

**TOWN OF WAYLAND - TOWN CLERK'S OFFICE**  
**NOTICE OF MEETINGS OF TOWN BOARDS/COMMITTEES/COMMISSIONS**

Posted in accordance with the provisions of the Open Meeting Law

RECEIVED  
TOWN CLERK  
2019 NOV -4 PM 1:44

NAME OF BOARD/COMM: **Conservation Commission**  
FILED BY: Linda Hansen, Conservation Administrator  
DATE OF MEETING: Thursday, November 7, 2019  
TIME OF MEETING: **7:00pm**  
PLACE OF MEETING: Wayland Town Building (Council on Aging) – 41 Cochituate Rd.

**NOTE:** Notices and agendas are to be posted at least 48 hours in advance of the meetings excluding Saturdays, Sundays, and legal holidays.

**Revised Proposed Meeting Agenda – Thursday, November 7, 2019**

*Items without a specific time noted may be taken out of order at any time during the meeting.*

1. **Citizens Time:** Designated time for input to the Commission regarding items that are *not* on the agenda.
2. **Public Hearing:**
  - a. **7:00 - 490 Boston Post Road (River's Edge), DEP File No. 322-942: Continued Public Hearing:** Notice of Intent filed pursuant to the Wetlands Protection Act and a Chapter 194 application filed pursuant to Wayland's Wetlands and Water Resource Protection Bylaw, filed by WP East Acquisitions LLC for construction of a multi-family residential community comprised of two buildings, on-site wastewater treatment facility, garage, and surface parking and driveways, drainage improvements, and other site amenities such as a pool and gym at 490 Boston Post Rd, Wayland, MA. Property is shown on Assessor's Map 22, Parcels 003 (Portion), 006, and 007 (Portion).
  - b. **7:45 - 5 Glen Road, DEP File No. 322-0947. Continued Public Hearing:** Notice of Intent filed pursuant to the Wetlands Protection Act and a Chapter 194 application filed pursuant to Wayland's Wetlands and Water Resource Protection Bylaw, submitted by Nasif Quadir for construction of garage and second floor addition with septic installation within buffer zone to bordering vegetated wetlands at 5 Glen Road, Wayland, MA. Property is shown on Assessor's Map 24, Parcel 166.
  - c. **8:15 - 51 Riverview Circle, DEP File No. 322-946. Continued Public Hearing:** Notice of Intent filed pursuant to the Wetlands Protection Act and a Chapter 194 application filed pursuant to Wayland's Wetlands and Water Resource Protection Bylaw, submitted by Nasif Quadir for construction of a garage and septic installation in bordering land subject to flooding at 51 Riverview Circle, Wayland, MA. Property is shown on Assessor's Map 36C, Parcel 46.
  - d. **9:00pm - 25 Barney Hill Road, D-945:** Request For Determination of Applicability filed pursuant to the Wetlands Protection Act and a Chapter 194 application filed pursuant to Wayland's Wetlands and Water Resource Protection Bylaw, submitted by Brian Masse for the construction of a shed at 25 Barney Hill Road, Wayland, MA. Property is shown on Assessor's Map 44, Parcel 042.
3. **Certificate of Compliance Request,**
  - a. 9 Snake Brook Road, DEP File No. 322-690
4. **Other:**
  - a. January – June 2020 Meeting Schedule
  - b. Schedule Hearing For Chapter 193 Regulations

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5. **Approve Minutes:**
  - a. October 24<sup>th</sup>, 2019
6. **Adjournment**

The next Scheduled Conservation Commission Meeting is November 21<sup>st</sup>, 2019 and will be held in the Wayland Town Building.

***NOTE:** Per changes to the Open Meeting Law, notice of any meeting of a public body shall include "A listing of topics that the chair reasonably anticipates will be discussed at the meeting". AG's Office guidelines state that the list of topics shall have sufficient specificity to reasonably advise the public of the issue to be discussed.*

October 31, 2019

Wayland Planning Board  
 Town of Wayland  
 c/o Mr. Sarkis Sarkisian  
 Town Planner  
 41 Cochituate Road  
 Wayland, Massachusetts 01778

Wayland Conservation Commission  
 Town of Wayland  
 c/o Ms. Linda Hansen  
 Conservation Commission Administrator

803 Summer Street  
 Boston, MA 02127

Tel: 617-896-4300  
 800-288-8123

[www.bscgroup.com](http://www.bscgroup.com)

RE: ALTA at River’s Edge Residential Development  
 Wayland, MA  
 Planning Board and Conservation Commission Peer Review

Dear Mr. Sarkisian and Ms. Hansen:

BSC Group, Inc. (BSC) has completed a peer review of the Planning Board permits and Wetlands Notice of Intent submissions for proposed ATLA at River’s Edge residential development to be located at 490 Boston Post Road. This work is being undertaken under BSC’s contract dated August 5, 2019, as approved by the Town of Wayland on October 22, 2019.

