notes the issues with the Building 1-B and 1-C rooflines and styles.
j. Mix of commercial uses - The Mixed Use Project should take full advantage of the MUOD bylaw that allows	Applies to submission	The proposal is in keeping with this concept.

multiple, small-scale commercial uses that will be integrated with one, medium-scale commercial use within the district. The careful use of signage to distinguish and engage is encouraged to accomplish this integration. Also refer to: 4. Signs, below.		
4. Signs	Applies to submission	See discussion of conformance below.
Summary of bylaw: According to a traditional New England town center; and integrated with the architectural design.		
a. Historic qualities – The signage should reflect the historic and architectural qualities of the buildings. Flush signs, blade/projecting signs, and awning signs can be used where appropriate.	Applies to submission	The proposal is in keeping with this concept.
c. Message - Signs should present a clear message and be compatible in terms of type, size, color, and material with the building they serve.	Applies to submission	The proposal is in keeping with this concept. However, greater variation in signage is discussed in the MUOD Bylaw sections above.
d. Placement - The style and placement should complement the architectural character of the building. Signage that covers or obscures significant architectural details of the building should be avoided.	Applies to submission	The proposal is in keeping with this concept.
e. Multiple storefronts - In a multiple storefront building, the signage should be of a size, location, material and color that relates harmoniously between bays.	Applies to submission	The proposal is in keeping with this concept. However, greater variation in signage is discussed in the MUOD Bylaw sections above.
End of Review Comments		

Summary Tables of Standards and Findings

Prepared by The Cecil Group

Building Program Uses and Areas

Building Designation	Envelope/ Zone	Allowed Building Categories	Use Designation (by floor plan and signage)	Proposed Uses	Total Floor Area	Floor Area w/o mechanical	<u>Findings</u>
Bldg 1-A	IV and IVA	B,C,D,E	7 – Category E spaces	Office	8,000sf	7,500sf	Conforms to use and dimensional standards
				Retail/Restaurant	7,963sf	6,800sf	Conforms to use and dimensional standards
Bldg 1-B	VI	C,D,E	3 - Category E spaces	Retail/Restaurant	7,769sf	6,635sf	Conforms to use and dimensional standards
Bldg 1-C	VI	C,D,E	5 – Category E spaces	Retail/Restaurant	10,715sf (partial structure)	9,108sf (partial structure)	Conforms to use and dimensional standards

Building-Street Setbacks

Building Designation	Envelope/ Zone	Maximum Setback from Main Street	Maximum Depth from Main Street	Minimum Setback	Proposed Setbacks	<u>Findings</u>
Bldg 1-A	IV and IVA	80ft	220ft	13’-6” from Street “A” and “D” 0’ on all other sides	Layout plan not yet completed	Conformance to be determined with later submission
Bldg 1-B	VI	20ft –straight ROW 60ft –curved ROW	220ft	13’-6” from Street “A” and “D” 0’ on all other sides	Layout plan not yet completed	Conformance to be determined with later submission
Bldg 1-C	VI	20ft –straight ROW 60ft –curved ROW	220ft	13’-6” from Street “A” and “D” 0’ on all other sides	Layout plan not yet completed	Conformance to be determined with later submission

Building Heights

Building Designation	Envelope/Zone	Proposed Maximum Height	Allowed Height	Allowed Height with 2 nd story office	Findings
Bldg 1-A	IV and IVA	38' - 0"	35'	42'	Conforms to dimensional standards Bldg 1-A could take advantage of additional height to 42', which is appropriate for its location as a prominent visual feature at the bend in Street "A"
Bldg 1-B	VI	31' - 6"	35'	42'	Conforms to dimensional standards Bldg 1-B could take advantage of additional height to 35'
Bldg 1-C	VI	30' - 6"	35'	42'	Conforms to dimensional standards Bldg 1-C could take advantage of additional height to 35'

Building Materials

Building Designation	Roof	Siding and Pilasters	Trim and Railings	Windows/Doors	Cornices	Building Base	Findings
Bldg 1-A	Architectural asphalt shingles	Fiber cement	Synthetic wood	Aluminum and glass systems	Glass fiber reinforced concrete	Stone	Materials appropriate dependent on choices of quality, textures and colors
Bldg 1-B	Architectural asphalt shingles	Fiber cement	Synthetic wood	Aluminum and glass systems	Glass fiber reinforced concrete	Stone	Materials appropriate dependent on choices of quality, textures and colors
Bldg 1-C	Architectural asphalt shingles	Fiber cement	Synthetic wood	Aluminum and glass systems	Glass fiber reinforced concrete	Stone	Materials appropriate dependent on choices of quality, textures and colors

