

TWENTY WAYLAND, LLC

c/o KGI Properties, LLC
Suite 9 – 260 Boston Post Road
Wayland, MA 01778

June 24, 2008

Wayland Planning Board
Wayland Town Building
41 Cochituate Road
Wayland, MA 01778-2614
Attention: Joseph Laydon, Town Planner

Re: Site Plan III
Phase I Permit Application
Town Center Project
400 Boston Post Road
Wayland, MA

Dear Mr. Laydon;

Pursuant to applicable provisions in the Mixed Use Overlay District zoning (§ 198-2300) and the Mixed Use Overlay District Rules and Regulations as amended through April 24, 2008, this document and twenty-five (25) copies of the design drawing are submitted for Phase I Site Plan Review. The drawings are titled: "Site Plan III Approval Submission, dated June 24, 2008, consisting of thirteen drawings and prepared by Arrowstreet Architects." The cover sheet provides the drawing list. The application form is provided in Attachment A.

This submittal is the solely for the architectural design components of Buildings 2A, 2B, 2C, 2D, 2E, 2F and 2G.

As we discussed with the Planning Board, other Phase I Site Plan applications will provide additional building and site information for the board to review. This application provides waiver requests from the regulations primarily to addresses the phased submittal approach. Accordingly we believe it is in the public's interest to grant the waivers.

The following information is required by the board's rules and regulations.

1. Checklist summary of required submittal information (§ 304-12 C(5)).

See Attachment B.

2. Outline of Proposed Buildings. (§ 304-12 C(5)b [1]).

This information is provided on the design drawing but the following table summarizes the anticipated building program.

Use	Gross SF Per Zoning
<u>Residential</u>	Will not exceed 165,000 sf
<u>Office Use</u>	
Site Plan I Application	7,500
Site Plan III Application	2,500
Total:	10,000
<u>Retail/Restaurant Uses</u>	
Site Plan I Application	22,543
Site Plan III Application	72,407
To Be Designed:	60,050
Total	155,000

3. Document How The Application Complies With The MSP Decision (§ 304-12 D (1)).

Wayland Town Center is a mixed-use project designed to embody the most desirable characteristics of New England and the Town of Wayland as realized in the design of the retail buildings shown in this submittal.

The buildings have been designed to utilize the characteristics of a traditional New England village by using a variety of roof forms, articulated storefronts with awnings, pilasters and varying window types and sizes. We have also broken down the massing of the buildings to look as if they were built as a series of individual buildings and not one long continuous block.

All buildings being submitted use traditional clapboard as their main material enhanced with trim, panel, pilaster and rail details which are in keeping with the feel of a town center. They also are located within the proposed "building envelopes" as defined in the Master Special Permit, and are in compliance with the MSP decision regarding height limits.

The addition of historically styled light fixtures both on the streets and the facades, in conjunction with signage that is architecturally compatible with the retail buildings, helps articulate the streetscape serving to further reinforce the pedestrian-friendly scale.

4. Submit Information on the Application Phasing and Schedule (§ 304-12 D (2)).

It is important to understand the Phase I Site Plan submittal approach we have agreed with the Planning Board. A number of applications will be provided that relate to the residential, retail, and office components. Once each application is approved then no further planning board review is anticipated unless required pursuant to § 2304.4.5.

Based on the above, the current anticipated submittal schedule is as follows:

Application	Description	File
Site Plan I	Architectural	May 12, 2008
Site Plan II	Site Plan	June 9, 2008
Site Plan III	Architectural	June 24, 2008
Site Plan IV	Grocery Store	June 24, 2008
Site Plan V	Landscaping	July 7, 2008

5. Submit Drainage Report (§ 304-12 D (3)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

6. Revisions to the MSP Approved Stormwater O&M Plan (§ 304-12 D (4)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

7. Explain compliance with MDEP Stormwater Regulations (§ 304-12 D (5)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

8. Provide Landscaping and Maintenance Plan (§ 304-12 D (6)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

9. Describe Proposed Signage (§ 304-12 D (7)).

The proposed signage is depicted on Drawing A4.2 to A4.4 and will comply with the MSP decision.

10. Describe proposed lighting plan (§ 304-12 D (8)).

Compliance with the site lighting requirements is a function of the building exterior lights and the site lighting. Details on both of those components will be provided in subsequent Phase I Site Plan applications. Therefore such information is not provided herein and a waiver from this requirement for this application is requested.

11. Describe the proposed waste management practices (§ 304-12 D (9)).

This information is not applicable for this submittal. Therefore a waiver from this requirement for this application is requested.

12. Describe how the design includes "green design standards".

See Attachment C

Thank you for your consideration. Please do not hesitate to contact me with any questions or concerns.

Sincerely,

TWENTY WAYLAND, LLC

By: Francis X. Dougherty
Francis X. Dougherty, authorized representative

Site Plan III Application
Wayland Town Center
June 24, 2008
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ATTACHMENT A – APPLICATION FORM



TOWN OF WAYLAND
TOWN BUILDING
41 COCHITUATE ROAD
MASSACHUSETTS, 01778

PLANNING BOARD

MIXED-USE OVERLAY DISTRICT APPLICATION

Date of Application Submittal: *Site Plan III – June 24, 2008*

Application for:

- ☐ Concept Plan ☐ Master Special Permit (MSP) ☐ MSP Modification
☒ Site Plan ☐ Site Plan Modification ☐ Other (see narrative)

LOCATION OF SUBJECT PROPERTY

400 Boston Post Road 023 5L-D,E,G,H,I,J,K,L, & M
and Street Name Plate Parcel Year Built

OWNER/ APPLICANT CONTACT INFORMATION

Frank Dougherty,
Authorized Representative (617) 357-9300 (617) 357-9990
Name Telephone Number Fax

Twenty Wayland, LLC 45 Broad St. Boston MA02109 f.dougherty@kgiproperties.com
Address Email

LEAD CONSULTANT CONTACT INFORMATION (if different from owner information)

Name

Telephone Number

Fax

Address

Email

ATTORNEY/AGENT INFORMATION (if applicable)

Adam Weisenberg

(617) 570-1473

(617) 523-1231

Name

Telephone Number

Fax

Goodwin Procter LLP Exchange Place Boston, MA 02109
aweißenberg@goodwinprocter.com

Address

Email

NARRATIVE (describe proposal)

We request that the Planning Board find, as we believe will be apparent from our submission, that the proposed Project meets the applicable criteria for approval, including the requirements that the Project design, as depicted in the Phase I Site Plan Application, is in compliance with MUP Master Special Permit

I hereby request a meeting/hearing before the Planning Board with reference to the above application, with supporting documentation submitted, and certify that the proposed work is authorized by the Owner of Records and I have been authorized by the owner to make this application as the agent.

Francis X. Daugherty
Authorized Agent/Owner

6/24/08
Date

OFFICE USE ONLY:

Comments: _____

Reviewed by: _____

Planning Board:

Date: _____

Received and Recorded by the

Fee Paid: _____

NO FEE REQUIRED

FXD

Signature of Planning Board/ Agent

Site Plan III Application
Wayland Town Center
June 24, 2008
Page 9 of 19

ATTACHMENT B – COMPLIANCE CHECKLIST

ATTACHMENT B – SUBMITTAL CHECKLIST
PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(1)a	Plan Sheets No Larger Than 24" x 36"	Y	
C(1)b	Plans to have cover sheet, title block, index of drawings, and legend of symbols.	Y	Legend of Symbols not required per architect for Site Plan I.
C(1)c	Each plan to have title block, North Arrow (civil drawings) and scale of measurement.	Y	
C(1)d	Each plan to be stamped and certified by appropriate professional	Y	
C(1)e	Plans to show existing and proposed site grading.	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(1)f	Base plans to have layers of information	Y	
C(2)	Plans to have suitable scale. A site plan shall be prepared for recording.	N	Need Planning Board agreement on what should be on the site plan.
C(3)	Submit multiple sheets with drawing index	Y	
C(4)	Cover sheet to have Planning Board endorsement provision	Y	
C(5)	Provide submittal checklist	Y	
C(5)a[1]	Plans to include locus map	Y	

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)a[2]	One Sheet to depict typical symbols	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[3]	Plans to have lot lines, abutters, and property lines	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[4]	Existing and proposed easements shall be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[5]	Existing and proposed private and public roads, pavement, and other features	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[6]	Zoning district should be shown on plans	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[7]	Existing and proposed topography with benchmarks to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C5a[8]	Open space areas to be shown on one sheet	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[9]	Wetlands and Buffer Area shall be shown on one sheet	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)a[10]	Watercourses and water bodies shall be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)a[11]	Special site features shall be shown on at least one drawing	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[1]	Show outline of existing and proposed structures	Y	Proposed footprints are shown, existing footprints are not shown for architectural submittal.
C(5)b[2]	Show building design, elevations, materials, and heights	Y	
C(5)b[3]	Table summarizing the gross floor area for retail, office, municipal, and residential uses	Y	See written submittal information.
C(5)b[4]	Show setbacks to MUOD zoning or MSP decision	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[5]	Existing and proposed signs	Y	See narrative.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)b[6]	Existing and proposed lighting to be shown	N	Existing lighting will not be shown as it will be demolished. Proposed lighting will be shown in subsequent submittals. Waiver for this submittal is requested. Information not required for architectural submittal as described in the narrative for § 304-12 (D)8.
C(5)b[7]	Proposed landscaping, buffer area plantings, and other screening elements.	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[8]	Outdoor storage area to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[9]	Underground storage containers to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[10]	Existing and proposed sidewalks, walkways, and driveways to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)b[11]	Existing and proposed parking facilities including landscaped areas and related information to be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)c[1]	Stormwater design and detail information should be provided	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[2]	Erosion Control devices should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[3]	Water services should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[4]	Proposed hydrants should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[5]	Underground utilities with access covers should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[6]	Solid waste disposal facilities should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)c[7]	Existing and Proposed on-site sewage disposal facilities should be shown	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)d[1]	Provide details of drainage and road construction materials	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[2]	Show details on trees and planting areas	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[3]	Show details on parking spaces	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[4]	Show outdoor structures and lighting	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)d[5]	Show erosion and sedimentation controls	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[1]	Show landscaping, plantings, buffers area plantings	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[2]	Show perimeter wooded areas	N	Waiver for this submittal requested. Information not required for architectural submittal.
C(5)e[3]	Tabulate open space, building coverage, and upland areas	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
C(5)e[4]	Show screening and buffers	N	Waiver for this submittal requested. Information not required for architectural submittal.
D (1)	Document how the application complies with the MSP decision	Y	See narrative.
D(2)	Submit information on application phasing and how the final plans will be integrated	Y	See narrative.
D(3)	Drainage calculations should be provided	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(4)	Any revisions from the MSP stormwater O&M Plan should be provided	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(5)	Explanation on how the application complies with the DEP Stormwater regulations	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(6)	Description on the landscaping and maintenance plan.	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(7)	Description of the proposed signage	Y	See narrative.
D(8)	Proposed lighting plan descriptions	N	Waiver for this submittal requested. Information not required for architectural submittal.

PHASE I SITE PLAN SUBMITTAL CHECKLIST
MIXED USE OVERLAY DISTRICT (§ 304-12)
WAYLAND, MASSACHUSETTS

SITE PLAN III APPLICATION

REFERENCE	ITEM	SUBMITTED?	COMMENT
D(9)	Description on the proposed waste disposal practices	N	Waiver for this submittal requested. Information not required for architectural submittal.
D(10)	Applicant is encouraged to submit more information	N	None required.

ATTACHMENT C – EFFECIENCY OF DESIGN



Efficiency of Design

[2309.12]

Sustainable Design Philosophy [from MEPA FEIR report]:

“... the Proponent and the Project Design Team will continue to evaluate and assess the design to determine the ability to include new technology and/or to revise the site orientation to reduce environmental impacts, accommodate future transportation needs and address sustainability in all aspects of the site and building design.”

- Low Impact Development [LID]: minimize disturbance / compact design
[building scale and location]
- Energy efficiency: lighting, air conditioning and mechanical systems
- Water efficiency: water-saving plumbing fixtures
- Materials: encourage products with recycled content or rapidly renewable; regionally manufactured
- Recycling: implement waste management systems [tenants]
- Indoor Air Quality: Low-emitting [VOC] materials, chemical / pollutant control, daylighting, thermal comfort, controllability

WAYLAND TOWN CENTER

400 BOSTON POST ROAD – WAYLAND, MASSACHUSETTS

SITE PLAN III APPROVAL SUBMISSION

DRAWING LIST

● NEW ISSUE ● REVISED ISSUE ○ ISSUED WITH NO CHANGES

ARCHITECTURAL

	SITE PLAN I APPROVAL SUBMISSION 5/2/2008	SITE PLAN II APPROVAL SUBMISSION 5/10/2008	SITE PLAN III APPROVAL SUBMISSION 6/24/2008				
A0.0 Cover Sheet	●		●				
A1.1 Orthographic Map	●		○				
A1.2 Site Plan	●		●				
A2.1 Building 1-A Floor Plans and Roof Plan	●						
A2.2 Building 1-B Floor Plan and Roof Plan	●						
A2.3 Building 1-C Floor Plan and Roof Plan	●						
A3.1 Building 1-A Elevations	●						
A3.2 Building 1-B Elevations	●						
A3.3 Building 1-C Elevations	●						
A3.4 Building 2-A Elevations			●				
A3.5 Building 2-B Elevations			●				
A3.6 Building 2-B Elevations			●				
A3.7 Building 2-C & 2-D Elevations			●				
A3.8 Building 2-F Elevations			●				
A3.9 Building 2-E & 2-G Elevations			●				
A3.10 Building 3-A Elevations							
A3.11 Building 4-A Elevations							
A3.12 Building 5-A Elevations							
A4.1 Signage Elevations	●						
A4.2 Signage Elevations			●				
A4.3 Signage Elevations			●				
A4.4 Signage Elevations			●				
A5.1 Streetscape Elevations	●						
A5.2 Streetscape Elevations			●				
A5.3 Streetscape Elevations							

CIVIL

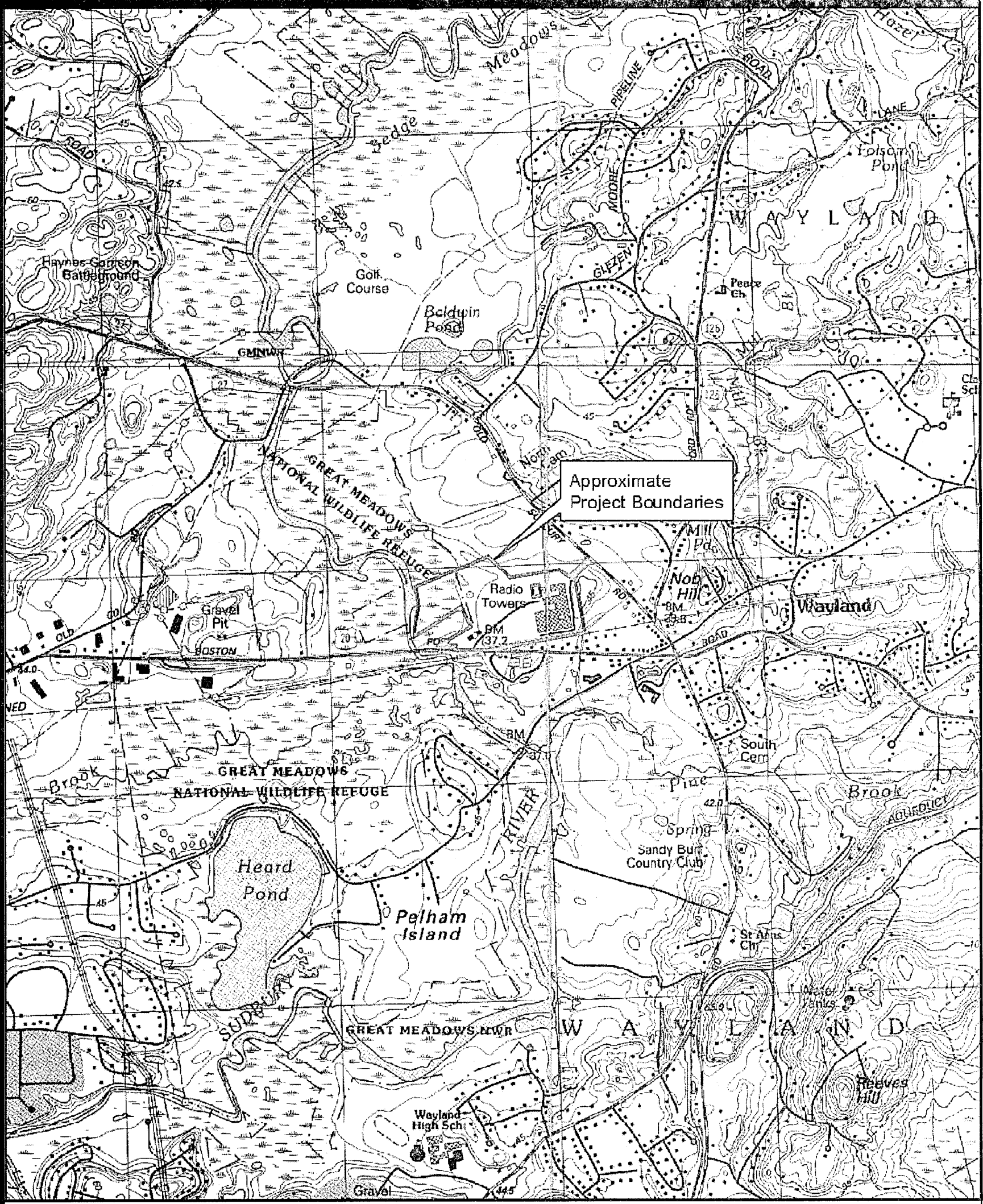
C-0	Abbreviations, Legend and Notes Sheet		●				
SV-1	Existing Conditions Survey (VHB)		●				
I-1	ALTA/ACSM Land Title Survey (VHB)		●				
C-1	Overall Site Plan		●				
C-2A-2D	Demolition and Erosion Control Plan		●				
C-3A-3D	Grading and Drainage Plan		●				
C-4A-4D	Utility Plan		●				
C-5A-5D	Parking and Traffic Control Plan		●				
C-6	Erosion Control Details		●				
C-7	Drainage Details		●				
C-8	Utility Details I		●				
C-9	Utility Details II		●				
C-10	Subsurface Sewage Disposal System Details		●				
C-11	Fast System Details		●				
C-12	Layout and Materials Details I		●				
C-13	Layout and Materials Details II		●				

ELECTRICAL

ES-1	Legend, Notes and Lighting Fixture Schedule						
ES-2	Electrical Utility Site Plan – Demolition						
ES-3	Electrical Utility Site Plan – New Work						
ES-4	Electrical Site Plan – Lighting						
ES-5	Miscellaneous Details – Sheet No. 1						
ES-6	Miscellaneous Details – Sheet No.2						

LANDSCAPE

L-1	Landscape Plan						
L-2	Landscape Detail Plan						
L-3	Buffer Planting Plan						
L-4	Street Tree Planting Plan						
L-5	Landscape Sections and Plant List						
L-6	Landscape Site Details						
LH1	Landscape Plan						
LH2	Landscape Detail Plan						
LH3	Site Materials Design Palette 1						
LH4	Site Materials Design Palette 2						
LH5	Site Materials Design Palette 3						
LH6	Prototypical Sections						
LH7	Buffer Planting Section & Elevation						



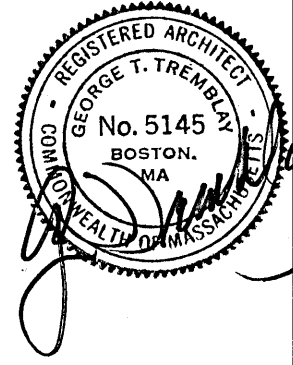
USGS LOCUS MAP

Scale: 1" = 1500'
0 750 1500 3000'

PROJECT TEAM

OWNER/DEVELOPER	TWENTY WAYLAND, LLC 260 Boston Post Road, Suite 9 WAYLAND, MA 02109
ARCHITECT/MASTER PLANNER	ARROWSTREET 212 ELM STREET SOMERVILLE, MA 02144
CIVIL ENGINEER	RJ O'CONNELL & ASSOCIATES, INC. 600 UNICORN PARK DRIVE WOBURN, MA 01801
LANDSCAPE ARCHITECT	CBA LANDSCAPE 212 ELM STREET SOMERVILLE, MA 02144
SITE LIGHTING	ID GROUP 38 CHAUNCY STREET BOSTON, MA 02111
TRAFFIC	R. D. VANASSE & ASSOCIATES 10 NEW ENGLAND BUSINESS CENTER DR. ANDOVER, MA 01801

DATE SITE PLAN ENDORSED: _____



24 JUNE 2008



ARROWSTREET

Architecture
Urban Design
Planning
Graphics and Interiors

212 Elm Street Somerville MA 02144
617.623.5555 fax:617.625.4646
www.arrowstreet.com

RJ O'CONNELL
& ASSOCIATES, INC.
Civil Engineers & Land Planners
600 UNICORN PARK DRIVE
WOBURN, MA 01801
781-938-0570 / FAX: 781-938-0031

Proponent:

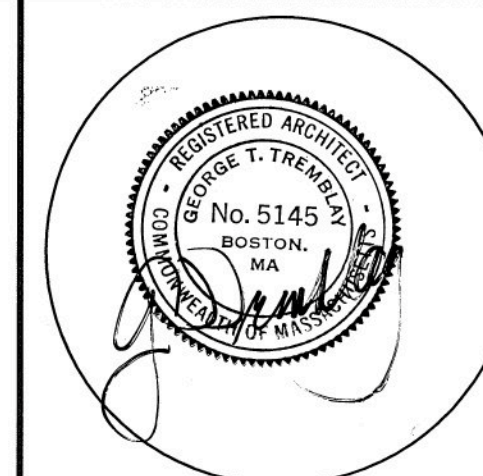
Twenty Wayland, LLC
260 Boston Post Road, Suite 9
Wayland, MA 01778

Project:

Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

Site Plan III Approval
Submission

Project No: 06065
Drawn By: RPK/NM
Checked By: MW/EM
Issue Date: 24 JUNE 2008
Revision Date:



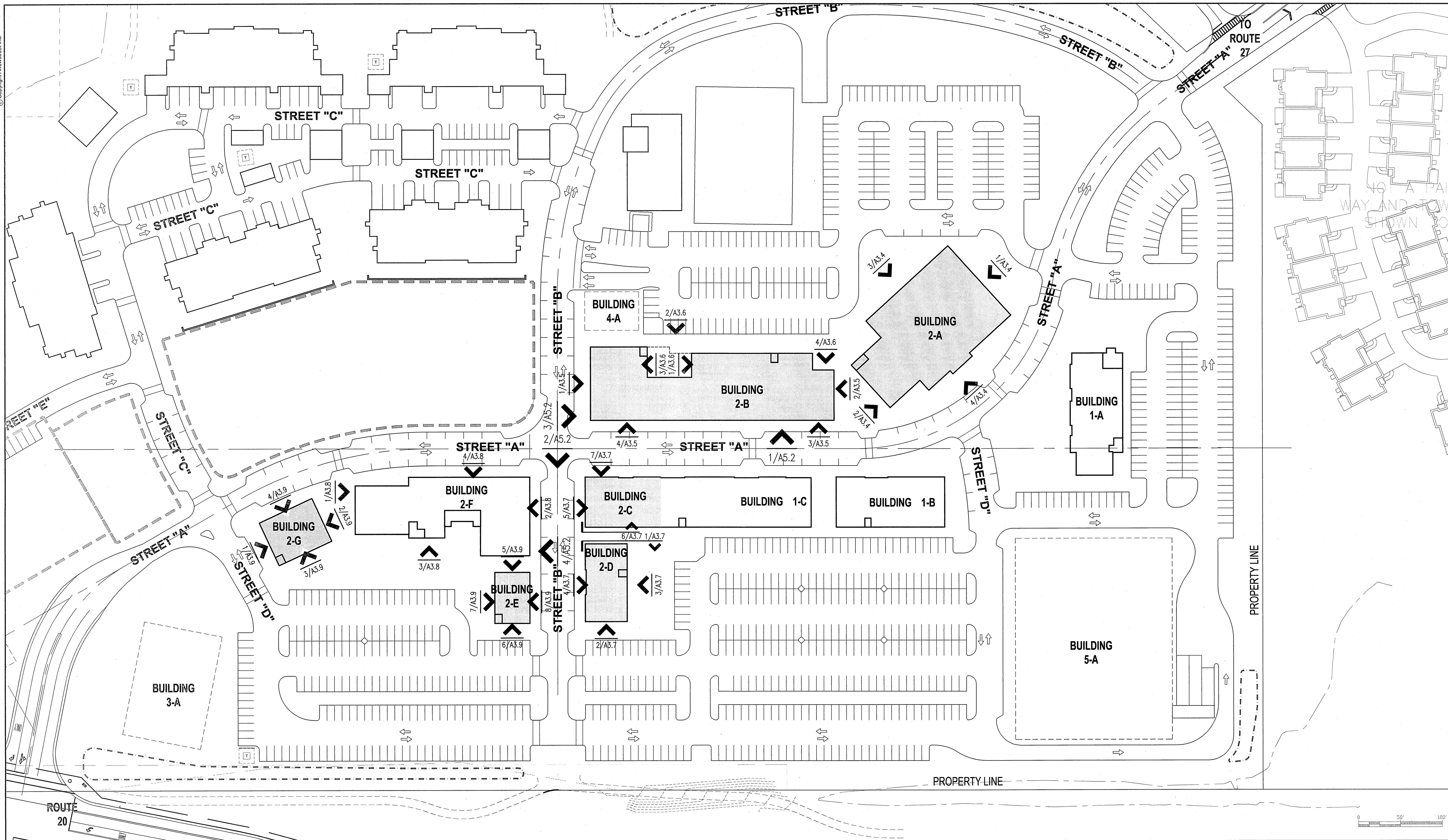
Drawing Title:

Orthographic Map

Drawing Number

SCALE 1"=1000'-0"

A1.1



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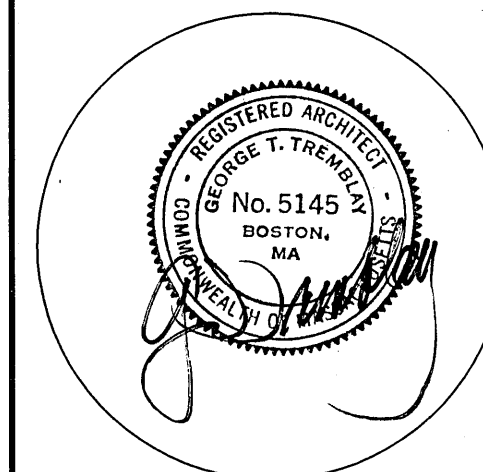
RJ O'CONNELL
 & ASSOCIATES, INC.
 Civil Engineers & Land Planners
 600 UNICORN PARK DRIVE
 WOBURN, MA 01801
 781-938-0570 / FAX: 781-938-0031

Proponent:
Twenty Wayland, LLC
 260 Boston Post Road, Suite 3
 Wayland, MA 01778

Project:
Wayland Town Center
 400 Boston Post Road
 Wayland, Massachusetts

**Site Plan III Approval
 Submission**

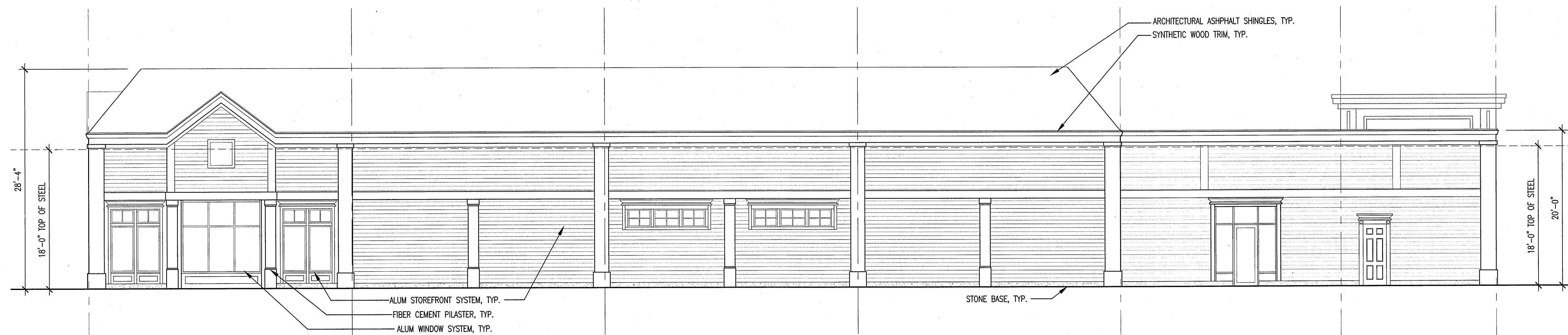
Project No: 06065
 Drawn By: dmb
 Checked By: MW/EM
 Issue Date: 24 JUNE 2008
 Revision Date:



Drawing Title:
Site Plan
 Drawing Number
A1.2
 SCALE 1"=50'-0"



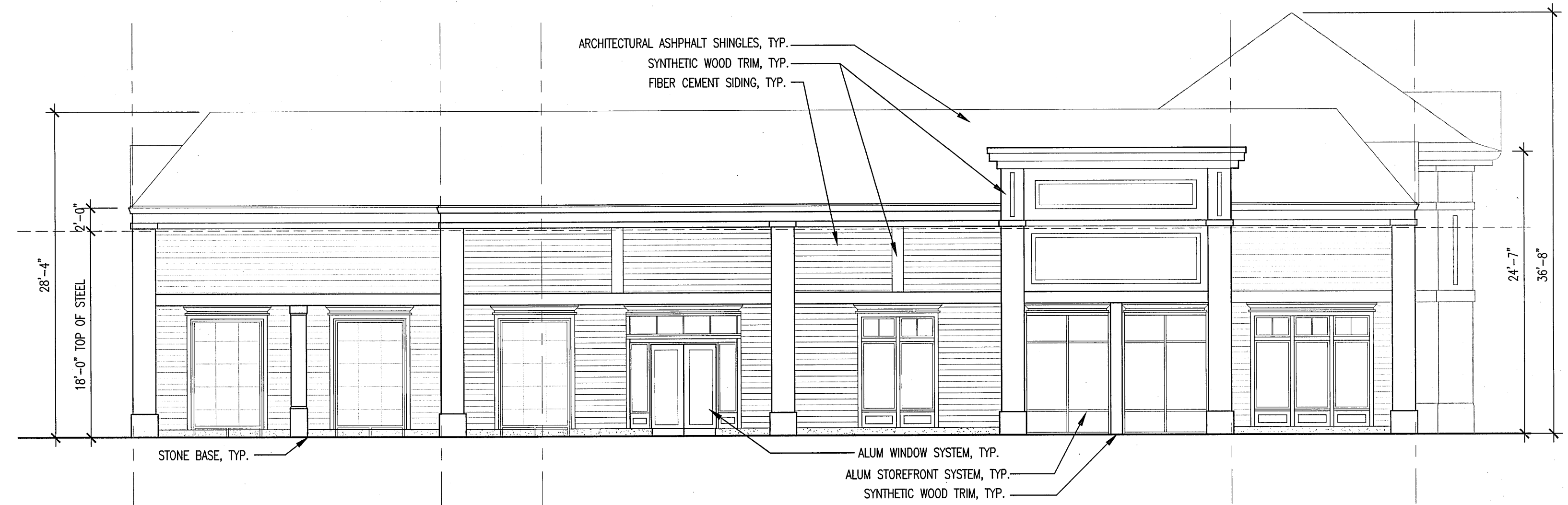
4 South Elevation
1/8" = 1'-0"



3 North Elevation
1/8" = 1'-0"



1 East Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"

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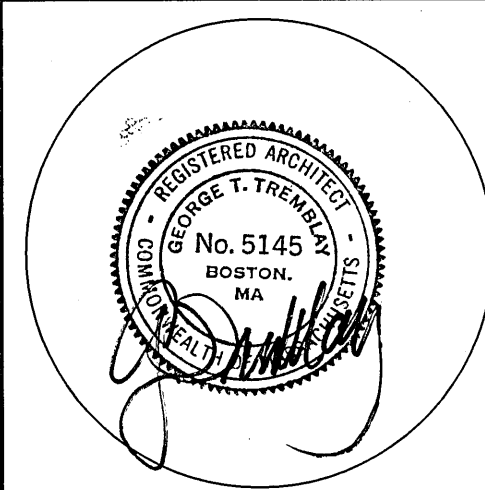
**RJ O'CONNELL
& ASSOCIATES, INC.**
Civil Engineers & Land Planners
600 UNICORN PARK DRIVE
WOBURN, MA 01801
781-938-0570 / FAX: 781-938-0031

Proponent:
Twenty Wayland, LLC
260 Boston Post Road, Suite 9
Wayland, MA 01778

Project:
Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

Site Plan III Approval
Submission

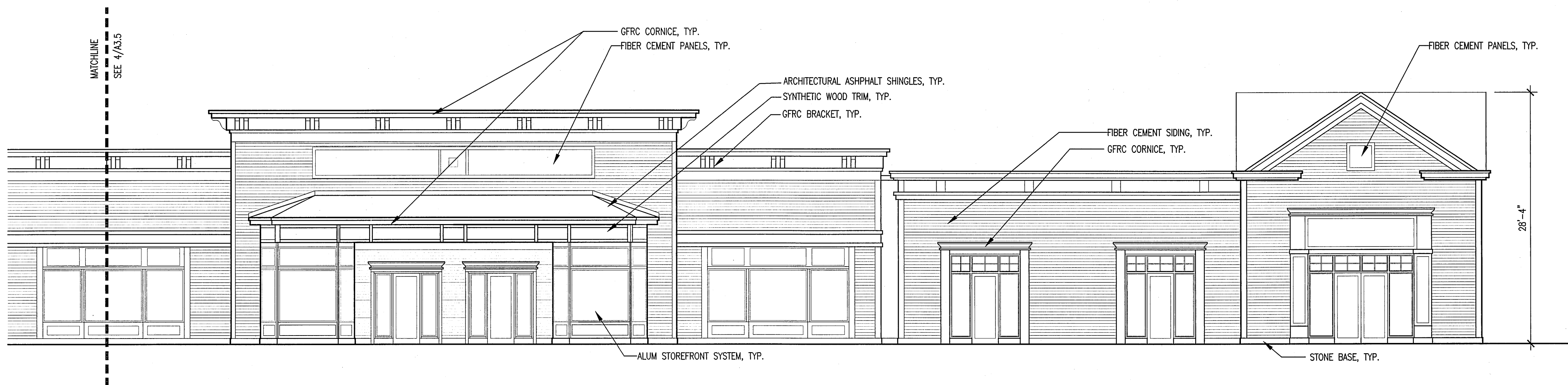
Project No: 06065
Drawn By: dmb
Checked By: MWIEM
Issue Date: 24 JUNE 2008
Revision Date:



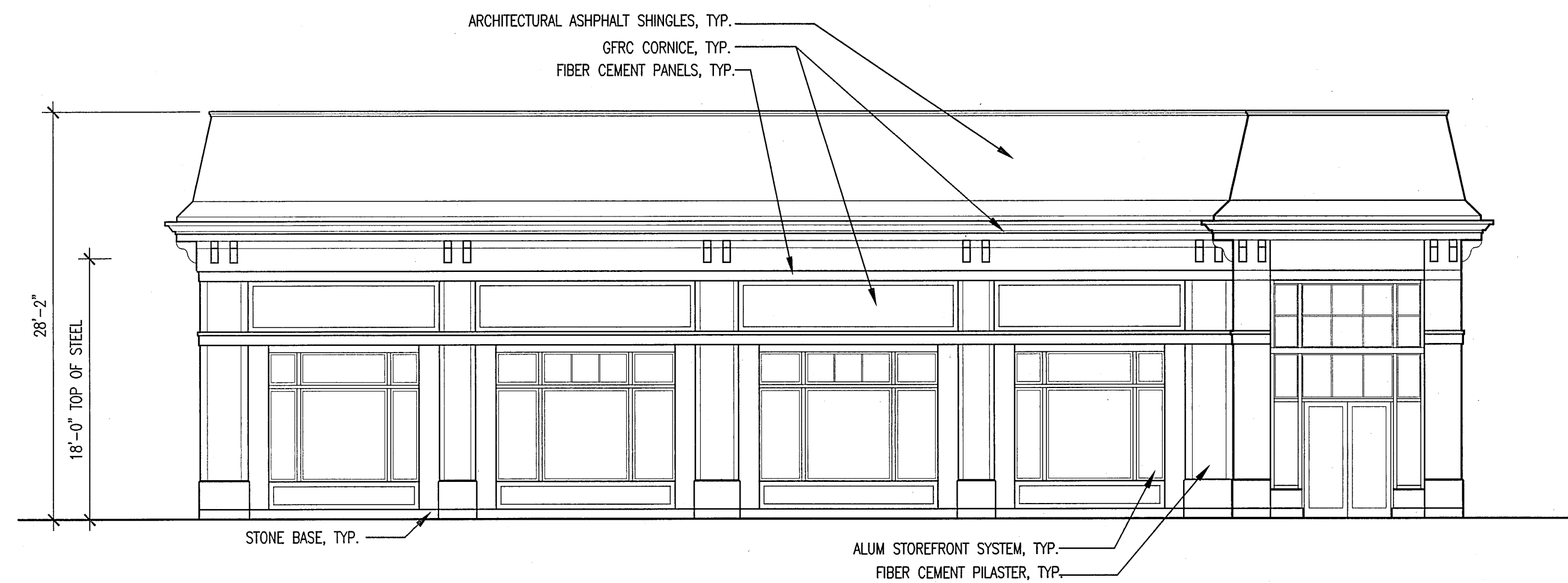
Drawing Title:
**Building 2-A
Elevations**
Drawing Number
A3.4
SCALE 1/8"=1'-0"



4 South Elevation - Half
1/8" = 1'-0"



3 South Elevation - Half
1/8" = 1'-0"



1 West Elevation
1/8" = 1'-0"



2 East Elevation
1/8" = 1'-0"

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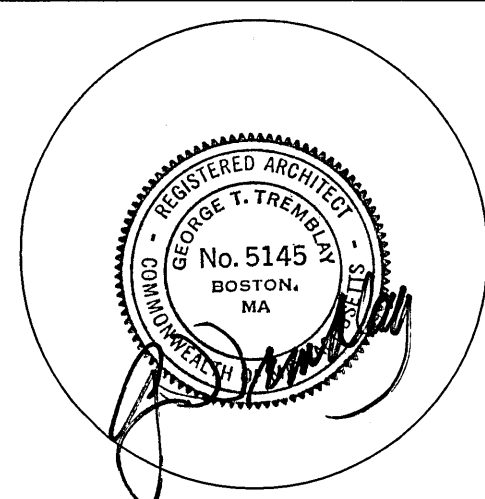
**RJ O'CONNELL
& ASSOCIATES, INC.**
Civil Engineers & Land Planners
600 UNICORN PARK DRIVE
WOBURN, MA 01801
781-938-0570 / FAX: 781-938-0031

Proponent:
Twenty Wayland, LLC
260 Boston Post Road, Suite 9
Wayland, MA 01778

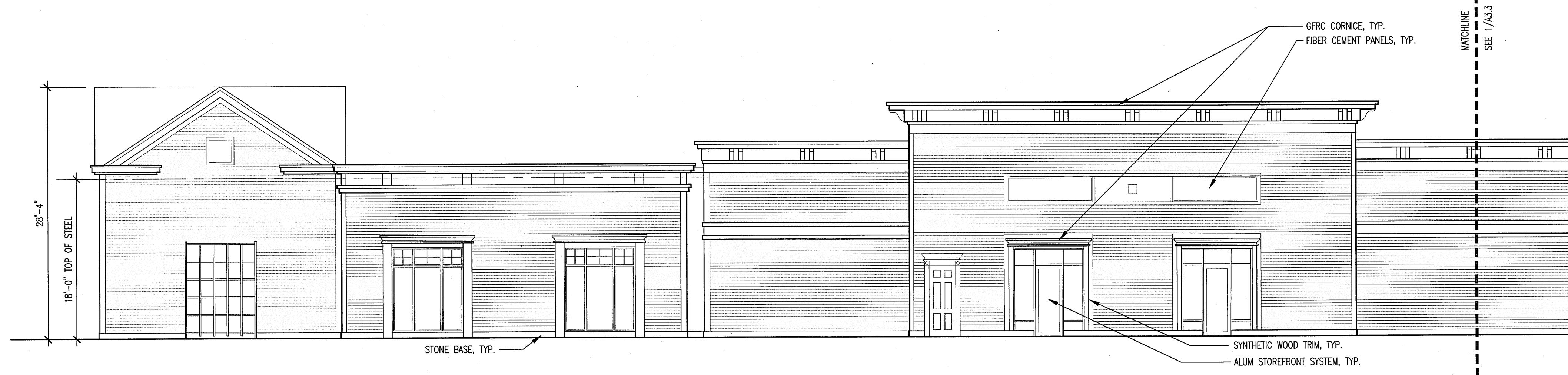
Project:
Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

Site Plan III Approval
Submission

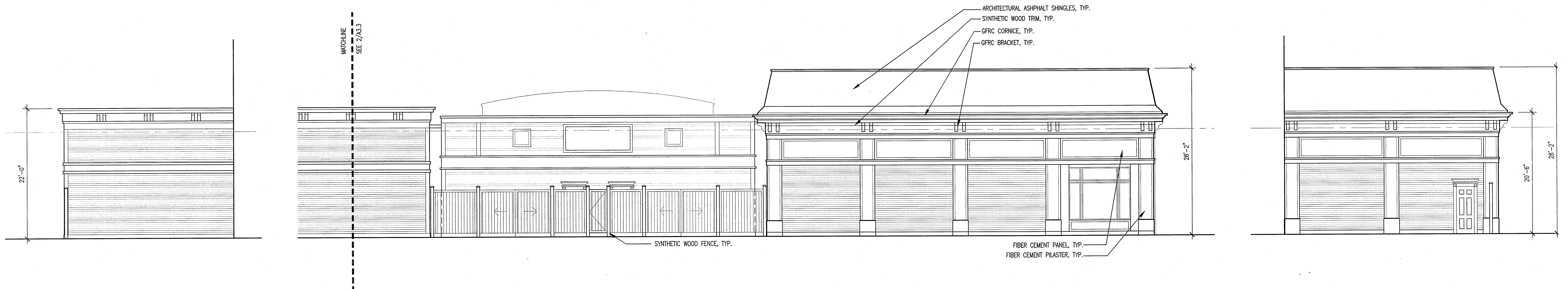
Project No: 06065
Drawn By: RM
Checked By: MWIEM
Issue Date: 24 JUNE 2008
Revision Date:



Drawing Title:
**Building 2-B
Elevations**
Drawing Number
A3.5
SCALE 1/8"=1'-0"



4 North Elevation - Eastern Half
1/8" = 1'-0"



1 Partial West Elevation - Bldg N7
1/8" = 1'-0"

2 North Elevation - Western Half
1/8" = 1'-0"

3 Partial East Elevation - Bldg N3
1/8" = 1'-0"

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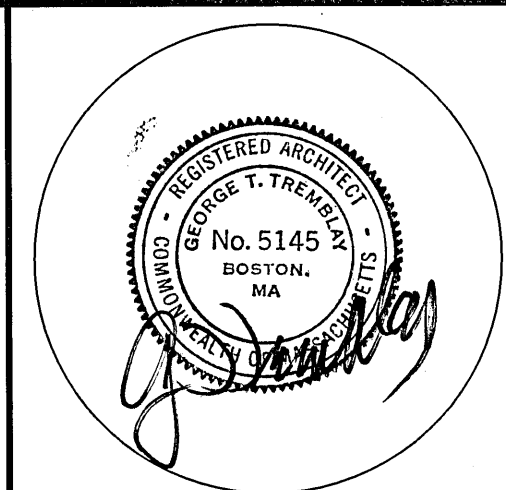
**RJ O'CONNELL
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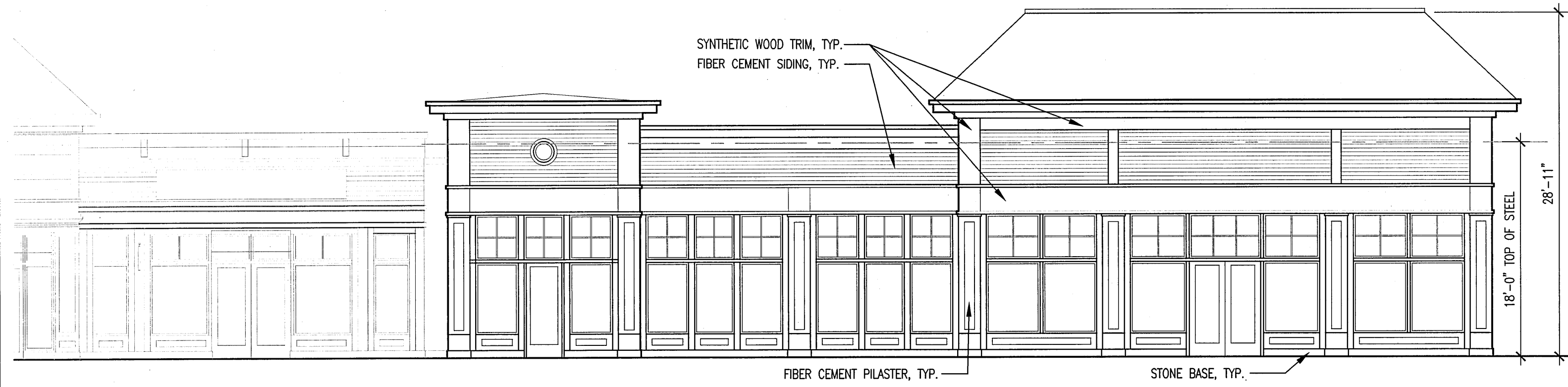
Project:
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Submission**

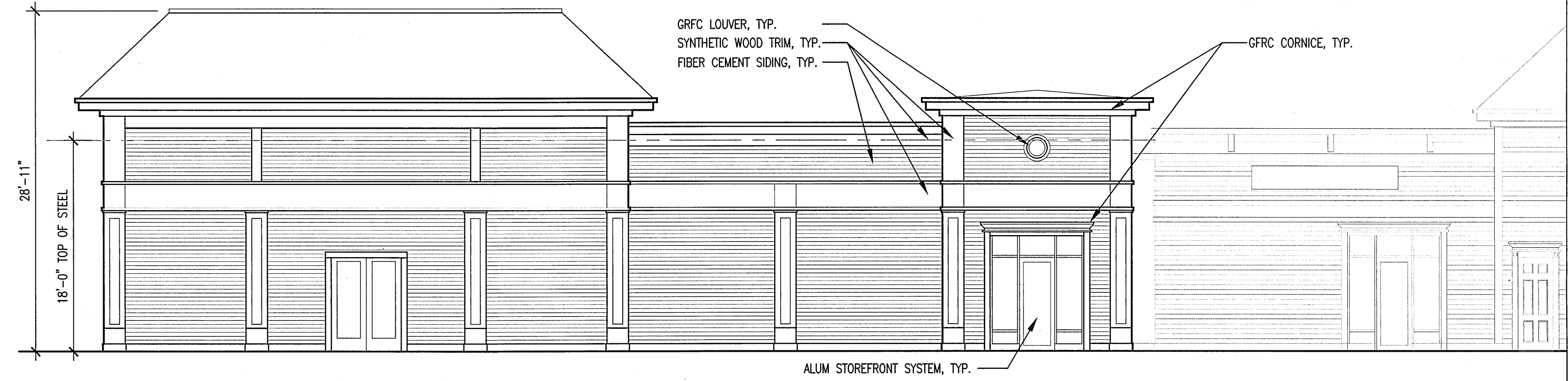
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Drawn By: DB/IRM
Checked By: MW/IRM
Issue Date: 24 JUNE 2008
Revision Date:



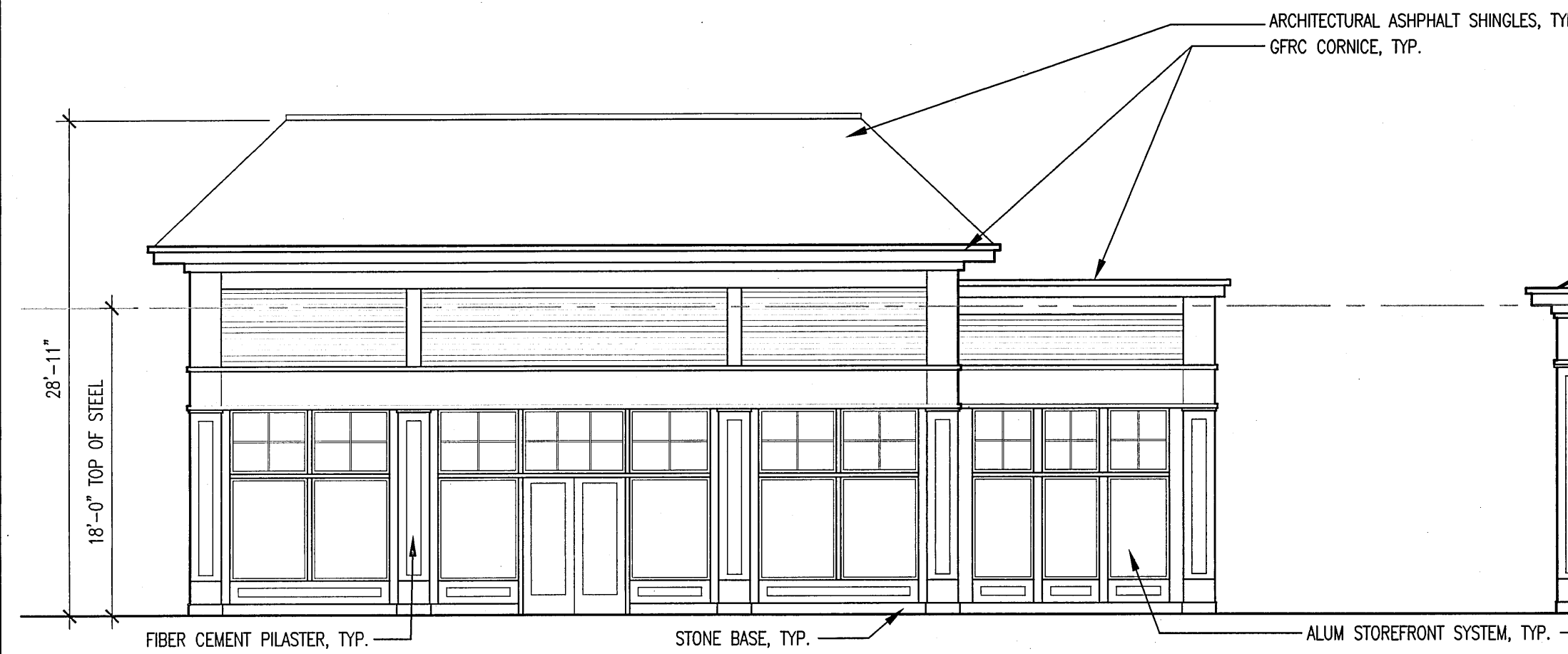
Drawing Title:
**Building 2-B
Elevations**
Drawing Number
A3.6
SCALE 1/8"=1'-0"



7 BLDG. 2C - NORTH ELEVATION
1/8"=1'-0"



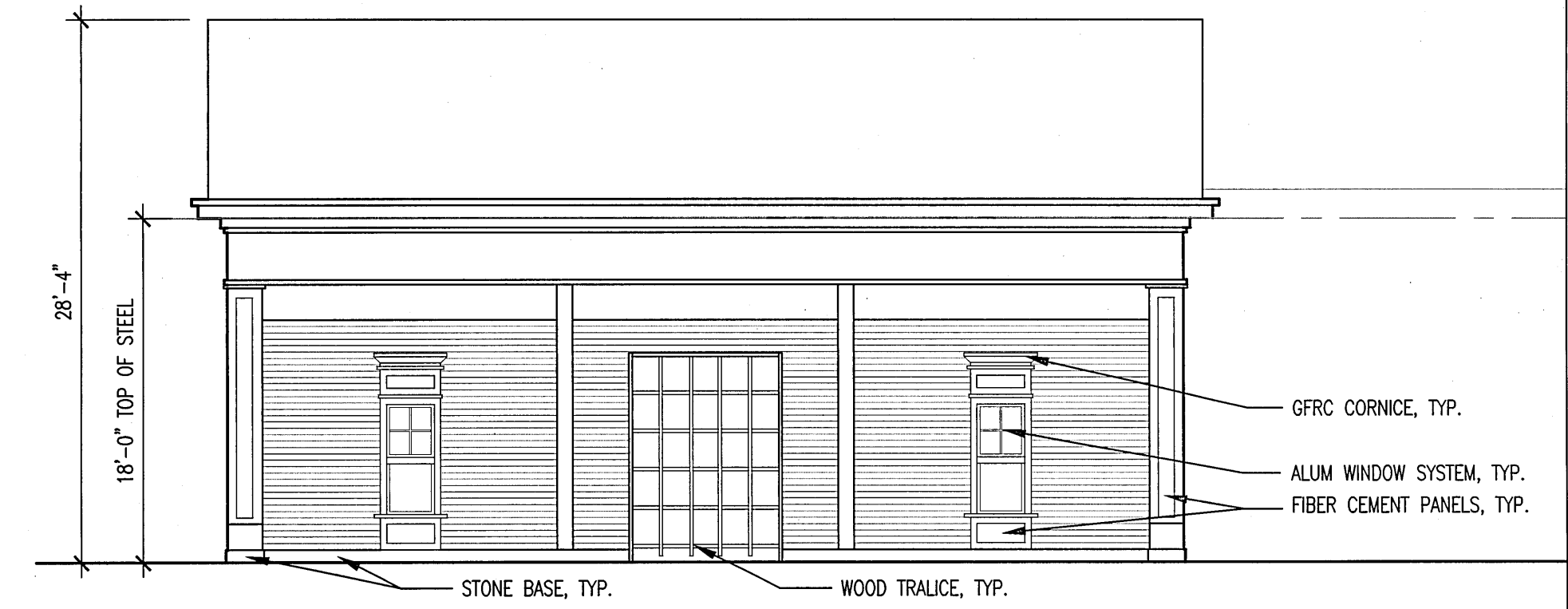
6 BLDG. 2C - SOUTH ELEVATION
1/8"=1'-0"



5 BLDG. 2C - WEST ELEVATION
1/8"=1'-0"



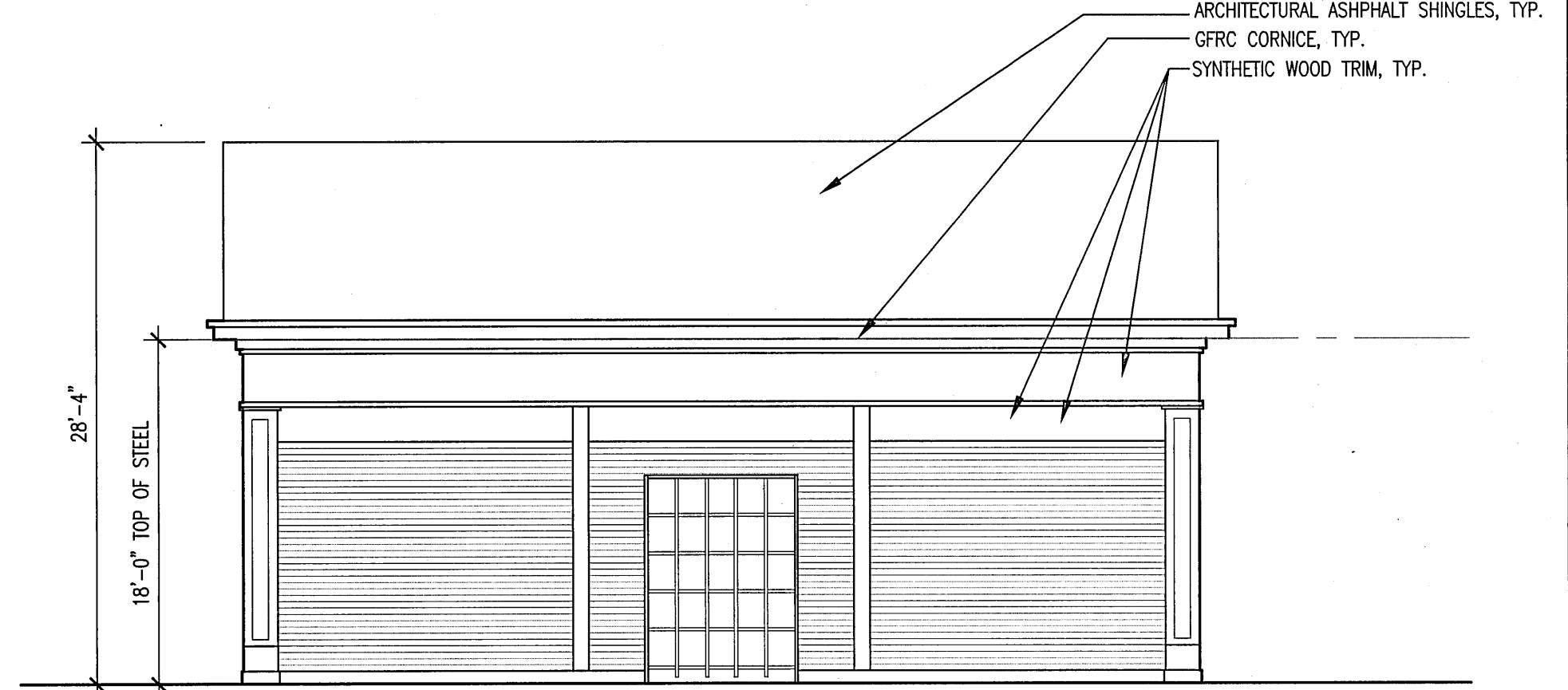
4 BLDG. 2D - WEST ELEVATION
1/8"=1'-0"



2 BLDG. 2D - SOUTH ELEVATION
1/8"=1'-0"



3 BLDG. 2D - EAST ELEVATION
1/8"=1'-0"



1 BLDG. 2D - NORTH ELEVATION
1/8"=1'-0"

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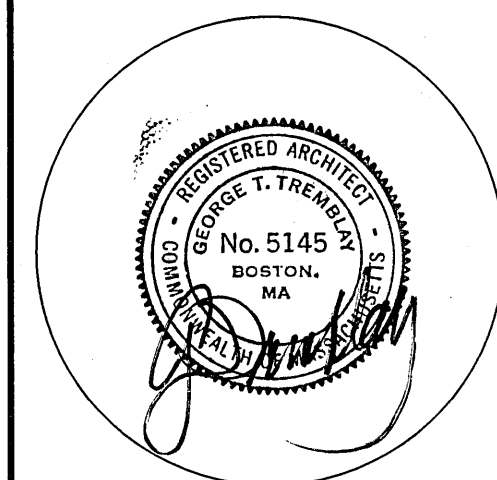
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Proponent:
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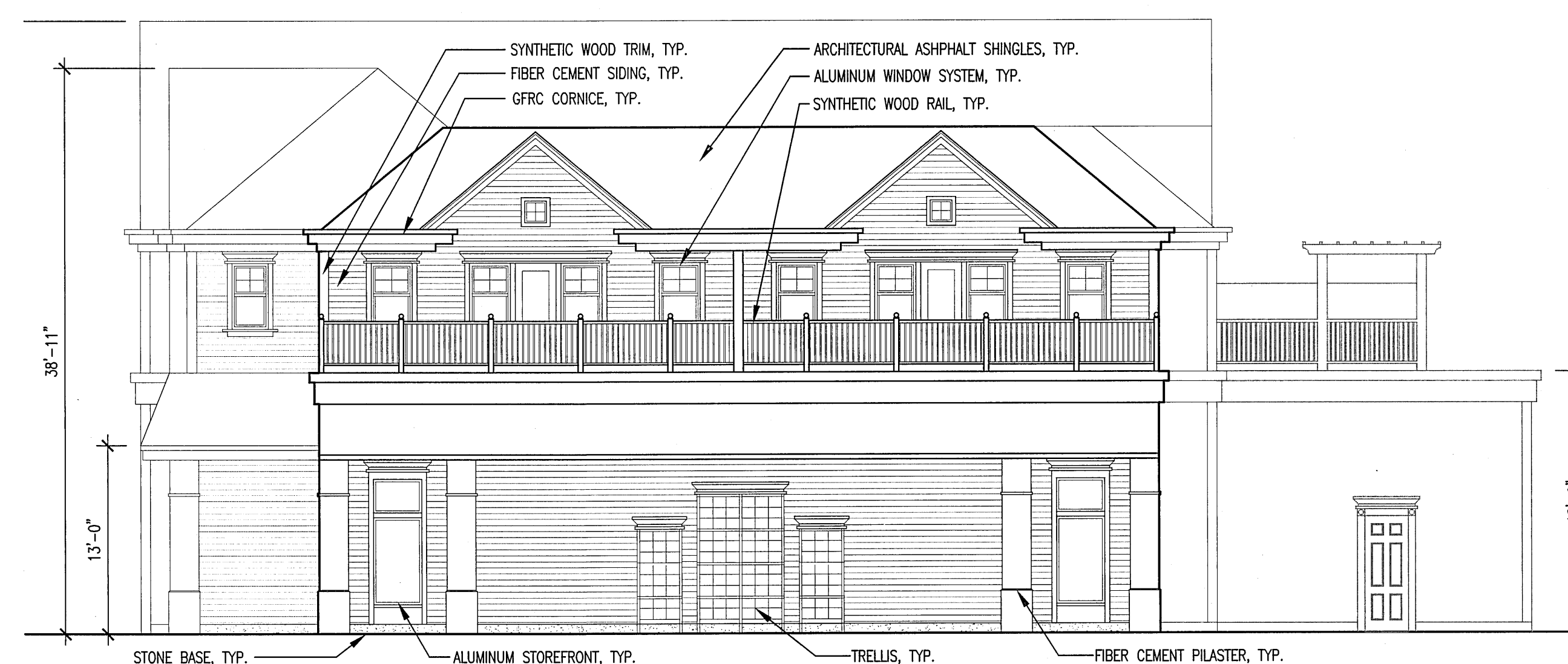
Project:
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Wayland, Massachusetts

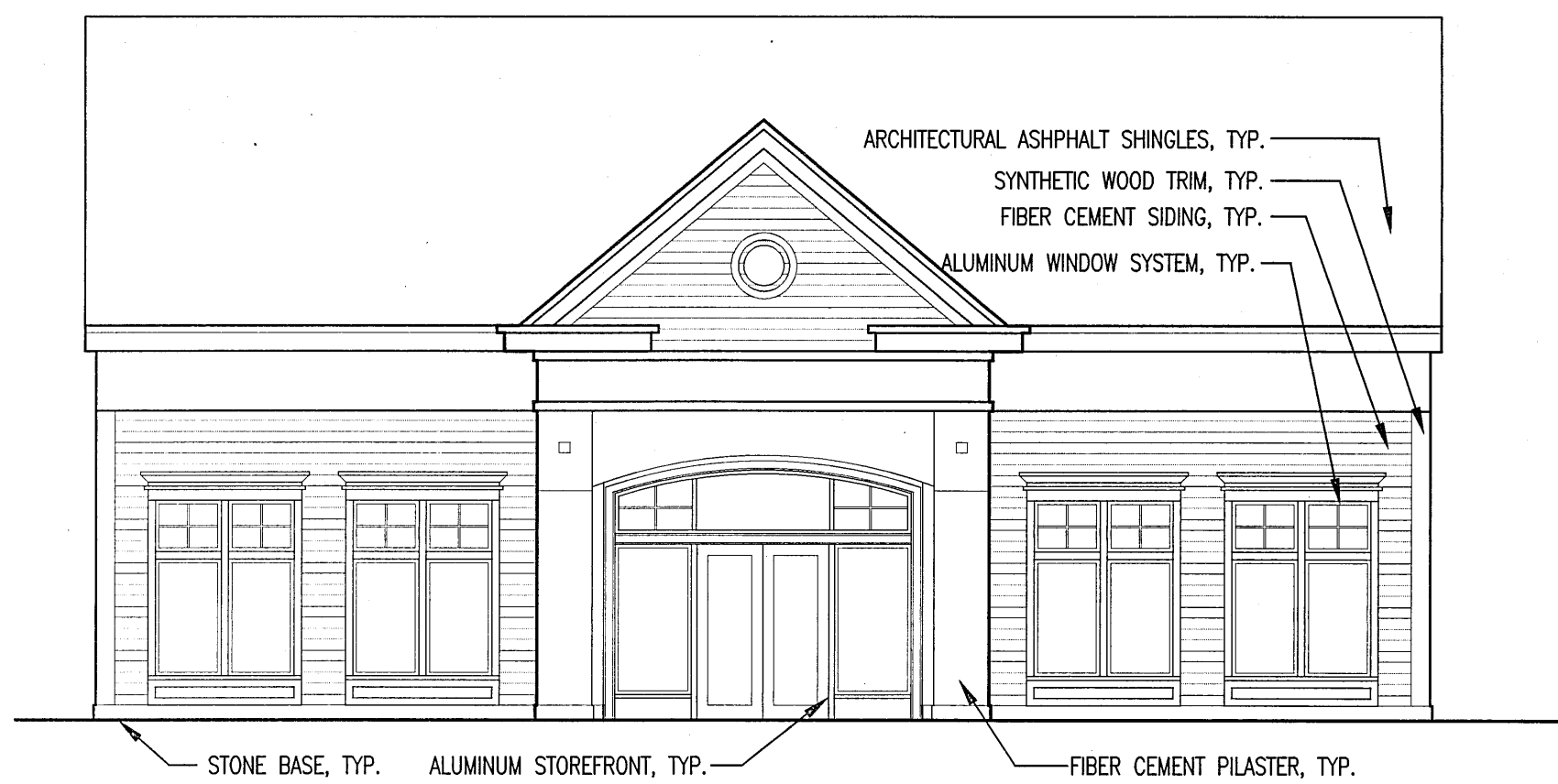
**Site Plan III Approval
Submission**

Project No: 06065
Drawn By: RM
Checked By: MW/EM
Issue Date: 24 JUNE 2008
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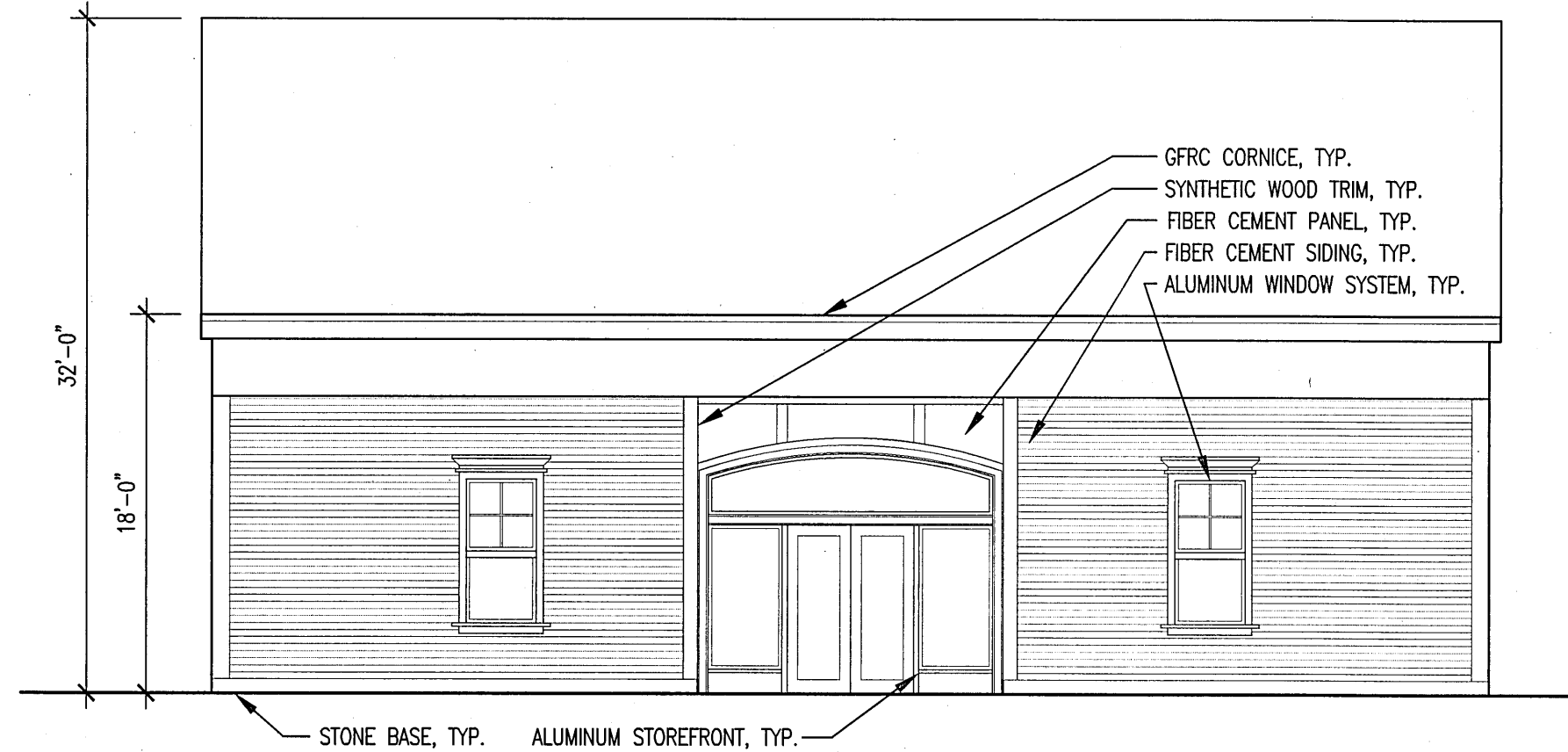


Drawing Title:
**Building 2-C & 2-D
Elevations**
Drawing Number
A3.7
SCALE 1/8"=1'-0"