**BASIS OF CURRENT REVIEW**

For this peer review, BSC reviewed the following documents:

**AVAILABLE PERMITTING DOCUMENTS – ALTA AT RIVER’S EDGE DEVELOPMENT**

Conservation Commission:

- Notice of Intent Filing, prepared by Allen & Majors, dated 07-03-2019;
- Drainage Report, prepared by Allen & Majors, dated 06-20-19, revised through October 18, 2019;
- Chapter 195 Application, dated 07-03-2019;
- Drainage Report, prepared by Allen & Majors, dated 06-20-2019, revised through October 18, 2019;
- Site Plans, prepared by Allen & Majors, dated 07-03-19 revised through October 18, 2019.

Planning Board:

- Site Plan Application C;
- ZBA Application for Variances, dated 06-20-2019, with supporting materials;
- Town Planner Checklist and Memo, dated July 2, 2019;
- Drainage Report, prepared by Allen & Majors, dated 06-20-2019, revised through October 18, 2019;

Engineers  
 Environmental Scientists  
 Custom Software Developers  
 Landscape Architects  
 Planners  
 Surveyors



- River's Edge Civil Plans 2019, prepared by Allen & Majors, dated 06-20-2019, revised through October 18, 2019;
- Hydrogeologic Evaluation Alta at River's Edge, prepared by GeoHydroCycle Inc., dated September 19, 2019;
- River's Edge Architectural Elevations 2019, prepared by The Architectural Team, dated 06-20-2019, revised through October 18, 2019.

Other Pertinent Reports and Studies:

- Phase I Environmental Site Assessment and Limited Phase II Investigation Report, prepared by Vertex Companies, Inc., dated August 7, 2019;
- Traffic Study, TEC Inc., 2013
- Sudbury River View Impact Study, 2013
- Massachusetts Wetlands Protection Act, MGL Chapter 131, Section 40.
- Massachusetts Department of Environmental Protection (DEP) Massachusetts Stormwater Handbook.
- The Town of Wayland Bylaws, Chapter 193, Stormwater and Land Disturbance.
- The Town of Wayland Bylaws, Chapter 194, Wetlands and Water Resources Protection
- The Town of Wayland Bylaws, Chapter 198, Zoning.
- The Town of Wayland Bylaws, Chapter 302, Site Plan Review and Approval.

## **PROJECT REVIEW COMMENTS**

BSC offers the Planning Board and Conservation Commission the following comments based on our review of the project and information detailed above.

### **I. Procedural Items and/or misc. comments**

- a. It is BSC's understanding that negotiations are currently underway between the Town of Wayland and the project proponent, WP Acquisitions, LLC. The resolution of these negotiations may have impacts to the proposed development project that are not foreseen at this time, which could require modifications and/or more detailed design for specific elements of the project, e.g. the design of the onsite sanitary sewage treatment facility and subsurface sewage disposal system.
- b. The proposed development plans show impacts to offsite areas to the west and east of the project site. To the west, proposed demolition and grading activities are shown on property contained within the Town of Sudbury. To the east, site access, grading, utilities connections, landscaping and drainage outlets are shown on property owned by the Town of Wayland.

**BSC recommends that approvals and/or easements for this work be sought from the appropriate municipal authorities for these impacts.**



- c. A general review of the State permitting required for this project indicates that a Groundwater Discharge Permit will be required from MassDEP for the proposed subsurface sewage disposal system (anticipated sanitary sewer flow of 37,380 gpd per page 1, Hydrogeologic Evaluation Alta at River's Edge), and a Highway Access Permit will be required from MassDOT (Boston Post Road is under MassDOT jurisdiction).
- d. BSC has reviewed the proposed development as it relates to project review thresholds under the Massachusetts Environmental Policy Act, MEPA. With the proposed development anticipated to generate at least 1,000 new vehicle trips per day (see page 6, under Item 5, Drainage Report) and the construction of 348 parking spaces, along with the required MassDOT Highway Access Permit, it appears that the project will trigger two of the MEPA thresholds under Transportation, 301 CMR 11.03 (6) 14. – 1,000 new vehicle trips per day and 150 new parking spaces, and 15. – 300 new parking spaces. **The above will require the filing of an Environmental Notification Form (ENF) for the proposed development with the MEPA office.**
- e. Understanding that the design, operation and details of the proposed onsite sewage treatment plant and subsurface disposal system are to be finalized in the near future, and that this system may involve the Town of Wayland, BSC has not reviewed this system.