Building/Tenant Signage

Building Designation	Number of Tenant Spaces	Number, Area and Location of Primary Tenant Signs	Number, Area and Location of Secondary Tenant Signs	Number, Area and Location of Blade Signs	Number, Location and Area of Awning signs	Total Aggregate Size	<u>Findings</u>
Bldg 1-A	4 – office 4 – retail/ restaurant	5 200sf max Primary walls located on North and West elevations	4 100sf max Secondary walls located on South and East elevations	5 80sf max All blade signs located on primary walls	6 – first floor 48sf max 3 – second floor 24sf max All awnings located on primary walls	412sf [80sf for office, 332sf for retail/restaurant)	Number and area of signs is conforming to the MUOD zoning regulations and special permit decision and within the total allowed aggregate signage area
Bldg 1-B	3 – retail/ restaurant	3 120sf max Primary wall located on North elevation	3 75sf max Secondary wall located on South elevation	3 48sf max All blade signs located on primary wall	10 80sf max Awnings located on primary and secondary walls	299sf	Number and area of signs is conforming to the MUOD zoning regulations and special permit decision and within the total allowed aggregate signage area
Bldg 1-C	5 – retail/ restaurant	5 200sf max Primary wall located on North elevation	5 125sf max Secondary wall located on South elevation	5 80sf max All blade signs located on primary wall	14 112sf max All awnings located on primary wall	477sf	Number and area of signs is conforming to the MUOD zoning regulations and special permit decision and within the total allowed aggregate signage area

Daylighting and Natural Ventilation

Building Designation	Openings and orientation	Implications for Daylighting and Ventilation	<u>Findings</u>
Bldg 1-A	<p>Maximum number and area of window and door openings is found on the West elevation facing the street. The least number and area is proposed on the East elevation, which are the secondary entrances to the first floor and the common hallway on the second floor.</p> <p>Transoms are indicated on first floor, front (West side) elevations. Awnings are also indicated on the West elevation.</p> <p>Windows are shown on the second floor, but it is not indicated if they are operable.</p>	The submission does not indicate proposal for daylighting and ventilation.	There is insufficient information in the submission to make findings regarding daylighting and ventilation.
Bldg 1-B	<p>Maximum number and area of window and door openings is found on the North elevation facing the street. East and West elevations include the least number and area of openings.</p> <p>Transoms at the door openings are indicated on the drawing, but materials are not specified.</p> <p>Awnings are added on the North elevation.</p>	The submission does not indicate proposal for daylighting and ventilation.	There is insufficient information in the submission to make findings regarding daylighting and ventilation.
Bldg 1-C	<p>Maximum number and area of window and door openings is found on the North elevation facing the street. East and West elevations include the least number and area of openings.</p> <p>Transoms at the door openings are indicated on the drawing, but materials are not specified.</p> <p>Awnings are added on the North elevation.</p>	The submission does not indicate proposal for daylighting and ventilation.	There is insufficient information in the submission to make findings regarding daylighting and ventilation.

Analysis of Conformance to section 2309.2.1- “authentic, New England regional character”

Building Designation	Discussion	<u>Findings</u>
Bldg 1-A	<p>The proposed building is multi-story building which includes multiple gables and upper story setbacks which are good at reducing the perceived bulk of the building, but overall represents a single building with its own integrity.</p> <p>Given the scale and location on Major Street “A,” the addition of the vertical element (tower) is an appropriate addition to the building. However, the problem with the design is that the cornice of this element merges with the adjacent roof slope (seen in the North elevation) in an awkward fashion. This could be resolved with full use of the allowed height granted by Special Permit. This Building Envelope was permitted for a 42ft height allowance whereas the proposed building is at a maximum height of 38ft. Use of the additional height allowance would separate the cornice from the adjacent roof line.</p>	<p>It is recommended that the vertical element be increased in height in accordance with the allowed maximum height granted by Special Permit.</p>
Bldg 1-B	<p>The proposed building is a collage of building forms, but losses its integrity where the underlying building is a repeated series of lines and elements narrowly applied under an implied roofline of multiple styles, and thereby showing a façade that is inconsistent with separate buildings found in authentic traditional architecture. The design suggests a single building on the lower level with a variation of unrelated roof types placed on top.</p> <p>Regarding the roof lines, the forms being shown are not being used in traditional ways.</p> <p>The widows walk element on the eastern side of the building is very derivative and not traditionally used on commercial buildings. Pitched roof commercial forms would be more appropriate.</p> <p>The gambrel roof on the western side at its spring point (North elevation) lands on top of the cornice. The proper expression is shown on the West elevation where the spring point is coincident with the cornice. An option would be the addition of a bay or dormer.</p> <p>The roofs and cornice lines overlap between implied buildings. This is not an authentic design in traditional New England architecture. The traditional designs of separate buildings do not show overlap of the cornices and roof lines beyond the common</p>	<p>It is recommended that the Planning Board consider the design to require modifications to be recognized as “authentic, New England regional character.”</p>

	property lines between the buildings. Images of traditional combined and separated rooflines are included below.	
Bldg 1-C	The same analysis of Building 1-C is that of Building 1-B, in that the base is a highly similar design with what appears to be an applied roof above that is not integrated with the base. The same issue of roof and cornice overlaps applies as one of the reasons for this appearance.	It is recommended that the Planning Board consider the design as requiring modifications to be recognized as “authentic, New England regional character.”