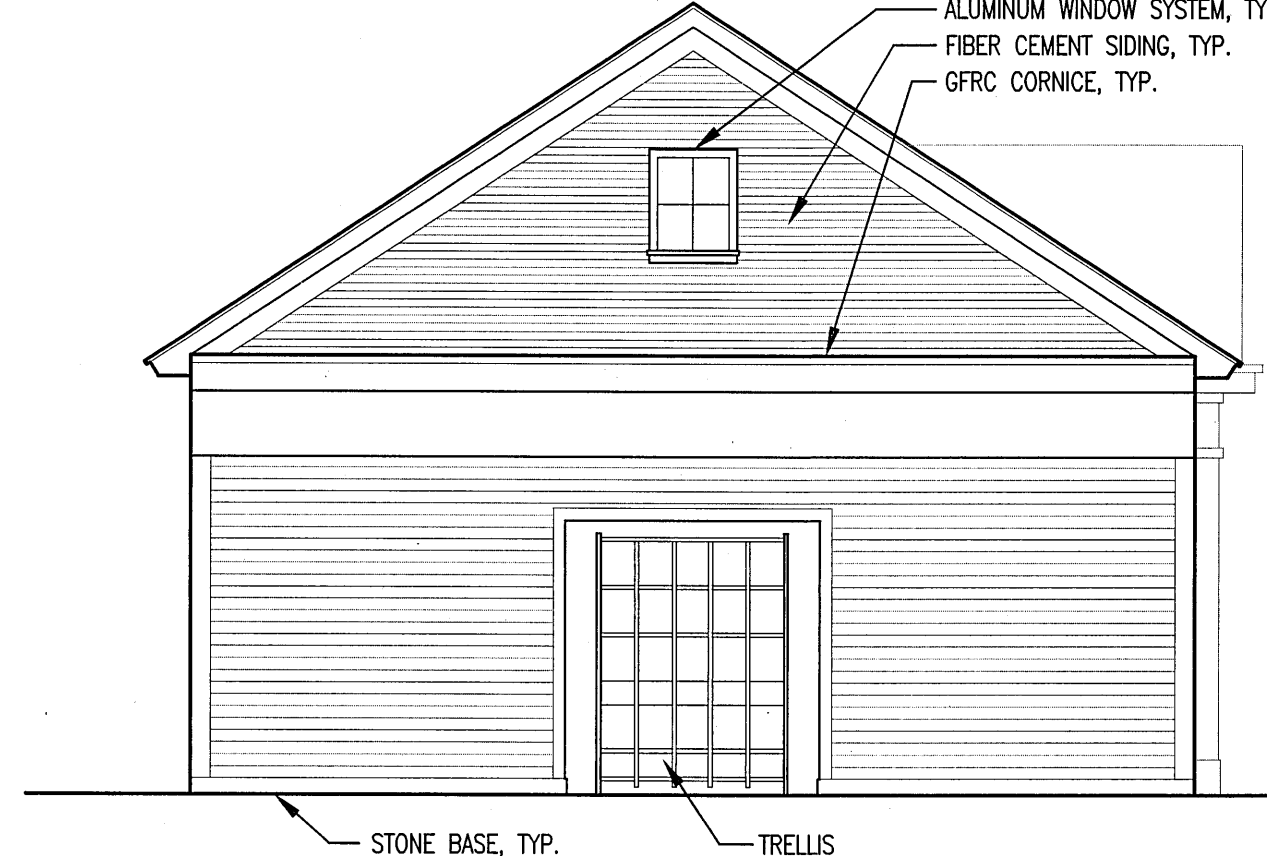




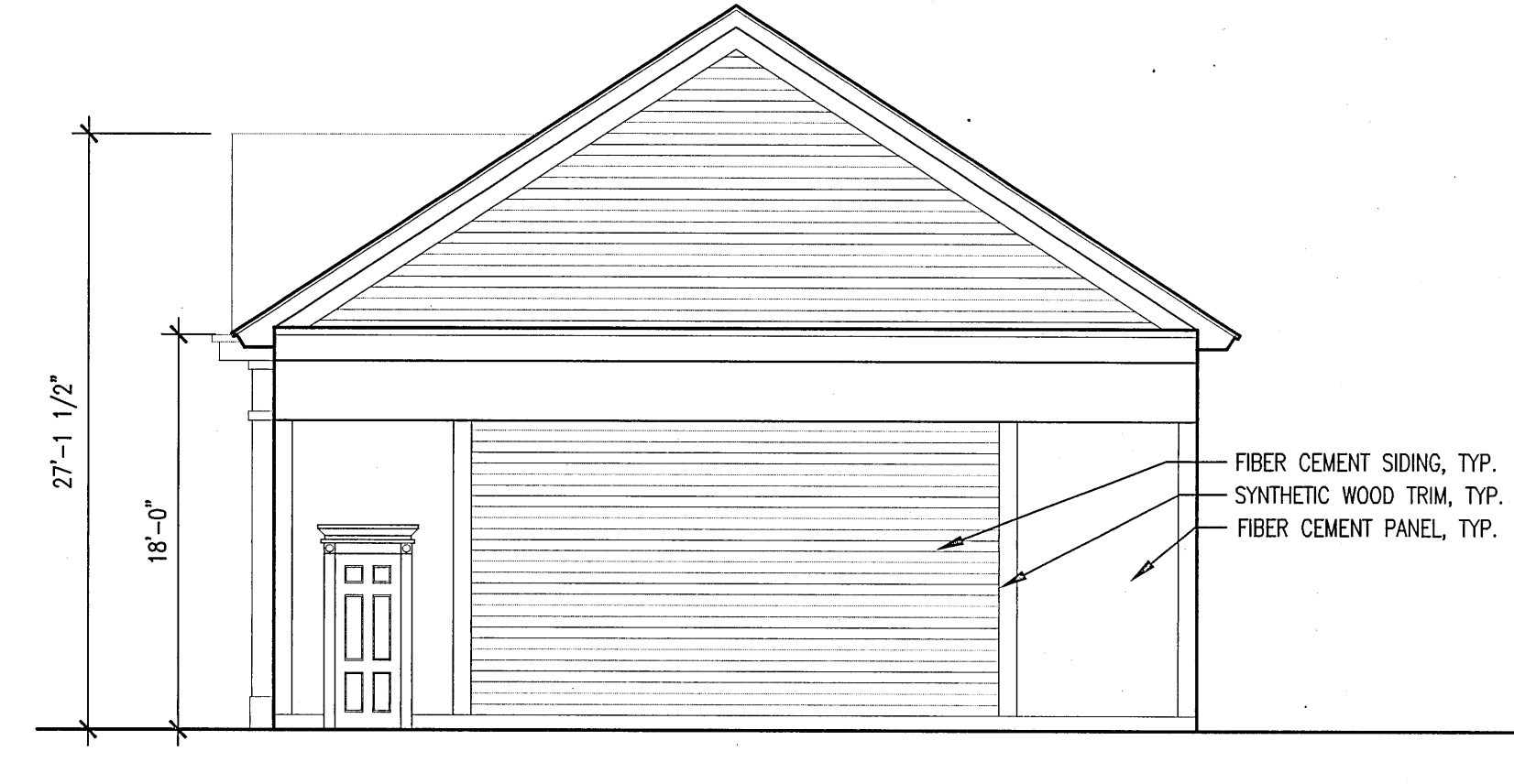
8 BLDG. 2E - EAST ELEVATION
1/8"=1'-0"



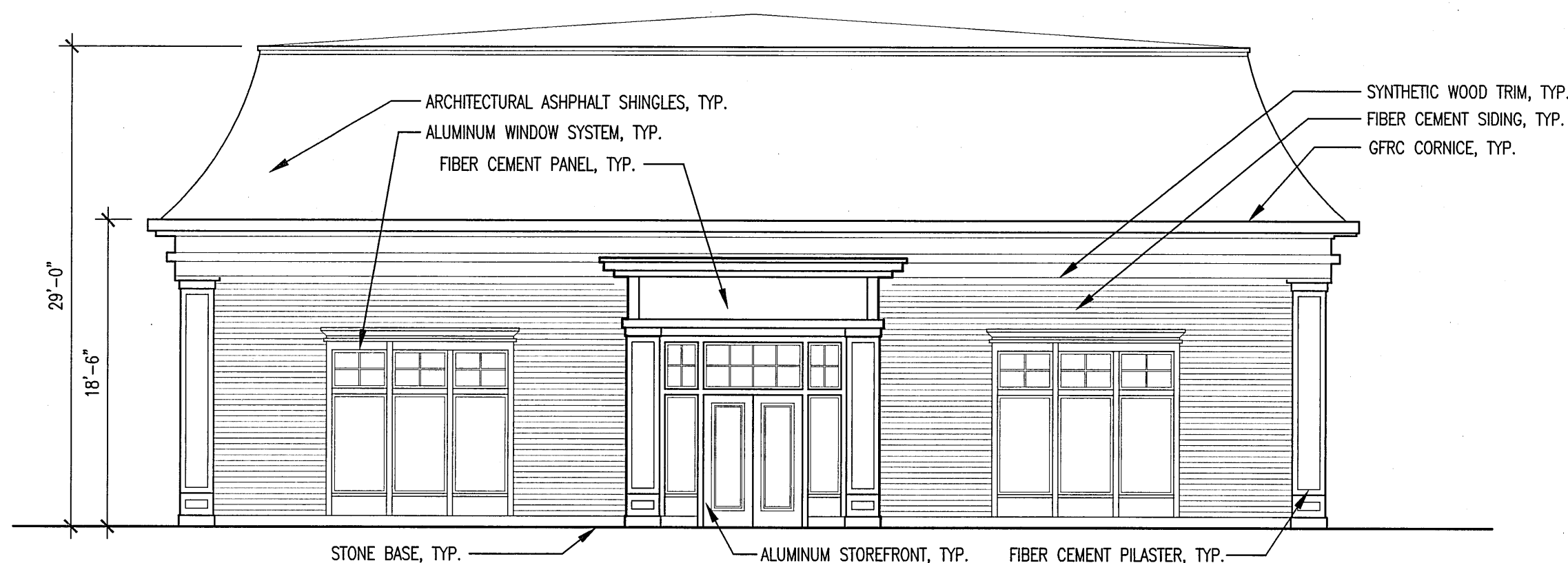
7 BLDG. 2E - WEST ELEVATION
1/8"=1'-0"



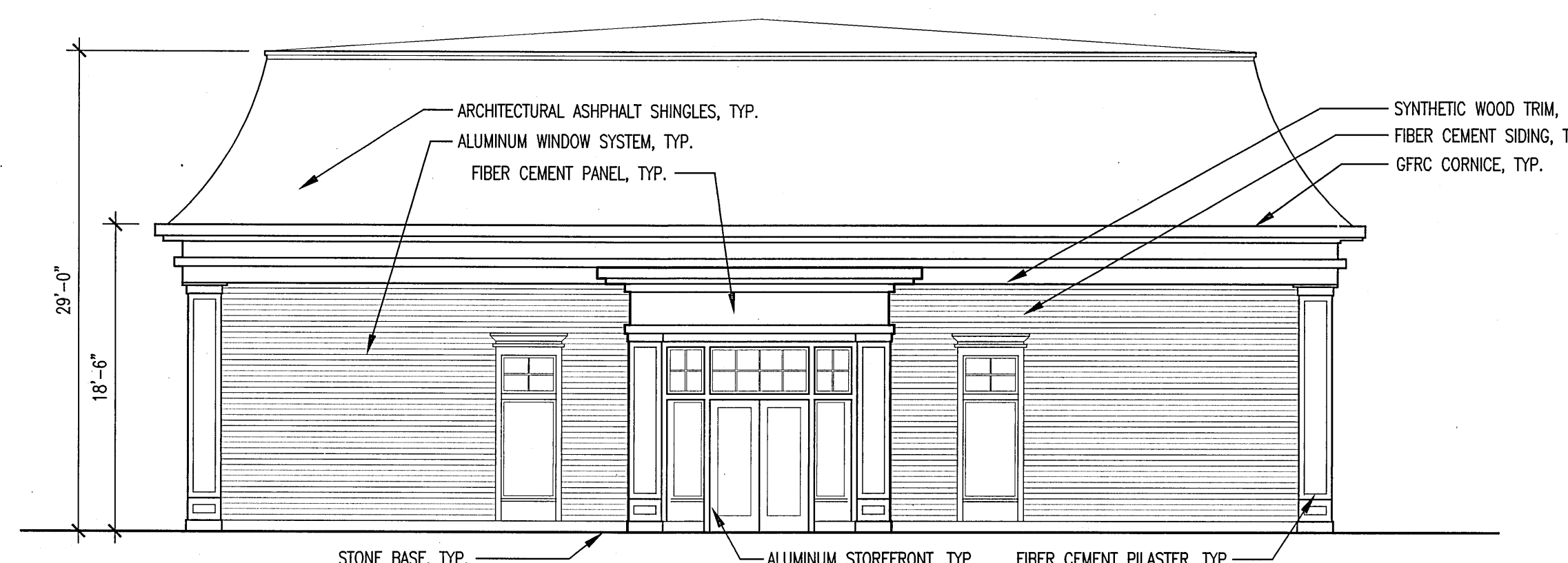
6 BLDG. 2E - SOUTH ELEVATION
1/8"=1'-0"



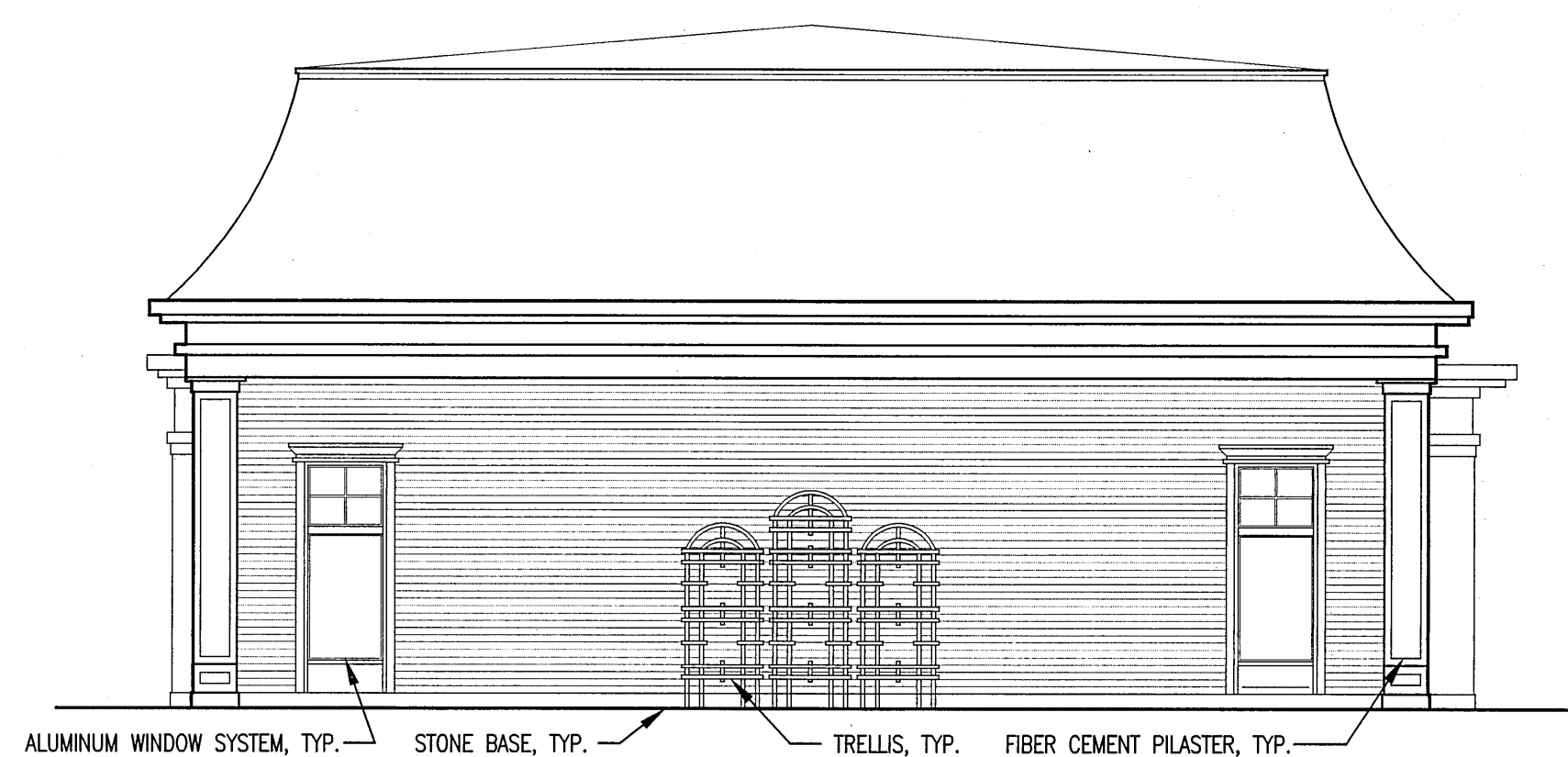
5 BLDG. 2E - NORTH ELEVATION
1/8"=1'-0"



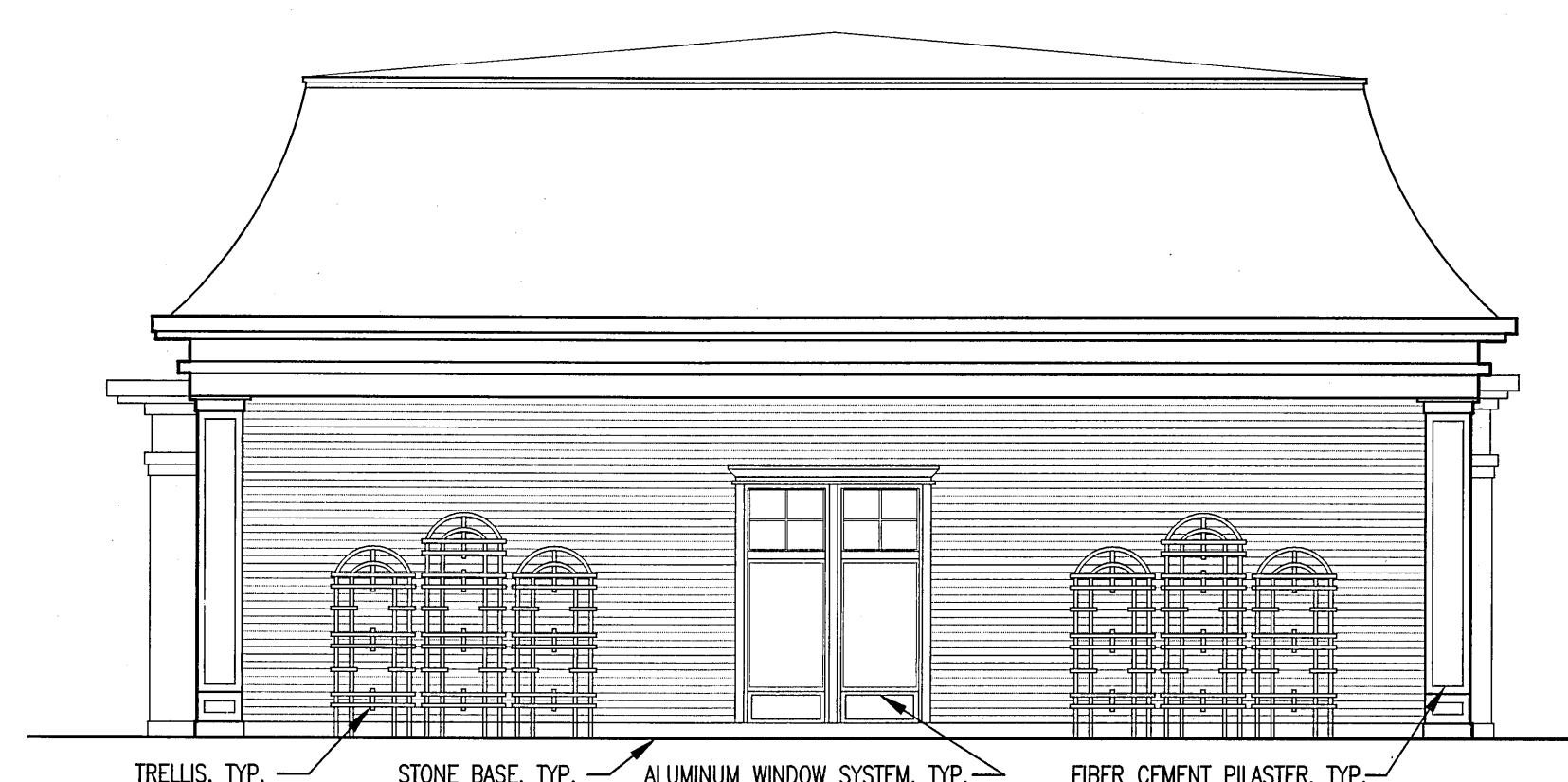
4 BLDG. 2G - NORTH ELEVATION
1/8"=1'-0"



3 BLDG. 2G - SOUTH ELEVATION
1/8"=1'-0"



2 BLDG. 2G - EAST ELEVATION
1/8"=1'-0"



1 BLDG. 2G - WEST ELEVATION
1/8"=1'-0"

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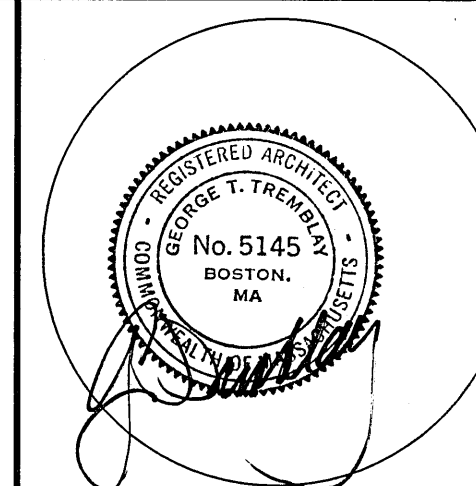
Twenty Wayland, LLC
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Submission**

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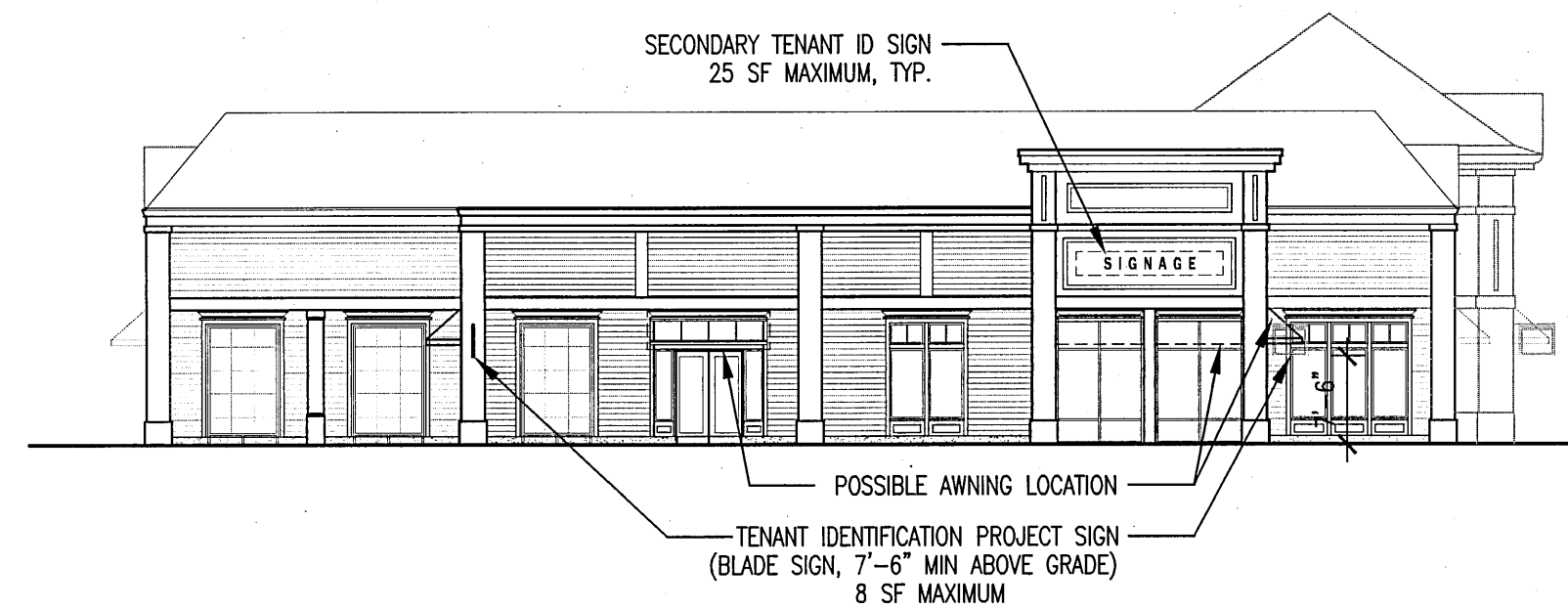
Drawing Title:

**Building 2-E & 2-G
Elevations**

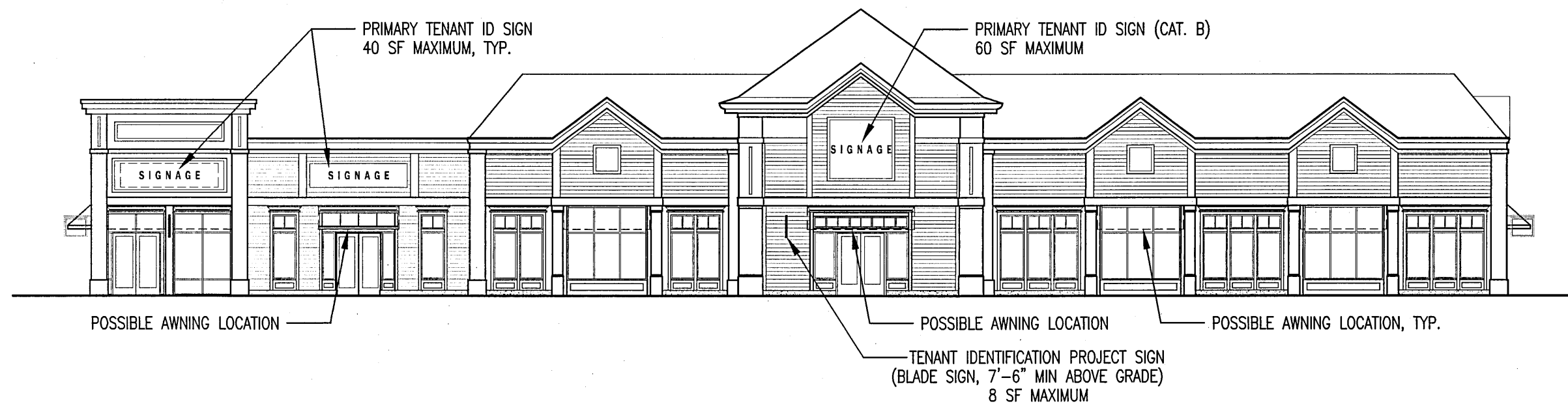
Drawing Number

SCALE 1/8"=1'-0"

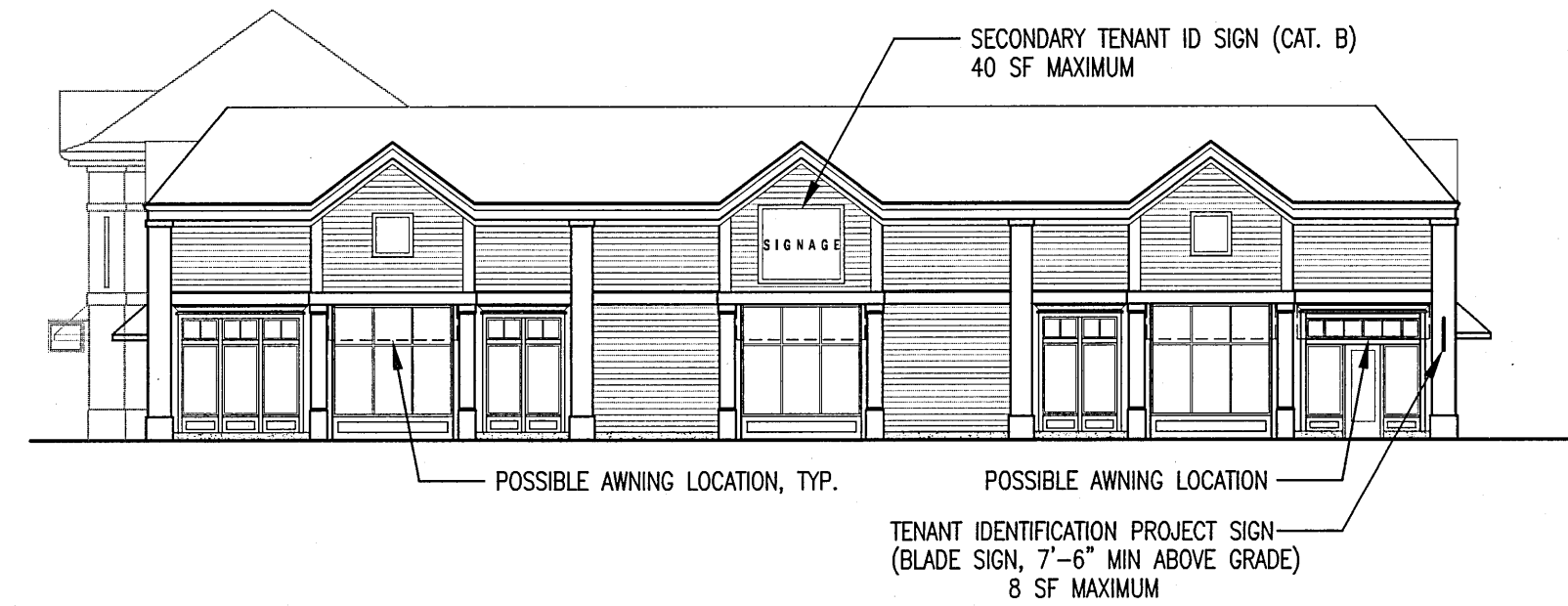
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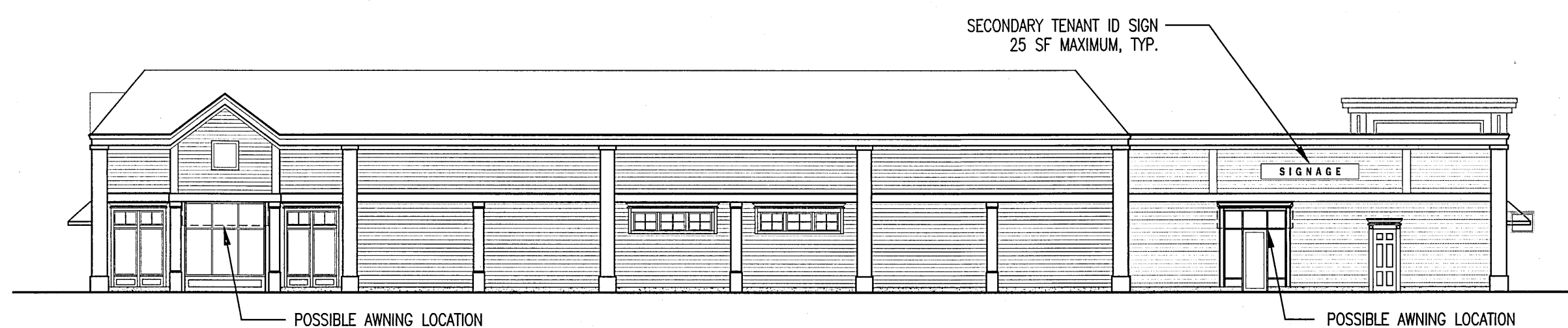
12 Building 2-A – West Elevation
1/16"=1'-0"



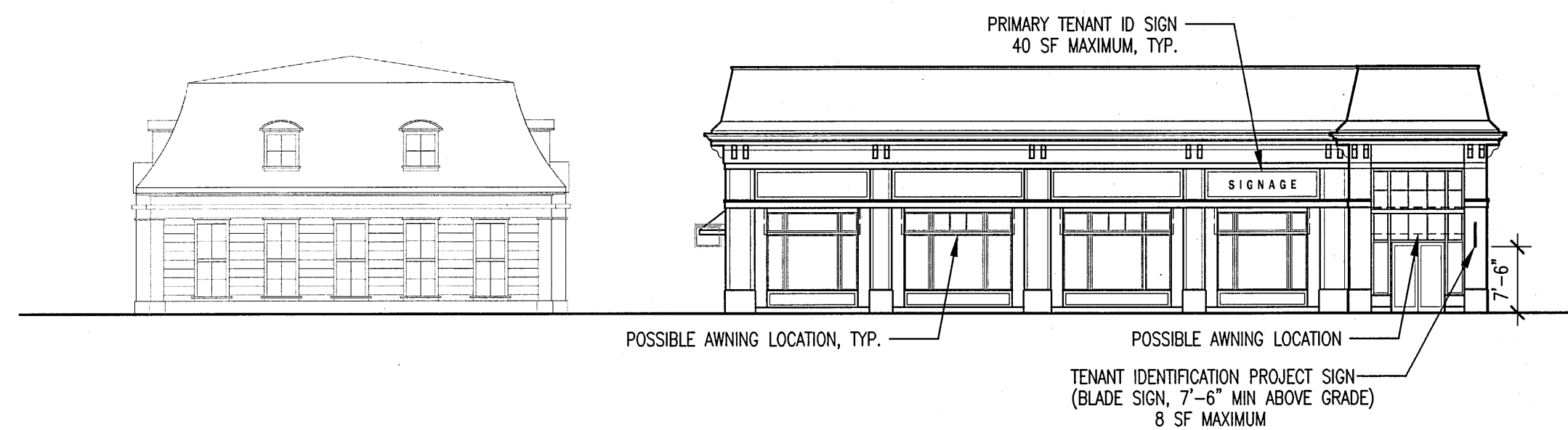
11 Building 2-A – South Elevation
1/16"=1'-0"



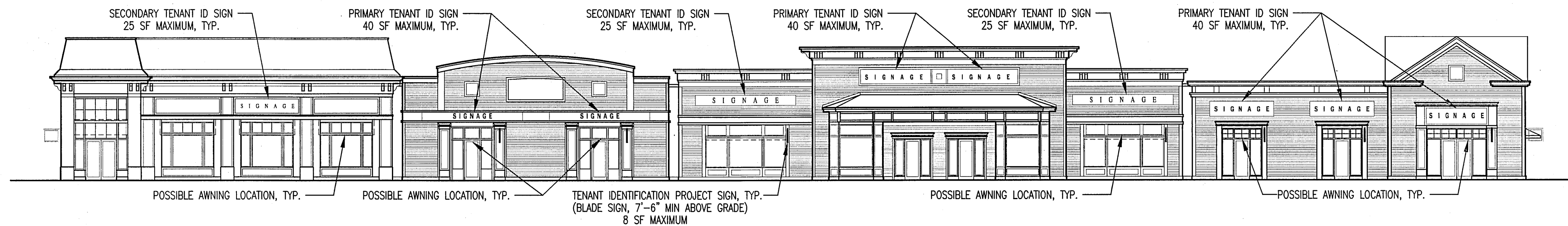
10 Building 2-A – East Elevation
1/16"=1'-0"



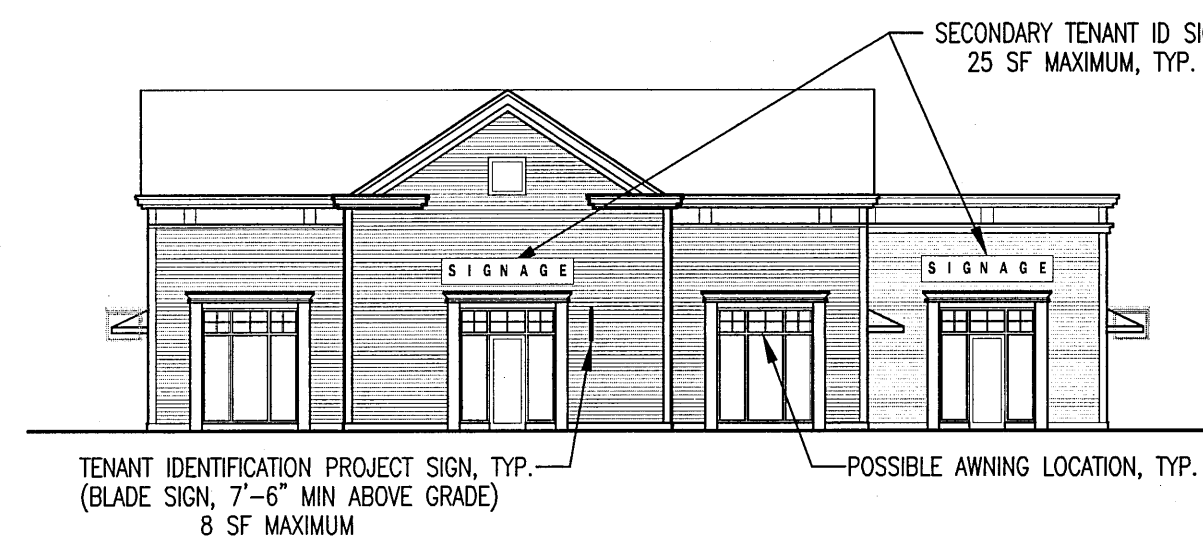
9 Building 2-A – North Elevation
1/16"=1'-0"



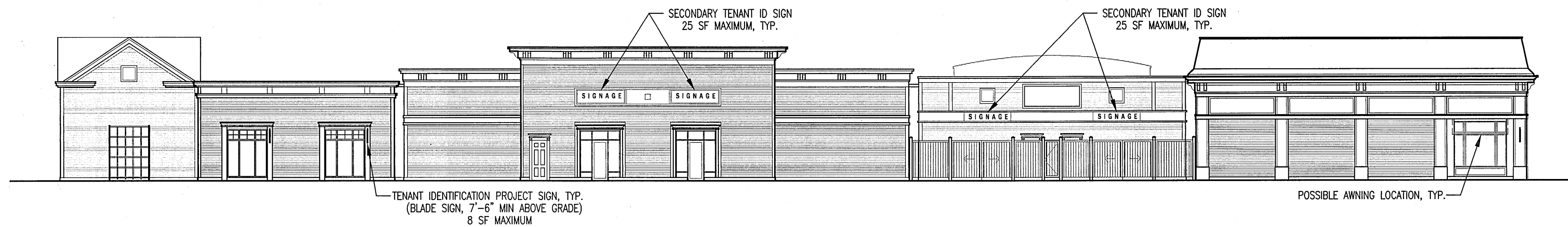
8 Building 2-B – West Elevation
1/16"=1'-0"



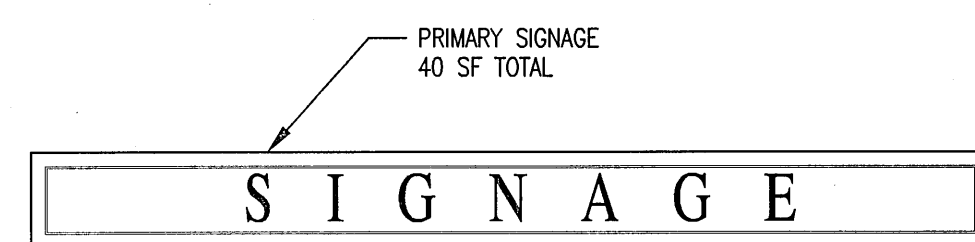
7 Building 2-A – South Elevation
1/16"=1'-0"



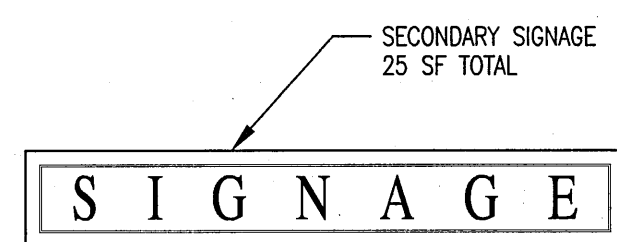
6 Building 2-B – East Elevation
1/16"=1'-0"



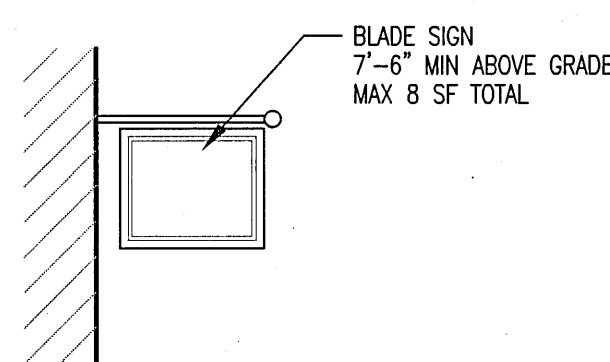
5 Building 2-A – North Elevation
1/16"=1'-0"



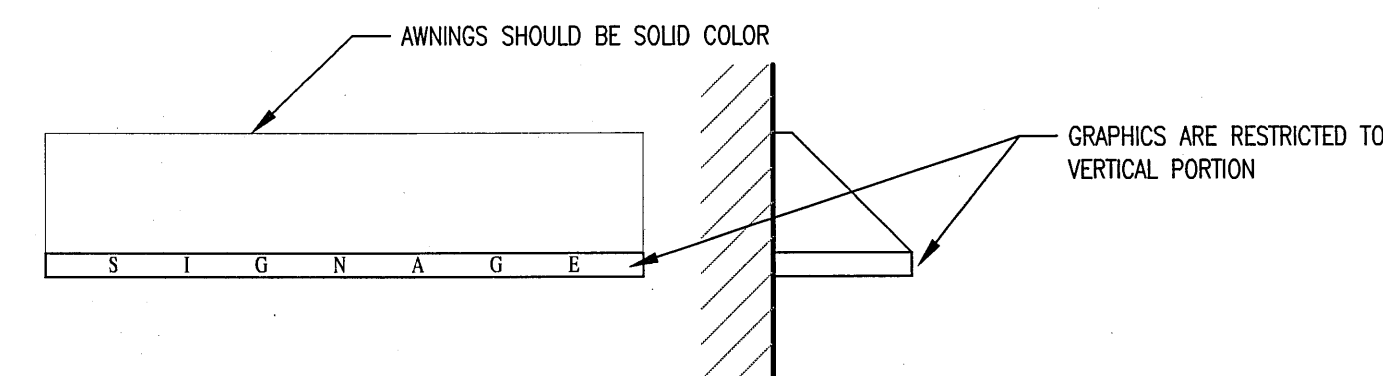
4 Primary Signage Elevation
1/4"=1'-0"



3 Secondary Signage Elevation
1/4"=1'-0"



2 Blade Sign Elevation
1/4"=1'-0"



1 Awning Elevations
1/4"=1'-0"

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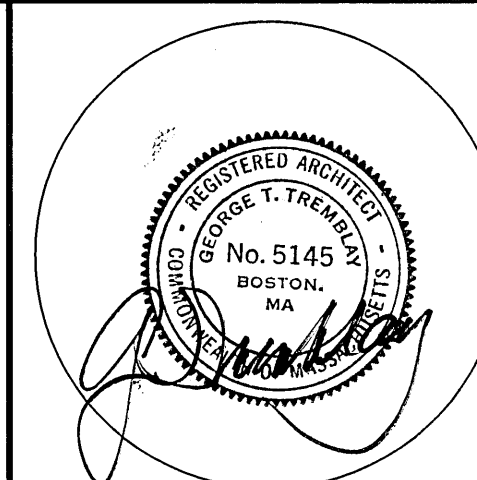
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Project:

Wayland Town Center
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Submission**

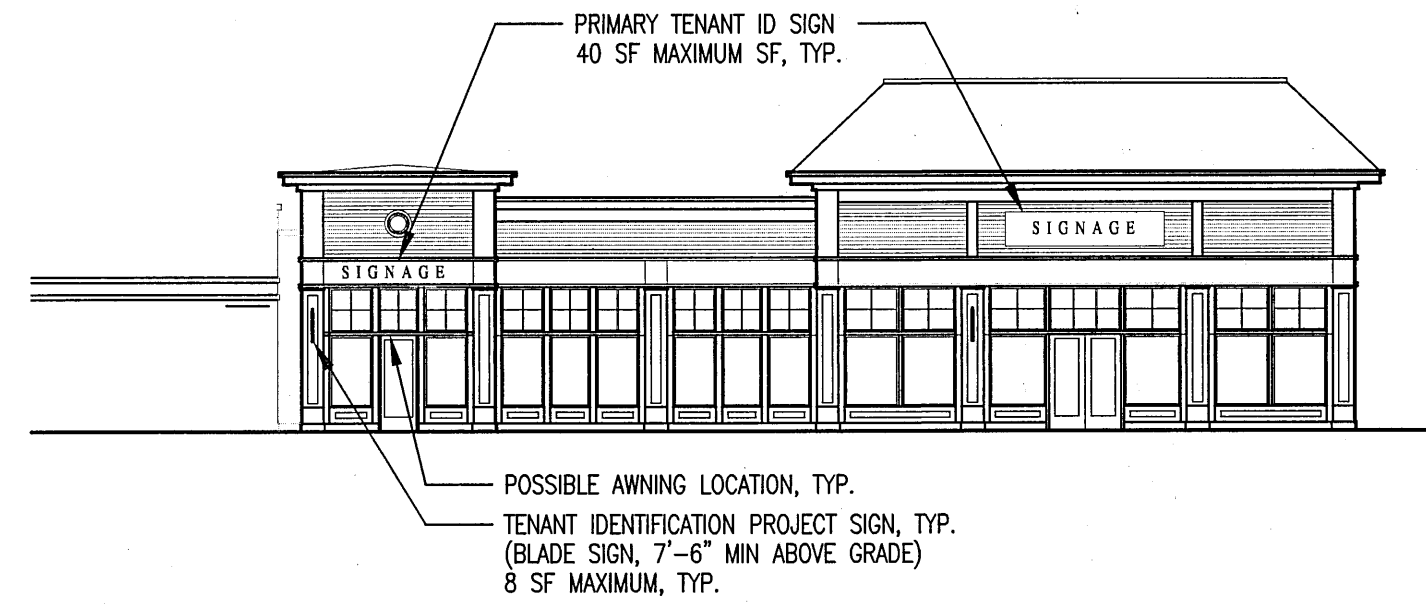
Project No: 06065
Drawn By: dmb
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Issue Date: 24 JUNE 2008
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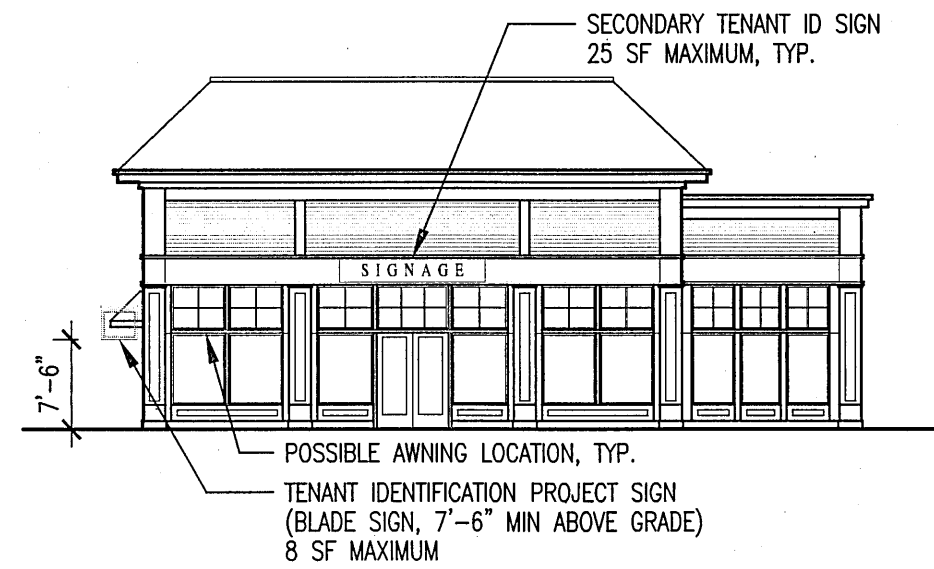
Drawing Title:

Signage Elevations

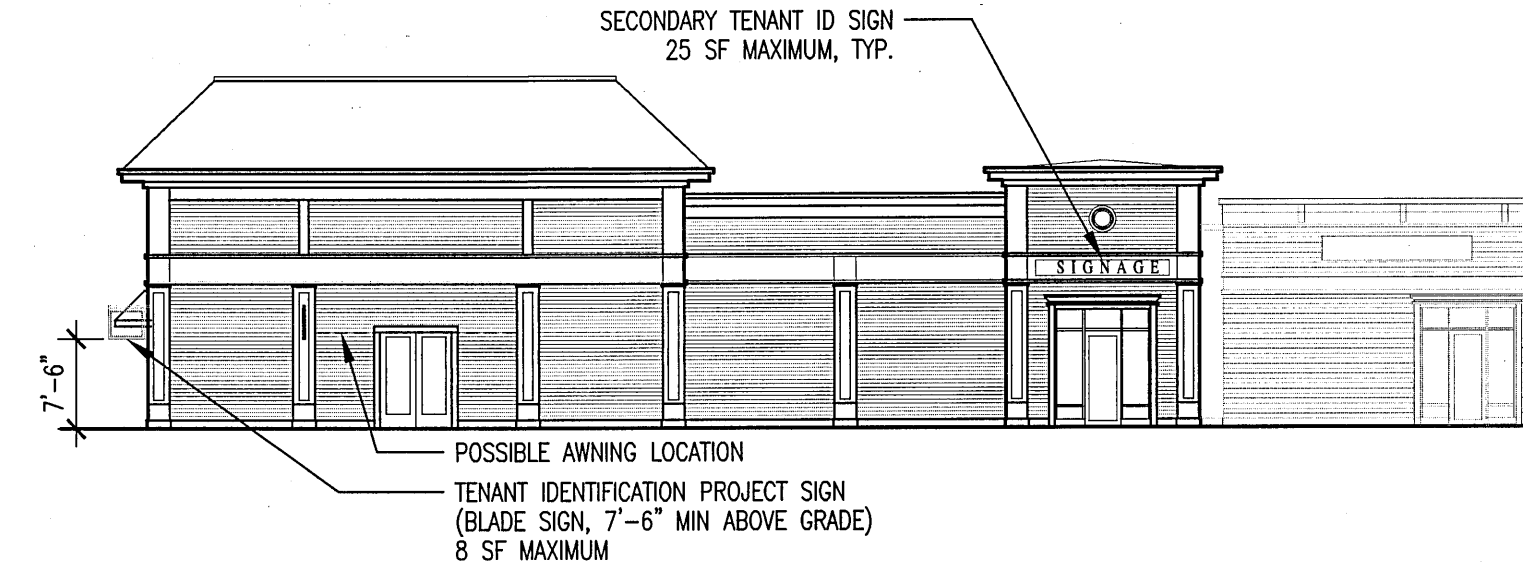
Drawing Number
SCALE As Noted **A4.2**



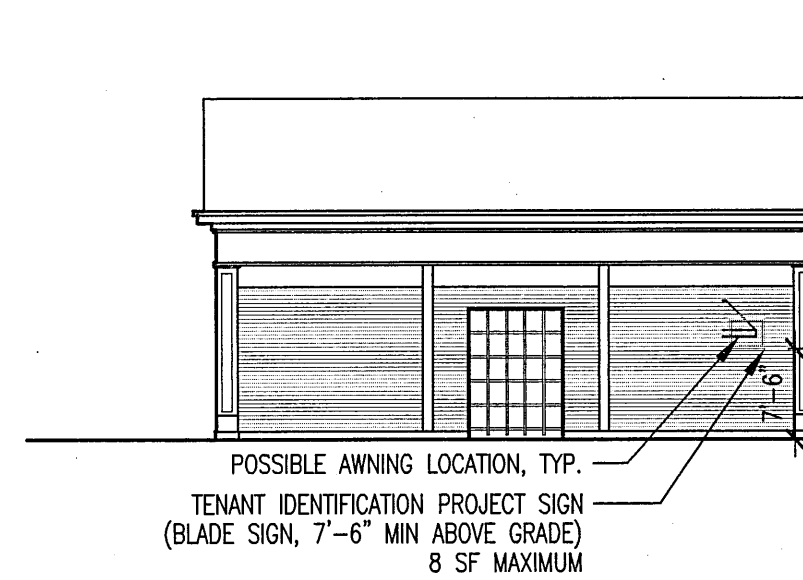
15 Building 2-C - North Elevation
1/16"=1'-0"



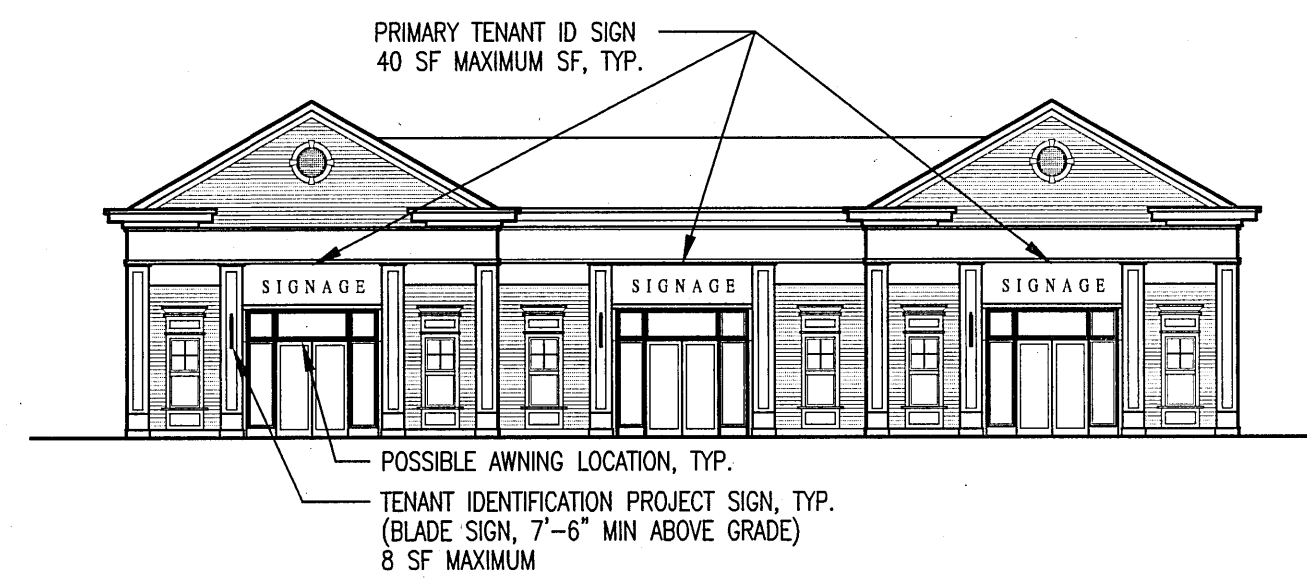
14 Building 2-C - West Elevation
1/16"=1'-0"



13 Building 2-C - South Elevation
1/16"=1'-0"



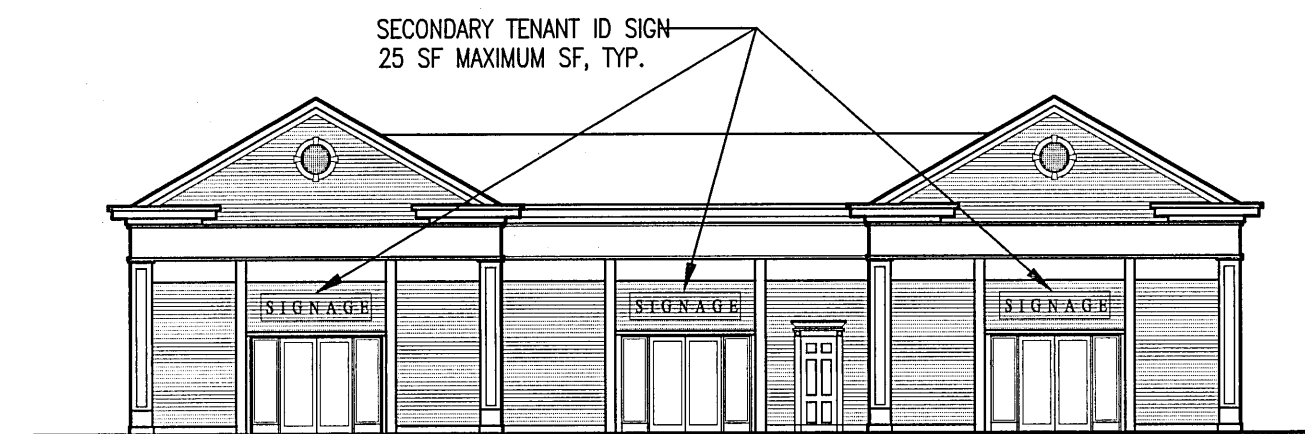
12 Building 2-D - North Elevation
1/16"=1'-0"



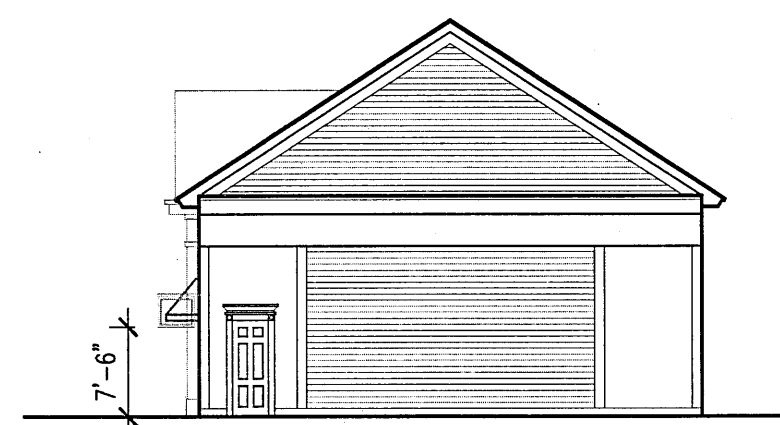
11 Building 2-D - West Elevation
1/16"=1'-0"



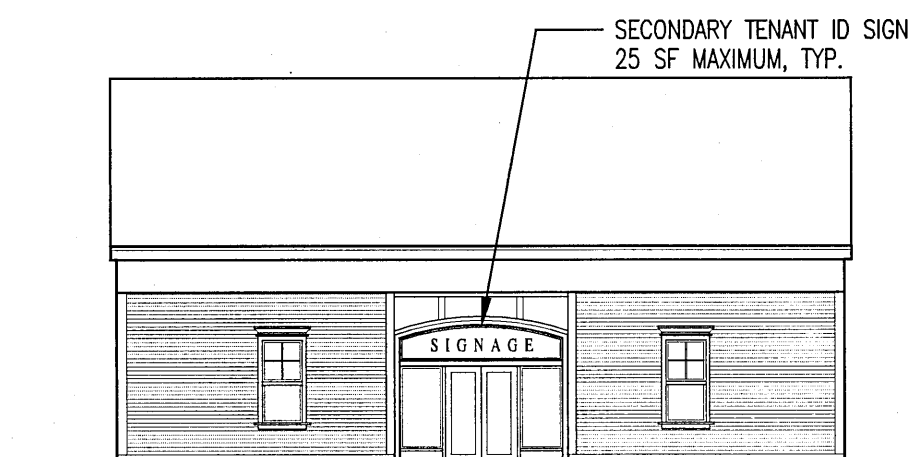
10 Building 2-D - South Elevation
1/16"=1'-0"



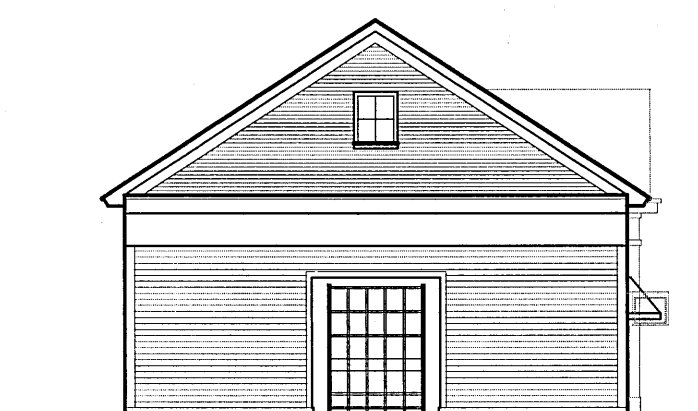
9 Building 2-D - East Elevation
1/16"=1'-0"



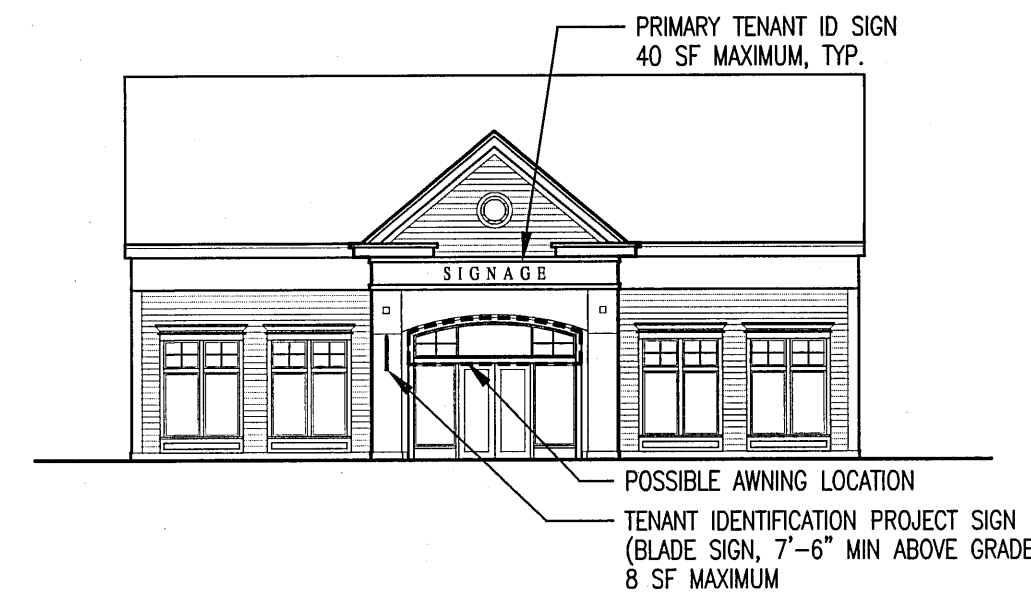
8 Building 2-E - North Elevation
1/16"=1'-0"



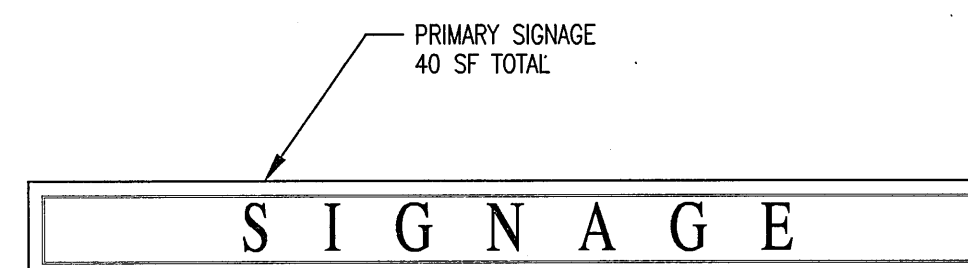
7 Building 2-E - West Elevation
1/16"=1'-0"



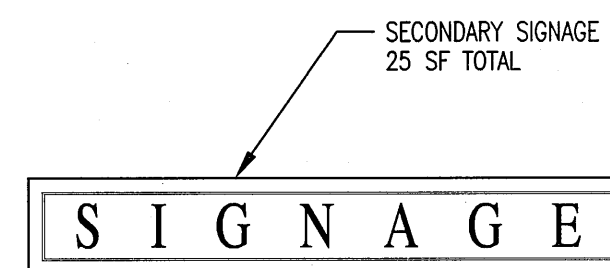
6 Building 2-E - South Elevation
1/16"=1'-0"



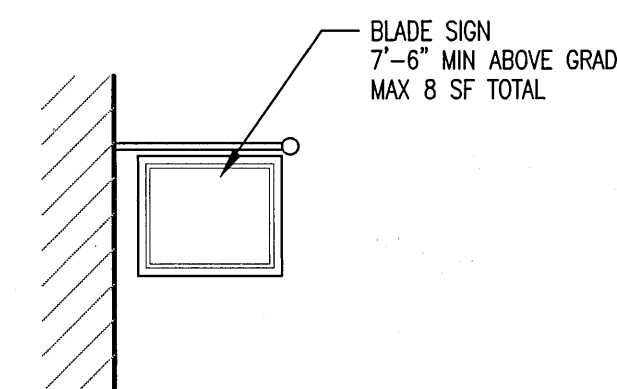
5 Building 2-E - East Elevation
1/16"=1'-0"



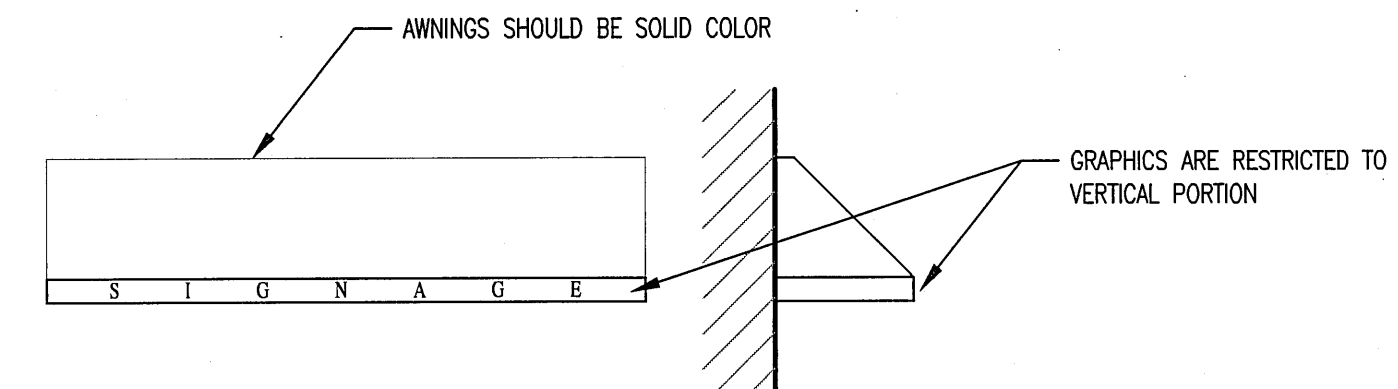
4 Primary Signage Elevation
1/4"=1'-0"



3 Secondary Signage Elevation
1/4"=1'-0"



2 Blade Sign Elevation
1/4"=1'-0"



1 Awning Elevations
1/4"=1'-0"

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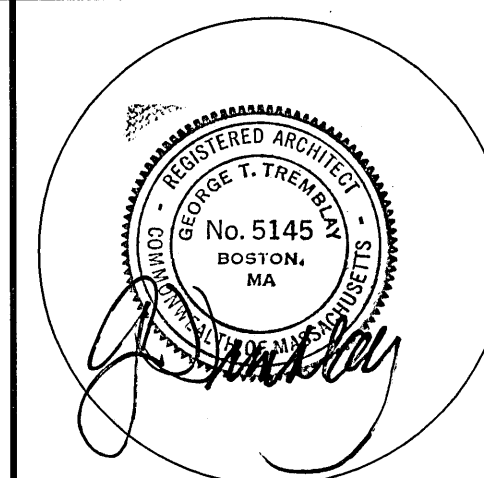
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Project:

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Wayland, Massachusetts

Site Plan III Approval
Submission

Project No: 06065
Drawn By: dmb
Checked By: MW/EM
Issue Date: 24 JUNE 2008
Revision Date:



Drawing Title:

Signage Elevations

Drawing Number

SCALE As Noted

A4.3



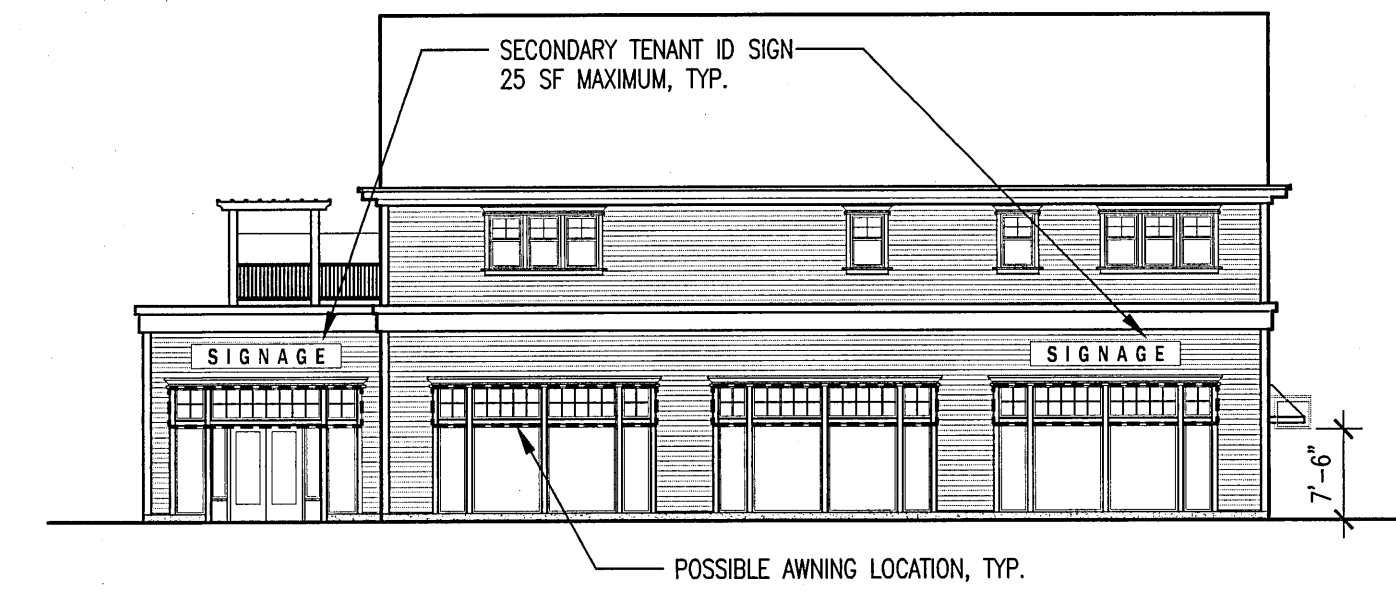
12 Building 2-F – North Elevation
1/16"=1'-0"



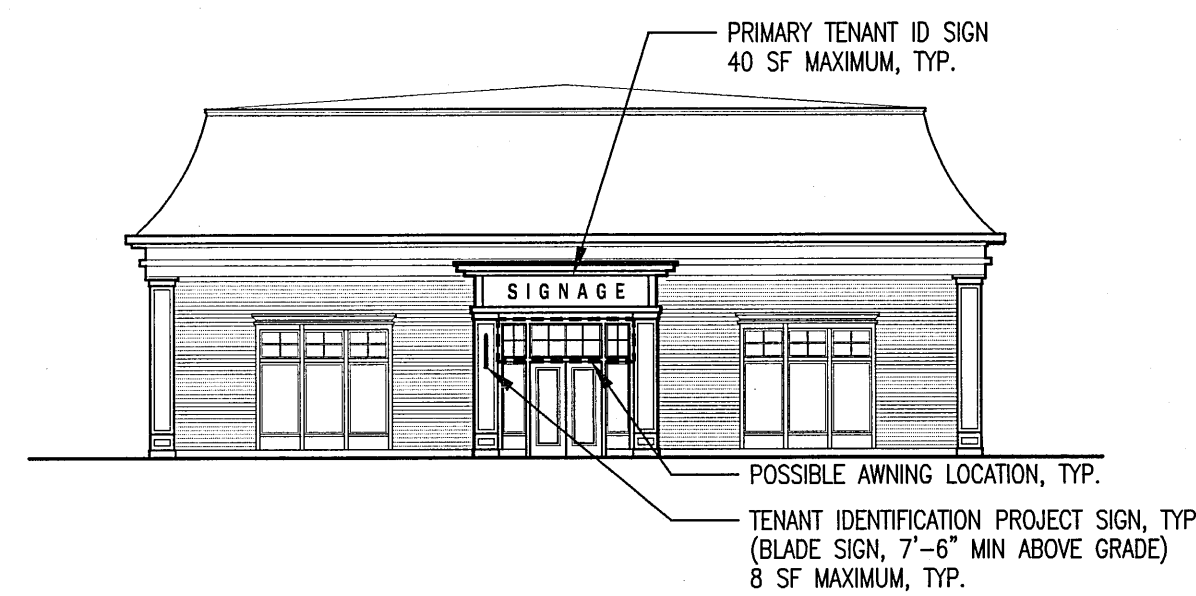
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1/16"=1'-0"