**BSC recommends the appropriate Town boards and agencies, particularly the Wayland Board of Health, be involved in the review and approval of the final design of the proposed sewage treatment plant and subsurface disposal system.**

- f. Wayland Wetlands Regulations note “The Conservation Commission does not permit an increase in the rate or volume of runoff for frequent storm events (0.5” rainfall, 1” rainfall, 2-year storm event) and generally requires no increase in volume for 10-year, 25-year storm events and generally for 100-year events.” These regulations also require runoff calculations for 1” rainfall, 10-year and 100-year storm event. No calculations are included within the NOI for 0.5” rainfall and 25-year storm events.
- g. Acknowledging ongoing negotiations between the Town and the project proponent, a generalized construction schedule, as required under the various Town regulations, has yet to be developed or submittal as part of the local permitting process.

**BSC recommends the appropriate Town boards and agencies be involved in the review and approval of the final construction schedule.**

- h. Based upon a review of the proposed site grading for the River's Edge development, it is not clear how much cut or fill material will be generated during its construction, and whether any local approvals may be required for earth removal operations on the site.



- i. BSC wants to point out that the Headwall #2 outlet proposed at the eastern edge of the property will result in a new point source discharge to the adjacent property, which eventually flows into nearby Great Meadows Natural Wildlife Refuge lands, owned by the United States of America. BSC wants to make sure the Commission approves this discharge to the Federal Lands. We do note that the discharges from this outlet are proposed to meet the Massachusetts Stormwater Guidelines and will not exceed the pre-construction peak flows from the project site to this adjacent property.

## II. Technical Items

- a. Site Plans, Demolition and Erosion Control Plan, Sheet C-101: Perimeter sedimentation and Erosion Controls are shown along the proposed limits of work within the subject property. However, as noted under Item I. b. above, work associated with the proposed development will be undertaken outside the western and eastern edges of the proposed development, on separate properties. This work includes site access connections, grading, utilities connections, landscaping and drainage outlets.

**BSC recommends that the perimeter sedimentation and erosion controls be extended to encompass these offsite work areas.**

- b. Site Plans, Demolition and Erosion Control Plan, Sheet C-101: Several Stockpile & Staging Areas are noted on this plan. The northernmost staging area is located at the top of the existing bank which steeply slopes down to wetlands along the northern border of the site, close to the proposed location of the future storm drainage outfall, Headwall #1. The stockpile area is proposed to be surrounded with erosion and sedimentation controls, and there are similar controls along the perimeter of the project work area.

**BSC recommends that this Stockpile & Staging Area be shifted to provide more separation between the stockpile and adjacent top of slope, to avoid potential sedimentation from entering the wetlands downslope.**

- c. Site Plans, Layout and Materials Plan, Sheet C-102: The western portion of the project site lies within the Refuse Disposal Zoning District, which prohibits residential use within this zoning district. In addition, under the Land Usage Table, and its associated notes, for several dimensional controls Note 8 states "Relief from Town of Wayland Zoning Bylaws required." These dimensional controls include maximum lot coverage, minimum building setback, minimum front and side yards, maximum building height, and maximum number of dwelling units.

**BSC presumes these zoning dimensional control items will be addressed through River's Edge Zoning Overlay District and pending Zoning variance requests.**



- d. Site Plans, Layout and Materials Plan, Sheet C-102: Two 10' wide by 35' deep Moving Truck Parking Area spaces are provided along the northern edge of the proposed parking field. The access to these spaces is directly from the 24' wide driveway access, which are located adjacent to standard parking spaces.

**BSC recommends truck turning information be provided for these Moving Truck Parking spaces to insure there is adequate area to maneuver vehicles, particularly larger moving trucks more than 20' in length, into and out of these spaces.**

- e. Site Plans, Grading and Drainage Plan, Sheet C-103: The Site Plan shows extensive grading in the slope area immediately to the west of proposed Building 3. The proposed grading will have a 2:1 slope, range from a high point of elevation 169 to a low point, near the building, of elevation 142. A shallow swale, 2' to 3' deep, is proposed approximately 20' from the western face of Building 3. Two area drains with 12" diameter grates and rims at elevation 142 are located within the swale. These area drains will intercept runoff from the slope, drop into their structure, with inverts 3.2' and 3.4' below their rims, and convey it through a 6" diameter pipe into the overall site storm drainage system. The ground surface elevations at the northern and southern ends of this swale are proposed to be elevation 145.5 and 146.0, respectively.

Comparing the information regarding the proposed area drains, identified as AD#1 and AD#2 on the Site Plan and as shown on Details Sheet C-505, Detail 7, with the information contained within the Stormwater Pipe Sizing Table contained within the Section 6.7 of the Drainage Report, several minor discrepancies are noted. No information on AD#1 is found in the Pipe Sizing Table. The anticipated stormwater runoff to AD#2 for a 25-year frequency storm event calculated in the Pipe Sizing Table is 1.63 cfs. The required pipe size from AD#2 into the proposed storm drainage system is given as 12" in the Pipe Sizing Table. The rim elevation for AD#2 is given as 144.5 in the Pipe Sizing Table.