Images of traditional design in new and historic architecture:

1. Examples of historic buildings (nineteenth century) built on individual properties



2. Example of historic building designed as single building with multiple storefronts.



3. Example of modern building designed as single building with multiple storefronts.



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TO: Wayland Planning Board

CC: Wayland Board of Selectmen, Wayland Historical Commission, Wayland
Historic District Commission

DATE: July 18, 2008

RE: Phase I Design – New Town Center

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I will not be able to attend your next meetings when you discuss the architectural plans for buildings at the new town center; therefore I am taking the liberty to write down a few thoughts in hopes that they may be helpful. You have a very large and difficult task before you – the design of the proposed town center will make a lasting impression – will be with us for our life time – and will set the tone for the level of success. Thank you for your thoughtful consideration of all parts of the plans. I do think that the necessity of considering and acting on the plans piecemeal puts you at a tremendous disadvantage.

Presently I know that materials and some consistency in window types are the unifying factor and while you do not want to have all buildings alike they must relate to one another in some fashion. Most Main Streets that have evolved over a century or more may have buildings from different eras; however as the uses changed from domestic to commercial, buildings were treated in a similar fashion so that often fenestration (windows and doors) become a unifying factor. We have almost no Shingle Style and Queen Anne architecture in Wayland so that the idea of having variety by mixing up the window styles with some Queen Anne – irregular shapes – eyebrow windows – etc. would be totally inappropriate in my opinion. Look at old photographs of Cochrane where dwellings were converted to commercial space on the street level and new “modern” commercial blocks were inserted. In most cases the windows and doors fronting on the main façade – the street elevation – were altered to give more light and viewing area; hence the windows were changed to display commercial windows while the second-story windows would often remain the same or would be converted to double hung 2/2 sash. Regarding the entries – I wonder if some are slightly recessed which may work in the single-story blocks so that the display window wraps into the entrance.

I think it is inappropriate to ask for a variety of styles or elements of different styles mixed together as it can so quickly appear to be a smorgasbord or a catalogue sample. It

is a very fine balance to integrate periods of architecture and particularly to make the buildings appear to be organic rather than a stage set.

Building 1-A: I agree with comments about this building – the slightly projecting gabled elements, the tower, and the wall dormers (second-story windows that appear to rise above the eave line) break up the large hipped roof. The single-story wing on each end also helps to balance the long two story block. I also agree that raising the height of the tower contributes to the design.

Building 1-B: I understand the intent of three roof changes but I do not believe that it is successfully executed here. The large hipped roof topped with a balustrade will be even more large and overpowering without the balustrade (although an appropriate omission due to context of this building) would benefit from the introduction of some elements to break up the roof mass. I also am not sure about the success of the gambrel roof with large cross gables. Of course this style was used in domestic architecture in the 18th century (Dutch Colonial) and again in the early 20th century (Colonial Revival with gambrel roof) – for dwelling (particularly in early subdivisions) and barns. Generally dormers would have been shed roof, not gabled roof. Here the cross gables (gambrel in three directions) are overpowering and with no windows in each gable end, except for the three small window vents in the west elevation, the balance is more compromised making the gambrel roofs very overpowering and pretty unsuccessful in my opinion. Further, the single-story section is small enough to appear squeezed between the two top heavy sections of the building. Is this single story section set back slightly so that the cornice of the gambrel section wraps the corner or does it just end on the building?

I know that dormers add to the construction cost but if that is the only way to break up the roof mass I really believe that it will be well worth the addition funds.

Building 1-C: I think that this building, like 1-A, is more successful as the roof of each section does not dominate the whole. I assume that the single-story commercial blocks are slightly receding (which is a good thing) and I wonder what the nature of the cornice brackets on those blocks is. The MSP schematics showed a more pronounced cornice on the single-story blocks – if they are treated as a false front at the roof line I suppose that either will work. Perhaps differentiation in the window treatment could be done by adding muntins to the transom lights of either all the single-story blocks or of the hipped and gabled roof block. By this I mean that the transom lights are divided into more than two lights over each large street window. Of course we have to leave this up to the architects as design by committee can be a big mistake.

An important feature of the project will be the color scheme which will contribute to variety in the buildings. I assume that at some point you will be approving a palette from which the developers and tenants can choose.

Many thanks for any consideration of these comments. I do hope that you do not find them off-putting.