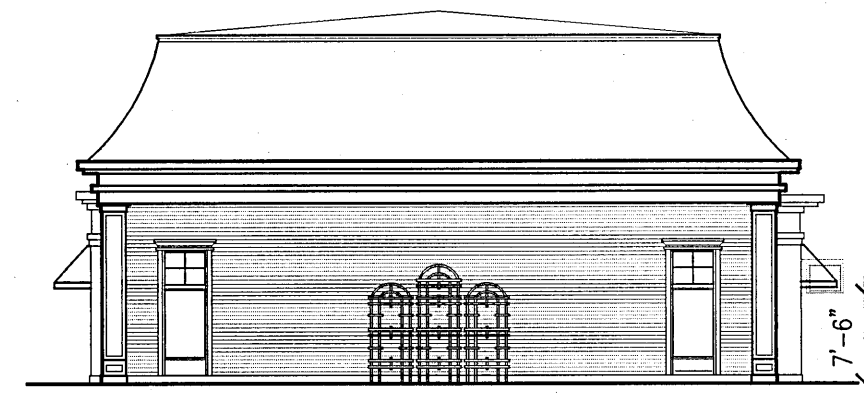
10 Building 2-F – South Elevation
1/16"=1'-0"



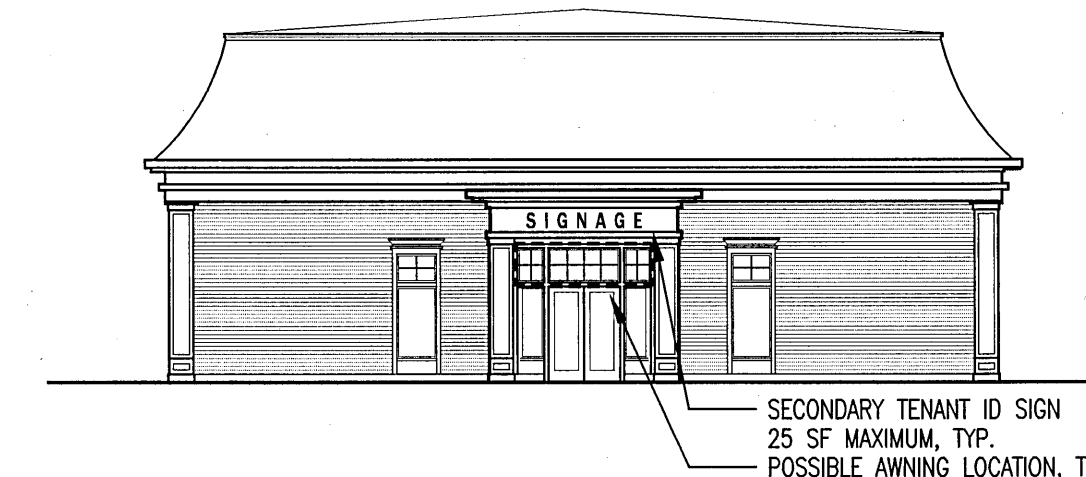
9 Building 2-F – East Elevation
1/16"=1'-0"



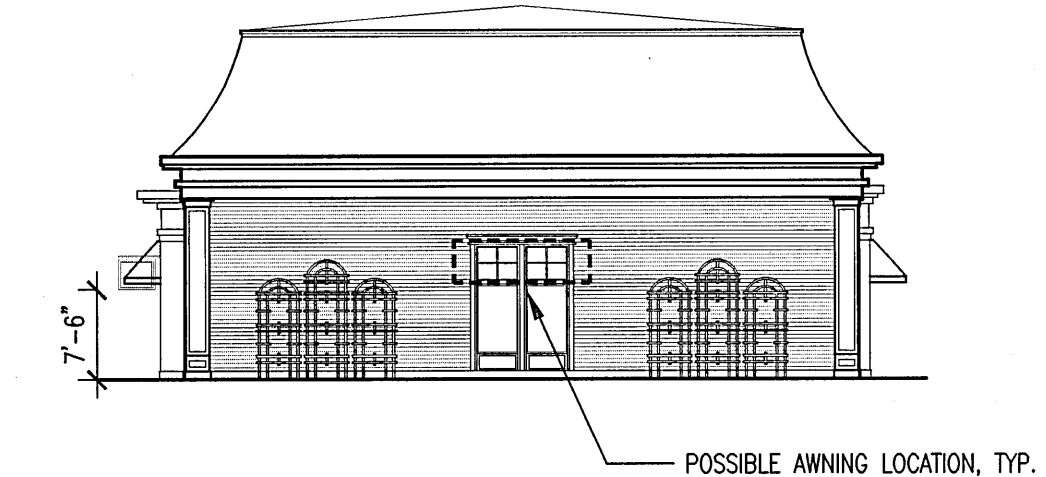
8 Building 2-G – North Elevation
1/16"=1'-0"



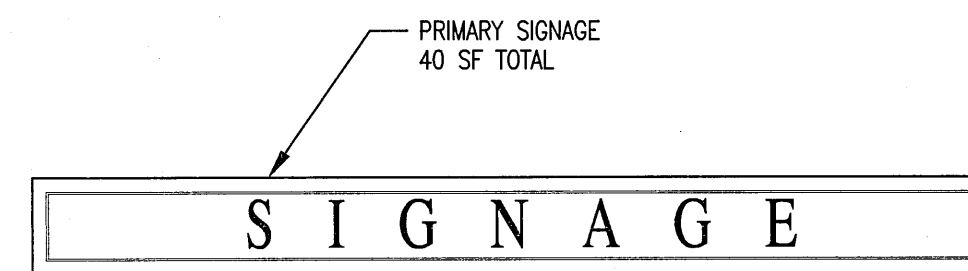
7 Building 2-G – East Elevation
1/16"=1'-0"



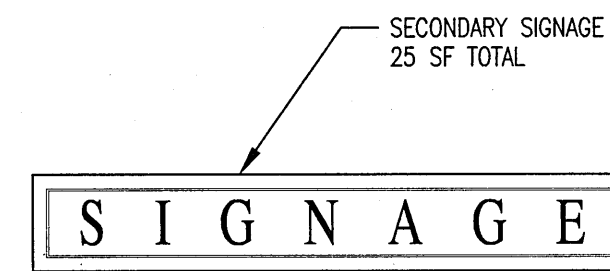
6 Building 2-G – South Elevation
1/16"=1'-0"



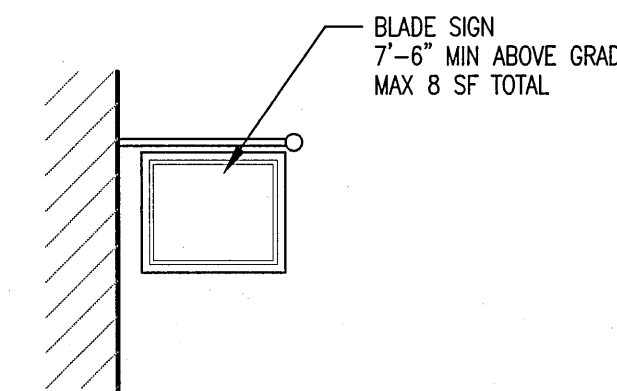
5 Building 2-G – West Elevation
1/16"=1'-0"



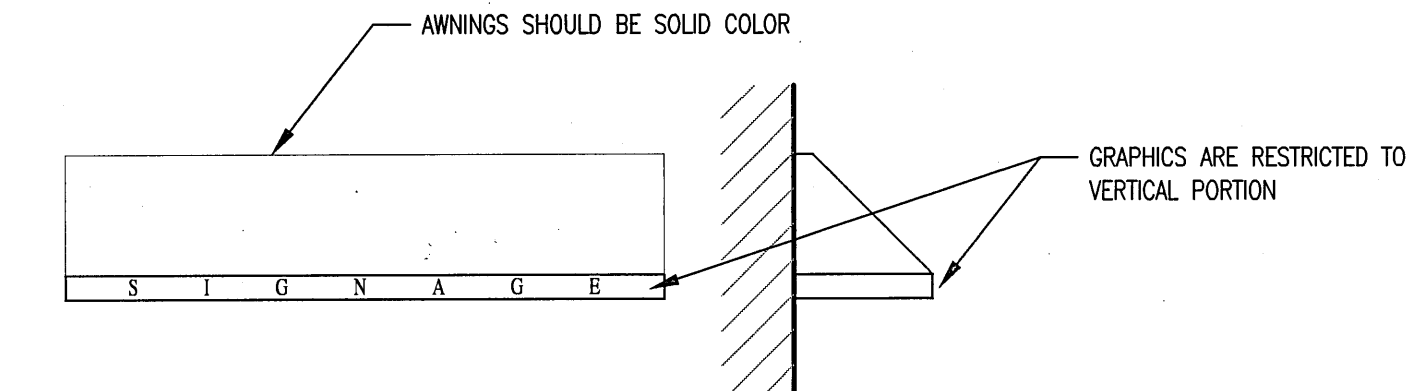
4 Primary Signage Elevation
1/4"=1'-0"



3 Secondary Signage Elevation
1/4"=1'-0"



2 Blade Sign Elevation
1/4"=1'-0"



1 Awning Elevations
1/4"=1'-0"

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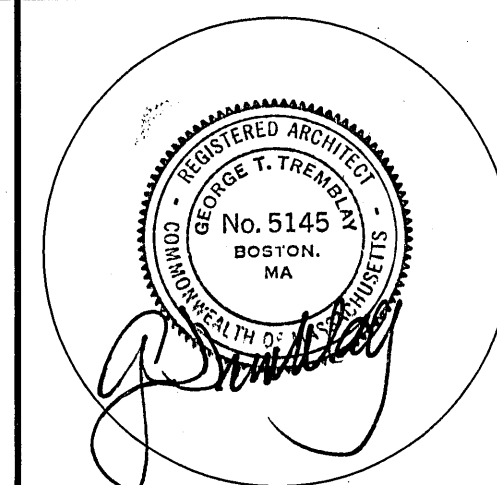
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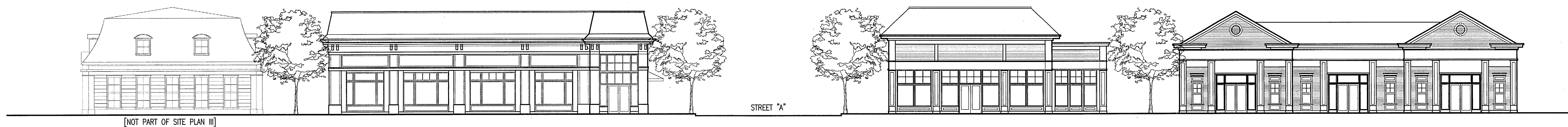
Project No: 06065
Drawn By: dmb
Checked By: MWEM
Issue Date: 24 JUNE 2008
Revision Date:



Drawing Title:
Signage Elevations
Drawing Number
A4.4
SCALE As Noted



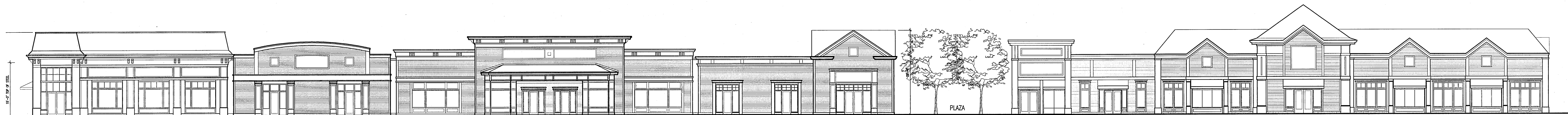
4 Street "B" East Elevation – Proposed 2-E and 2-F in Context
1/16"=1'-0"



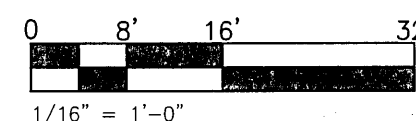
3 Street "B" West Elevation – Proposed 2-B, 2-C and 2-D in Context
1/16"=1'-0"



2 Street "A" North Elevation – Proposed 2-C, 2-F and 2-G in Context
1/16"=1'-0"



1 Street "A" South Elevation – Proposed 2-B and 2-A in Context
1/16"=1'-0"



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Proponent:

Twenty Wayland, LLC
260 Boston Post Road, Suite 9
Wayland, MA 01778

Project:

Wayland Town Center
400 Boston Post Road
Wayland, Massachusetts

Site Plan III Approval
Submission

Project No: 06065
Drawn By: dmb
Checked By: MWEM
Issue Date: 24 JUNE 2008
Revision Date:



Drawing Title:
Streetscape Elevations

Drawing Number
A5.2

SCALE 1/16"=1'-0"

Wayland MUOD Phase I Site Plan Review

Prepared by The Cecil Group - 8/12/08

RE: Peer Review of Selected Building Components;

Site Plan III Application

Architectural design components of Buildings 2-A, 2-B, 2-C (partial building), 2-D, 2-E, 2-F, 2-G in Building Envelopes III, VI, and VII

Plans and Documents Submitted for Review

- Cover letter, written report and application, signed by Francis X. Dougherty, dated June 24, 2008
- Set of plans entitled, Site Plan I Approval Submission, stamped by George Tremblay, Architect, dated 24 June 2008

<u>Regulatory Standard/Reference</u>	<u>Applicability</u>	<u>Findings and Recommendations</u>
Zoning Bylaw [STM 2006] §198-2304. Approvals Process. 2304.4.4. Phase I Site Plan Review.	Applies to submission	Phase I Site Plan submitted for review
2304.4.4.1. Prior to the issuance of a building permit the Planning Board shall conduct a Phase I Site Plan Review.	Applies to submission	Phase I Site Plan application materials submitted for review and checked for completeness
2304.4.4.2. The applicant shall submit an application and plans showing:	Applies to submission	Phase I Site Plan application materials submitted for review and

		checked for completeness.
<ul style="list-style-type: none"> • building design and elevations; 	Applies to submission	Approximate footprints, with floor plans, building materials, and elevations included in the submission.
<ul style="list-style-type: none"> • signs; 	Applies to submission	Building/tenant identification sign locations, sizes and types included in the submission.
<ul style="list-style-type: none"> • landscaping; 	Does not apply to submission	Information submitted in other applications.
<ul style="list-style-type: none"> • lighting; 	Does not apply to submission	Information to be submitted in subsequent applications.
<ul style="list-style-type: none"> • parking; 	Does not apply to submission	Information submitted in other applications.
<ul style="list-style-type: none"> • compliance with the MUP Master Special Permit; 	Applies to submission	This document includes applicable criteria from the MUP Master Special Permit for review of compliance.
<ul style="list-style-type: none"> • and any other documents required by the MUP Master Special Permit and the Planning Board's rules and regulations for the MUOD. 	Applies to submission	This document includes applicable criteria from the MUP Master Special Permit and MUOD Rules and Regulations for review of compliance.
The Planning Board shall review the application and plans to determine whether the proposed building(s) and associated improvements are consistent with:	Applies to submission	This document includes applicable criteria for review of compliance.
<ul style="list-style-type: none"> • the performance standards 	Applies to	This document includes applicable

set forth in Section 198-2309 and	submission	criteria for review of compliance.
<ul style="list-style-type: none"> the specific conditions of the MUP Master Special Permit. 	Applies to submission	This document includes applicable criteria for review of compliance.
§198-2308. Dimensional Requirements and Aggregate Limits.	Applies to submission	Compliance noted below
2308.1.2. Maximum Building Height. Height shall be as defined in Section 198-701.1.2, except that penthouses shall refer only to mechanical penthouses and that none of the items referred to in that section are used for occupancy purposes. Height shall be measured in accordance with the provisions of Section 198-104.2.	Applies to submission	Maximum building heights are in conformance with bylaw and Special Permits (see table - Building Heights).
2308.1.3. Maximum Building Size. No building shall exceed 60,000 square feet of Gross Floor Area.	Applies to submission	Maximum building size is in conformance.
2308.2. The total amount of development allowed under Article 23, exclusive of any uses related to a wastewater treatment facility, is limited to 372,500 square feet of Gross Floor Area, of which 40,000 square feet of Gross Floor Area can be used only for municipal uses. 2308.2.1. The non-residential component of any Mixed-Use Project, exclusive of municipal uses and any uses related to a wastewater treatment facility, shall be limited to 165,000 square feet of Gross Floor Area. Not more than 156,750 square feet of such Gross Floor Area shall be dedicated to retail uses. Not more than 10,000 square feet of such Gross Floor	Applies to submission	Maximum building size in conformance.

Area shall be dedicated to office uses.		
2308.3. Aggregate limits on sizes and numbers of individual establishments. 2308.3.1. To ensure a mix of larger and smaller establishments devoted to retail, service, assembly or restaurant use, and without limiting the size or configuration of buildings, the size and number of individual establishments in the MUOD taken as a whole shall not exceed the following aggregate limits: [deleted for space]	Applies to submission	The submission includes Zone III, VI and VII which allows Categories B, C, D and E. Allowed building program and uses are indicated in Table A of the Master Special Permit decision (see below)
§198-2309. Performance Standards.	Applies to submission	Sections on Massing, Signs, and Efficiency of Design directly apply to this building design proposal.
2309.2. Massing.	Applies to submission	Compliance as noted below.
2309.2.1. Massing within the MUOD should promote buildings designed in a traditional New England style and create a Mixed-Use Project with an authentic, New England regional character to its buildings.	Applies to submission	The architectural elements are individually related to the New England regional style of architecture. The drawings add elements that were previously discussed in the Site Plan I review
2309.2.1.1. Any buildings proposed for a Mixed-Use Project shall provide visual relief, generally every 30 feet, along the façade of each building.	Applies to submission	<p>The standard is generally met with use of trellises on wide wall areas.</p> <p>It is recommended that the Planning Board find appropriate conformance with this standard conditional on approval of the</p>

		landscape and streetscape submissions that show the proposed treatments.
2309.2.1.2. Building design throughout a Mixed-Use Project shall include designs which promote visual relief by including varying roof lines and roof heights.	Applies to submission	The submission includes a design with visual relief.
2309.2.1.3. A Mixed-Use Project shall include residential buildings and buildings with multiple non-residential uses and a mix of buildings containing single or multiple establishments.	Applies to submission	The submission proposes a mix of buildings with multiple establishments.
2309.4. Signs.	Applies to submission	Conformance as noted below.
2309.4.1. Signage must (a) be in keeping with a traditional New England town center; and (b) be integrated into the overall architectural design of the Mixed-Use Project.	Applies to submission	<p>The signage does indicate traditional and variable placements and types.</p> <p>The signage shown is considered integrated with the overall architecture.</p>
<p>2309.4.2. The following dimensional standards apply: Excerpt: Category E:</p> <p>Single Primary Wall Sign up to 40 sq.ft.</p> <p>Single Secondary Wall Sign up to 25 sq.ft.</p> <p>An establishment can have only one primary wall, to be designated in the signage plans referenced in Section</p>	Applies to submission	<p>Tenant signage proposals for buildings indicated on Drawings A.4.2 to A.4.4. Areas and placements conform to requirements.</p> <p>Primary and secondary walls are indicated by sign designation. Variations in secondary and primary walls on the same building are provided to distinguish individual tenant spaces. The</p>

2309.4.6. All other designations will be made in the signage plans.		<p>windows and door openings reinforce the primary and secondary wall designations. In this way, Building 2-B provides a front façade to the public green as well as Major Street "A."</p> <p>However, interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined.</p>
2309.4.3. For Size Category B, the allowed aggregate area of an establishment's main signs on the primary wall can be up to 90 sq.ft.	Does not apply to submission	One Category B use is included in the Building 2-A. The sign is proposed as 60 sf in area so it falls under the maximum standard.
2309.4.4. For all Size Categories, the aggregate area of signage will be determined by special permit.	Applies to submission	<p>The Special Permit allows up to 6,384sf for Category E buildings, with an aggregate of 6,860sf total, which would include the other categories of buildings.</p> <p>However, interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined except for the Category B use.</p>
2309.4.5. Signs may be illuminated externally, but no sign can be illuminated internally.	Does not apply to submission	Lighting plan not yet submitted.
2309.4.6. The applicant shall prepare signage plans indicating aggregate signage, maximum sign area, and proposed lighting, demonstrating that	Applies to submission	Tenant signage proposals for buildings indicated on Drawings A.4.2 to A.4.4. Areas and

signs and proposed lighting will comply with Section 198-2309.4, Section 198-501 (except that the area and height limits specified in Section 198-501.1 shall not apply), and the Planning Board's rules and regulations for the MUOD.		placements conform to requirements. Lighting plans are not included in this submission. The review of conformance with the MUOD Rules and Regulations is in a separate section of this matrix.
2309.4.7. By special permit, the Planning Board may allow signage that varies from that which is permitted in Section 198-501.1 and Section 198-2309.4, including signage not on the same premises as the building, structure, or use to which the signage pertains (provided the signage is still within the MUOD).	Applies to submission	A Special Permit for signage was issued with the Master Special Permit decision. The proposal is found in conformance with the standards of the Special Permit.
2309.12. Efficiency of Design.	Applies to submission	Conformance noted below.
2309.12.1. Every effort shall be made to design buildings and use materials and construction techniques to optimize daylight in building interiors, natural ventilation, and energy efficiency; to minimize exposure to and consumption of toxics and non-renewable resources; and to incorporate appropriate "green" design techniques.	Applies to submission	Information on natural ventilation, energy efficiency, exposure to and consumption of toxics and non-renewable resources, and appropriate "green" design techniques are included in the submission. Most of the proposals are part of the building code enforcement and not zoning.
<u>MUOD Rules and Regulations [April 24, 2008]</u> ARTICLE IV Phase I Site Plan Review		

§ 304-12. Required Submittals. A. Application for Phase I Site Plan Review and Approval.	Applies submission	to	Compliance as noted below.
(1) The Application Form for Phase I Site Plan Review and Approval as provided by the Planning Board.	Applies submission	to	Submitted
(2) As part of the submittal of the Application for Phase I Site Plan Review and Approval, as set forth in these regulations, the applicant shall provide the information listed in § 304-12.	Applies submission	to	Submitted
(3) In accordance with §304-6, the Planning Board may waive any information requirements listed below in the review of a particular application.	Applies submission	to	Waivers for information are inherent in the limited submission and are considered appropriate to the application
(4) For the purpose of this Article, the word "existing" shall not refer to any structure, sign, light, or other element in existence on the site prior to the date of the adoption of this Article that is intended to be removed or demolished.	Applies submission	to	Use of word "existing" is addressed in the submission.
B. List of Requested Waivers. Any request for a waiver from these regulations shall be submitted as part of the application, which may be amended by letter before the Site Plan Application hearing is closed. Said requests shall include a statement that clearly identifies the provision or provisions of these regulations from which relief is sought and a statement setting forth the reason or reasons why, in the applicant's opinion, the	Applies submission	to	Information submitted only applies to the architectural plans for the six full and one partial building. Appropriate waivers are requested for all site- and utility-related requirements, which are provided in separate submissions.

granting of each such waiver would be in the public interest and not inconsistent with the intent and purpose of the Zoning Bylaws and these regulations.		
C. Site Plan Application Plans and Drawings. (1) General Requirements.	Applies to submission	Compliance as noted below.
a. Plan sheets shall not be larger than 24 by 36 inches and shall be clearly and legibly drawn.	Applies to submission	Submitted
b. Each set of plans shall have a cover sheet depicting the USGS locus map, an appropriate title block, an index of plan sheets, and the numbering system used on the sheets. Legends of symbols can be presented on a drawing or on each drawing as determined by the design professional developing the drawing.	Applies to submission	Submitted
c. Each plan sheet shall contain an appropriate title block, North arrow (plan view civil drawings only), and scale of measurement.	Applies to submission	Submitted
d. Each plan sheet shall be stamped and certified by an appropriate Massachusetts licensed registered professional such as an architect, landscape architect, land surveyor, and/or professional engineer.	Applies to submission	Submitted
e. Site grading for existing and proposed conditions. Proposed site grading should refer to the National Geodetic Vertical Datum, and identify the location and elevation of existing permanent benchmarks on the site. If no benchmarks exist on-site, then proposed	Does not apply to submission	

benchmarks should be depicted.		
f. Base plans shall be prepared so that layers of information can be later combined in a single plan sheet.	Applies to submission	Submitted
(2) Any site plan for which an applicant seeks approval shall be presented at a suitable scale, which shall be shown on each sheet of said plan. Said plan shall be clearly and legibly drawn, so as to fully depict and detail the intentions of the applicant. A site layout plan shall be submitted in a form suitable for recording.	Applies to submission	Submitted plans provide the requested information. Notations are included where additional detail is recommended to complete the required findings and decision.
(3) The use of multiple sheets in preparation of the site plan is encouraged if the submission of the plan on a single sheet renders the information unreadable or confusing. These sheets shall be labeled such that the labels may serve to distinguish these multiple sheets (i.e. General Site Plan, Utility Plan, Landscape Plan, and Details Plan); however, applicants should present the information in the most effective manner. Where multiple plan sheets are used, an index and numbering system shall be provided for convenience.	Applies to submission	Submitted
(4) The cover sheet shall include an appropriate title block and North arrow. Space shall be provided for endorsement, including the date, with the caption "Date Site Plan Endorsed: _____."	Applies to submission	Cover sheet includes all information except for North arrow. However, USGS map indicates north/south and east/west.
(5) A checklist of all of the items listed in this section, Sections §304-	Applies to	The June 24 submission lists the

12 Subsections A through E, shall be included with the application, with each item marked either "Applicable, see site plan, sheet(s) No. ____" or "Not applicable, request for waiver submitted." The site plan drawings shall provide the following information, as applicable (all lines, boundaries, setbacks, etc., must be labeled and must show precise dimensions and directions and all lots, districts, footprints, etc., must show precise areas, in acres and in square feet):	submission	requirements but does not indicate which sheet provides the information. With the few sheets submitted, the information can be found. However, it is recommended that future submissions include the cross-referencing.
a. The plans shall show all of the following general site characteristics on or related to the site:	Applies to submission	Compliance as noted below.
1. The locus at a scale of one inch equals 1,000 feet for a minimum radius of 1/2 mile centered on the site shall be shown on one sheet	Applies to submission	Submitted
2. At a minimum one sheet shall depict a legend identifying any representative symbols used on the plans in the application.	Does not apply to submission	Waiver requested and acceptable for this submission.
3. Lot lines and boundaries of the site, with permanent bounds, and abutters with their property lines indicated shall be shown on at least one sheet	Does not apply to submission	Waiver requested and acceptable for this submission.
4. Existing and proposed easements shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
5. Existing and proposed internal and adjacent private and public rights-of-way, edges of pavement and other surface and subsurface features within	Does not apply to submission	Waiver requested and acceptable for this submission.

said rights-of-way shall be shown on at least one sheet.		
6. Zoning districts (including the Floodplain and Aquifer Protection Districts) shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
7. Existing and proposed topography at two-foot intervals, referenced to the National Geodetic Vertical Datum, with the location and elevation of the permanent benchmark, plus at least two additional permanent benchmarks on the site.	Does not apply to submission	Waiver requested and acceptable for this submission.
8. Areas intended for use as open space shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
9. Wetlands and wetland buffers, as defined in MGL c. 131, § 40 shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
10. Watercourses and water bodies, including ponds, streams, brooks and ditches shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
11. Special site features, including stonewalls, fences, historic structures, ledge outcroppings, large trees, etc shall be shown on at least one sheet.	Does not apply to submission	Waiver requested and acceptable for this submission.
b. The plan set shall include drawing(s) that collectively show all of the following site improvements on or related to the site:	Applies to submission	Compliance as noted below.
1. The outline or footprint of existing and proposed structures.	Applies to submission	Proposed building footprints shown for seven structures, 2-A through 2-G. Proposed Buildings 3-A and 5-

		A are only indicated generally. Existing building footprint in this area is the existing office building which is to be demolished.
2. Building design and elevations of the front, sides and rear of existing and proposed structures; with materials, colors, and maximum heights indicated.	Applies to submission	Colors of the materials are not indicated in the submittal transmitted to this office. General information on the proposed building façade materials is indicated.
3. A table summarizing the gross floor area proposed for the retail, office, municipal, and residential uses.	Applies to submission	Table is provided in the submittal.
4. Setbacks to either the property line or the prominent curb line as defined in the MUOD zoning or the Master Special Permit decision, including building envelope as applicable, for proposed structures and parking and loading facilities.	Applies to submission	Waiver requested and acceptable for this submission.
5. Existing and proposed signs.	Applies to submission	Tenant and building signs shown on the submitted plans A4.2-A4.4.
6. Existing and proposed lighting.	Does not apply to submission	Waiver requested and acceptable for this submission.
7. Proposed landscaping, buffer area plantings, and other screening elements.	Does not apply to submission	Waiver requested and acceptable for this submission.
8. Areas intended for outdoor storage, indicating whether fenced or enclosed.	Does not apply to submission	Waiver requested and acceptable for this submission.
9. Underground storage containers for fuel or other chemical storage, including type, capacity, and	Does not apply to submission	Waiver requested and acceptable for this submission.

anticipated contents of each container.		
10. Existing and proposed sidewalks, walkways, driveways and accesses to the site.	Does not apply to submission	Waiver requested and acceptable for this submission.
11. Existing and proposed parking and loading facilities, including any proposed landscaped areas within the perimeter of a parking facility. Number and location of parking spaces, including handicap spaces, must be shown on the plan. Areas proposed for reserve parking shall be identified.	Does not apply to submission	Waiver requested and acceptable for this submission.
C.(5)c.1.-7., C.(5)d1.-5., and C.(5)e.1.-4.	Do not apply to submission	Waiver requested and acceptable for this submission.
D. Written Submittals.	Applies to submission	Compliance as noted below.
(1) Documentation demonstrating how the Phase I Site Plan Application incorporates the conditions and recommendations of the Master Special Permit shall be submitted.	Applies to submission	A written report is provided and addresses requirements and requested information.
(2) It is recognized that multiple Site Plan Applications may be provided for the Mixed Use Overlay District project due to anticipated construction and/or market phasing.	Applies to submission	A schedule has been provided and discussed.
MIXED USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN APPROVALS DECISION - CORRECTED [January 17,2008]		
Board hereby grants:		
a.) a master special permit pursuant to	Applies to submission	Total building area in this submission is less than that

§198-2304.3 of the By-Laws for the construction of a MUP on the Locus consisting of up to (i)165,000 square feet of gross floor area ("GFA") which shall be used for nonresidential purposes as set forth in Table A of Article 23 of the By-Laws, exclusive of municipal uses and any uses related to a wastewater treatment facility;		allowed by the decision.
b.) a special permit pursuant to §198-2305.3 of the By-Laws to exceed the 35-foot maximum height of structures allowing... (ii) a maximum building height of 42 feet for buildings containing second story office within Building Envelopes III, IV, VI and VII (nonresidential); and	Applies to submission	The proposed buildings are located in Building Envelopes III, VI, and VII; where Building 2-F in VII is presumed to include second floor office because the maximum building height is shown as 42'2" and Building 2-A in Building Envelope III is 36'8", but it is not clear if the proposed use is second story office.
c.) a special permit pursuant to Table B of Article 23 to reduce the minimum setbacks for buildings and structures of 15 feet from the edge of curb to allow (i) a minimum setback of 13 feet and 6 inches (13" 6") along Major Streets as defined in Condition IV B 1 a.) in the MUP, measured from the predominant curb line, excluding pedestrian bump-outs; (ii) no minimum setback from other roadways or parking areas in the MUP;	Applicant has requested a waiver for site plan information for this submission.	Street layout is not included in this submission and the setbacks can not be measured at this time.
d.) a special permit pursuant to Table A of Article 23 of the By-Laws to allow restaurants with outdoor seating in such locations as may be approved in	Applicant has requested a waiver for site	Streetscape and site plans are submitted separately.

Phase I Site Plan Review;	plan information for this submission.	
e.) a special permit pursuant to Table A of Article 23 of the By-Laws to allow a bank with drive-up windows;	Applicant has requested a waiver for site plan information for this submission.	Submitted building plans do not indicate a drive-up window.
f.) a special permit pursuant to §198-2309.4.4 of the By-Laws to allow (1) aggregate area of wall signage for establishment size categories as follows:	Applies to submission	Zones III, VI and VII allow Categories B, C, D and E.
Size Category A - 586 square feet; Size Category B - 540 square feet; Size Category C - 504 square feet; Size Category D - 840 square feet;	Do not apply to submission	Categories of establishments not indicated in this submission
Size Category E - 6,384 square feet;	Applies to submission	Aggregate of signs proposed are less than total allowed
with an aggregate of 6,860 square feet for all establishment size categories collectively	Applies to submission	Aggregate of signs proposed are less than total allowed
b.) a modification of the off-street loading requirements of §198-507.1 of the By-Laws to allow loading for establishments in size Categories B, C, D and E without a loading dock, though any door of the establishment, unless otherwise specified in Phase I Site Plan Review as to Size Category B establishments.	Applies to submission	Submitted building plans do not include proposed locations for loading docks. This is acceptable for the indicated Size Category B and E establishments. However, the Planning Board could indicate the loading door for the Category B use as noted below.

<p>Consistency with Plans. Construction and development of the MUP shall be consistent with the plans approved in Phase I Site Plan Review, except for <i>de minimis</i> variations. [edited for space]</p>	Applies submission to	<p>The submitted building plans do not include a site layout, so site dimensions do not apply to this submission. However, the buildings are located where the Master Special Permit Exhibit A indicates the buildings.</p> <p>The building heights vary from the maximum allowed in the Special Permit.</p>
<p>B. Site Design and Layout 1. Streets, Ways, Driveways and Passageways (including sidewalks, crosswalks, mews, bike paths and public green).</p>	Applies submission to	Compliance as noted below.
<p>a.) Layout and location; relocation. ... Not less than two (2) mews shall be provided within each of Building Envelopes III, VI and VII to provide pedestrian access between parking areas and the applicable major streets and/or the Public Green; provided that if buildings are not constructed on both sides of any such access way, then the same may be constructed as a walkway rather than a mews.</p>	Applies submission to	<p>The submission sets the location of four of the mews in Zones III, VI, and VII by the positioning of the adjacent buildings. While the streetscape and landscape treatments are not shown, the building walls facing and defining the mews are described. The design of Building 4-A should complete the requirement for location of mews.</p> <p>Separate site and landscape plans have been reviewed.</p>
<p>2. "Zones" - Locations of Uses. The locations of allowed uses within the MUP shall be as shown on the plan entitled "Building Envelopes" and as set forth in Table A below.</p>	Applies submission to	The proposed buildings are in compliance with the Building Envelopes shown in Exhibit A, and the Table A.

b.) Commercial.	Applies submission	to	All uses of the submitted buildings are commercial uses.
(i) Definition of categories of interchangeable uses for establishments not requiring Phase II Site Plan Review. Each of the following separately (i.e., changes from one numbered category listed here to another are not interchangeable, except for changes between accessory uses and their principal uses) constitutes an MSP-defined category of interchangeable uses: [as below]	Applies submission	to	Compliance as noted below.
(1) All office uses other than diagnostic medical laboratories appurtenant to offices of physicians and dentists and bank or financial institution with drive-up window.	Applies submission	to	Interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined.
(2) All retail uses other than the food store located in the Size Category A Establishment.	Applies submission	to	Interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined.
(3) All service establishments other than printers and similar shops and trades and dry cleaning or laundry establishment (as distinguished from "pick-up station").	Applies submission	to	Interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined.
(4) All restaurants.	Applies submission	to	Interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be

		determined.
(5) All accessory uses.	Applies to submission	Interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined.
(ii) The Applicant shall make reasonable efforts to include a Size Category B establishment in Building Envelopes VIII and III or IV, but not both III and IV with none in VIII, unless the Applicant presents an architectural design that minimizes the apparent size, scale and mass of one or both of such buildings in III and IV, as reasonably determined by the Board during Phase I Site Plan Review.	Applies to submission	Building 2-A in Building Envelope III includes a Category B use, as indicated by the signage. This item should remain open until subsequent submittals define the remaining building in Building Envelope VIII.
(iii) During Phase I Site Plan Review, the Board reserves its right to require that buildings in Building Envelopes III and IV be located as close as possible to the minimum setback from Street "A". Where building setbacks are greater than 13 feet 6 inches from the predominant curb line, additional activity areas such as outdoor cafés and plazas, or landscaped relief and walkways shall be shown on plans presented during Phase I Site Plan Review, except for Building Envelope V.	Applies to submission	Buildings 2-A and 2-B are located in Envelope III and are proposed at approximately the same location shown on the Master Special Permit diagram, Exhibit A. However, the site plan and street layout are submitted separately.
(iv) To the extent applications for Phase I Site Plan Review and Approval as to each of Building Envelopes III, IV, VI, VII and VIII do not present for approval all buildings contemplated to be located within the applicable	Applies to submission	Building 4-A is presented as a "reserved building."

Building Envelope, the Applicant shall include generic representations of any such buildings not presented for approval within the applicable Building Envelope (the "Reserved Buildings"). When the Applicant presents any Reserved Buildings for Phase I Site Plan Review, such Phase I Site Plan Review shall be limited to the elements not previously presented and approved and shall be conducted as expeditiously as possible.		
1. Buildings a.) Design and architectural character.	Applies to submission	Compliance as noted below.
(i) Buildings in the MUP shall be designed in a traditional New England style and substantially in accordance §198-2309.2.1.1 and §198-2309.2.1.2 of the By-Laws, as determined by the Board in Phase I Site Plan Review.	Applies to submission	The design concepts for the buildings respond to previous comments on the Site Plan Review and are considered acceptable.
Every effort shall be made to design buildings and use materials and construction techniques to optimize daylight in building interiors, natural ventilation, and energy efficiency; to minimize exposure to and consumption of toxics and non-renewable resources; and to incorporate appropriate "green" design techniques.	Applies to submission	"Green" design elements in the construction are indicated in the attachment to the application. While appropriate, there is little specificity to the ideas. As an example, proposed façade materials shown in the submission could incorporate recycled material.

<p>Board shall use as guidance (A) the building design guidelines promulgated by the Board for the Concept Plan Phase of the MUP application process and (B) the applicable illustrative portions of the plans submitted by the Applicant and referenced in Part I of this Decision. Although said portions of the plans and guidelines are not binding on the Applicant or the Board, they constitute a basis for the Board's evaluation of plans and drawings submitted to the Board during Phase I Site Plan Review, and if the Board believes there to be a material departure from the style of architecture set forth in said portions of the plans and guidelines, then, at the Board's request during Phase I Site Plan Review the Applicant shall explain and show the manner in which any particular elements identified by the Board in such request have precedents in authentic buildings or structures that the Applicant considers to conform to a traditional New England style and the Board shall determine whether the proposed design so conforms.</p>	<p>Applies submission to</p>	<p>The building design guidelines are discussed below in a separate section.</p> <p>The discussion on the conformance with the applicable sections of the bylaw and the submissions is discussed above.</p> <p>The recommendation is to consider the suggestions and recommendations of this report before deciding on conformance.</p> <p>Overall, the design concepts are found to be an improvement over previous submissions.</p>
<p>b.) Height. The maximum height of all buildings in the MUP shall be 35 feet, except where a greater height is allowed by this decision.</p>	<p>Applies submission to</p>	<p>Building 2-A in Building Envelope III is shown as 36'8". Building 2-F in Building Envelope VII is shown as 42'2". The other buildings do not exceed the maximum height.</p>

c.) Envelopes. Subject to the limitations in Paragraph IV B 2 above, the buildings in the MUP shall be constructed within the building envelopes as shown on Exhibit A.	Applies submission	to	The proposed building program generally conforms to the regulations and decision. However, final positioning is not included.
5. Loading. a.) Establishment Size Categories B, C, D and E. Loading is permitted without a loading dock though any door of the establishment, unless otherwise specified in Phase I Site Plan Review as to Establishment Size Category B.	Applies submission	to	One Category B use is included in Building 2-A. The north elevation of this building has limited entries, is located on a larger plaza area, which has several parallel parking spaces adjacent to it. One storefront opens up on this plaza but is not indicated as the entry for the Category B use. Otherwise, loading will occur from Major Street A.
E. Signage	Applies submission	to	Compliance as noted below.
1. Compliance with By-Laws. All exterior signs in the MUP shall comply with the provisions of §198-2309.4 of the By-Laws, except where variations for such requirements are permitted by special permit(s) issued by the Board.	Applies submission	to	The allowances for exterior signage have been further clarified by the MSP decision attachment, Signage Summary.
5. Tenant-Establishment Signs. a.) Wall signs.	Applies submission	to	Compliance as noted below.
(i) Wall signs for commercial establishments in the MUP shall comply with the dimensional requirements of §198-2309.4.2 and §198-2309.4.3 of the By-Laws.	Applies submission	to	The proposed buildings show single sign, primary wall and secondary wall tenant signs which could conform to the dimensional requirements under the Bylaws for Size Category B, C, D, and E uses.

(ii) The aggregate area for signage for wall signs for each size category of establishment shall be as set forth in Paragraph 1 of the Signage Summary.	Applies submission	to	Interior spaces are not indicated in the submission and specific size categories associated with the facades and signs can not be determined.
(iii) Primary and secondary walls for wall signs for purposes of §198-2309.4.2 shall be designated during the Phase I Site Plan Review Process.	Applies submission	to	The primary and secondary walls are defined by the location of sign types on sheets A4.2-A4.4 of the submission.
b.) Blade, awning and identification signs. (i) The numbers and areas of blade, awning and identification signs for each size category of establishment shall be as set forth in Paragraph 2 of the Signage Summary.	Applies submission	to	The blade and awning signs are indicated on the sheets. The identification signs (ID/Hours/Misc.) are not indicated on the plans.
c.) Consistency with Plans. All tenant establishment signage within the MUP shall be designed and constructed substantially in accordance with plans approved in Phase I Site Plan Review.	Applies submission	to	Appropriate as a condition of an approval.
MUOD Design Principles	Applies submission	to	The building design principles apply as guidance in accordance with the conditions of the Master Special Permit decision. Compliance is noted below.
2. Massing Summary of bylaw: Design according to	Applies	to	Discussion on conformance was

traditional New England style and authentic New England regional character.	submission	discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.
a. Building scale and shapes - A range of building size and roof forms is considered typical of the New England regional character of village centers that is consistent with the image and history of Wayland. Highly repetitive building forms, sizes or scales are not in keeping with this tradition. Variations in articulation of the facades can also add to the visual interest. However, whereas traditional centers were built with the buildings relating to one another, too highly varied building forms do not create an identity of place. The designers should consider both aspects in the design.	Applies to submission	Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.
b. Hierarchy - The design of the buildings and location of uses should create distinctions in use and design. Commercial building elements should allow easy recognition of the uses, entrances and areas that are intended to invite and engage the public and reflect the more traditional New England main street of compact, closely-knit buildings that support a pedestrian environment. Residential buildings should be designed and articulated to suggest a scale appropriate to a suburban and rural area, and provide private views and spaces for the residents. Mixed-use buildings should provide combinations	Applies to submission	<p>Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.</p> <p>Building 2-F is to have residential units on the second floor. However, all of the entries into the building resemble the other commercial doors. It is recommended that the residential entries have a distinct design so as to make them recognizable as private entries.</p>

of the use indicators, but focus on the commercial and pedestrian aspects. Entrances, signs and windows area some of the key elements that should distinguish and differentiate the uses and spaces.		
c. Historic context - “To a great extent, the personality and individuality of a town like Wayland is the result of its early history...” The Applicant is encouraged to examine the historic building patterns, materials, forms and planning principles that guided settlement in Wayland. The Wayland Public Library is a valuable example of a public building. Important historic buildings such as the Knights of Labor/Grange Hall and the Griffin House should be researched for elements applicable to the largest buildings. Beyond respect for indigenous architecture, applicants are also encouraged to research Wayland’s historical past for events which may deserve commemoration. Refer also to the Attachment, Historical Images.	Applies to submission	Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.
d. Proportional building heights - Heights of buildings should be scaled in proportion to the existing and historic character of Wayland. Public buildings and institutions are usually the tallest structures. Traditional and unique architectural elements in the public buildings can establish these buildings as special places. Commercial buildings may typically be one story, but variations in the dimensions	Applies to submission	Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.

created by multiple stories and traditional roof outlines may appropriately add bulk to the building mass.		
e. Buildings with individual integrity, not complexes - Traditional New England communities that should serve as a source for massing were created with separate buildings on individual lots. Rooflines should not imply the character of large connected complexes of uses within more massive, connected structures. While multiple uses and multiple storefronts are traditionally combined within a single building, each building appears to have its own integrity visible in its massing and the sense of distinction that was historically associated with different ownerships.	Applies to submission	Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.
f. Varied roof profiles - The rooflines should provide a varied profile against the sky as seen from the internal circulation network and as may be visible from surrounding areas.	Applies to submission	Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.
g. Simplicity of forms - The varied roofline should not be continuous in materials and color over multiple storefronts, unless clearly associated with the building façade. In general, roof forms should be simple and avoid excessive articulation. Avoid the use of applied roofs as merely decorative elements.	Applies to submission	Discussion on conformance was discussed in Site Plan I. The principles advanced in that review have been incorporated in this submission.
j. Mix of commercial uses - The Mixed Use Project should take full advantage	Applies to	The proposal is in keeping with

of the MUOD bylaw that allows multiple, small-scale commercial uses that will be integrated with one, medium-scale commercial use within the district. The careful use of signage to distinguish and engage is encouraged to accomplish this integration. Also refer to: 4. Signs, below.	submission	this concept.
4. Signs	Applies to submission	See discussion of conformance below.
Summary of bylaw: According to a traditional New England town center; and integrated with the architectural design.		
a. Historic qualities - The signage should reflect the historic and architectural qualities of the buildings. Flush signs, blade/projecting signs, and awning signs can be used where appropriate.	Applies to submission	The proposal is in keeping with this concept.
c. Message - Signs should present a clear message and be compatible in terms of type, size, color, and material with the building they serve.	Applies to submission	The proposal is in keeping with this concept.
d. Placement - The style and placement should complement the architectural character of the building. Signage that covers or obscures significant architectural details of the building should be avoided.	Applies to submission	The proposal is in keeping with this concept.
e. Multiple storefronts - In a multiple storefront building, the signage should be of a size, location, material and color that relates harmoniously between bays.	Applies to submission	The proposal is in keeping with this concept.

End of Review Comments