The floor elevation of the residential building is indicated to be elevation 146.5, with the floor elevation of the parking level below at elevation 135.5. BSC's concern relates to the proximity of the swale to the building, and the limited elevation difference between the top swale overflows at 145.5 and 146, and the building first floor elevation of 146.5. These overflow elevations provide between 0.5' to 1' of "freeboard" between the overflow elevations out of the swale and the adjacent first floor elevation. Typically, area drain grates have a limited capacity to allow inflow of runoff through their grate and into the structure to be conveyed into the overall storm drainage system.

**BSC would recommend that the project proponent's engineer review the design of the area drains, resolve the minor discrepancies noted above, utilize a 12" diameter drain pipe for the connections from the area drains into the storm drainage system, evaluate the inlet capacity of the area drain grates, and consider**



**providing overflows from the swale that will afford more freeboard between the overflow elevations and the adjacent building first floor elevations.**

- f. Site Plans, Grading and Drainage Plan, Sheet C-103: The Site Plan shows a retaining wall to be constructed at the southeastern corner of the project site located approximately 20' from the existing roadway Right of Way/property boundary at Boston Post Road. This retaining wall will provide the grade transition between the higher existing ground elevations along Boston Post Road and lower proposed grading for the proposed parking area. The vertical height of the retaining wall going from north to west to east will range from 2' to 8' to 5' to 0'. The proposed retaining wall will consist of a segmented block retaining wall, as shown on Site Plan Details Sheet C-505. Between the top of the wall and the roadway Right of Way/property line, a 3:1 slope is proposed to meet the existing grade at the property boundary.

A segmented type retaining wall requires that a geosynthetic reinforcement fabric be placed behind the face of the wall to provide adequate stability for the structure. This geo-fabric could extend 5' feet or more behind the wall face. BSC's concern is the constructability of this retaining wall, as the actual limit of construction will need to extend farther back into the existing slope and much closer to the property boundary.

**BSC recommends the project proponent's engineer review the proposed segmented block retaining wall design to address potential constructability issues that may be associated with this wall.**

- g. Site Plans, Grading and Drainage Plan, Sheet C-103: The Site Plan indicates there will be precast concrete curb (PCC) along the proposed parking areas. While there are earthen berms proposed along portions of the parking area located at the northern side of the development, there are sections of the parking where spaces are located immediately adjacent to the 1:1 to 3:1 slope that falls 15' or more vertically to the bottom of the slope.

**BSC recommends the project proponent's engineer consider utilizing guard rail or other safety measures to provide a barrier at the edge of those portions of the parking area immediately adjacent to the slope.**

- h. Site Plans, Grading and Drainage Plan, Sheet C-103: The Site Plan indicates that Headwall #1, located at the northerly edge of the development will discharge at an elevation of 125.23. A rip rap apron will be installed from the outlet headwall extending partially down the slope. See Site Plan Details, Sheet C-505, Detail 8. The Site Plan appears to indicate the rip rap apron will end about 15' from the outlet pipe headwall, at elevation 122. Below the end of the rip rap apron, the existing slope drops 5' vertically over 5' horizontally. It is understood that the toe of the slope in this area is generally at the limits of the Bordering Vegetated Wetlands (BVW), and that the Town typically requires a no-disturb zone setback from the BVW.

Outflows from this pipe are anticipated to be 3.68 cfs for the 2-year frequency design storm and 6.96 cfs for the 10-year design storm. These peak flow rates will have velocities at the outfall of approximately 4 to 6 feet per second (fps). While the rip rap





will act as an energy dissipater, these flows when passing over the existing slope after leaving the rip rap apron could cause significant scour and erosion of the slope downstream of this outlet.

**BSC recommends the project proponent's engineer consider means of providing protection and/or additional energy dissipation measures to avoid scour and erosion downstream of the drainage outlet at Headwall #1.**

- i. Site Plans, Grading and Drainage Plan, Sheet C-103: the Site Plan shows runoff from the proposed access driveway in the front of the site, adjacent and parallel to Boston Post Road will be collected in two catch basins, CB#8 and CB#9. These two CB's intercept runoff from approximately 280 feet of this driveway, as well as about 60 feet of the parking lot in front of Building 2. This driveway runs from the main site access from Boston Post Road to the parking area in front of Building 2 at a slope of 5%. Runoff flowing down this driveway could be flowing at an increased velocity due to this slope and could bypass these two catch basins, and flow into the main site access drive.

**BSC recommends the project proponent's engineer consider a means of reducing the potential bypass at CB#8 and #9, such as providing a double grate CB or other appropriate measures.**

- j. Site Plans, Grading and Drainage Plan, Sheet C-103 and Drainage Report Section 4.0 Existing and Proposed HydroCAD and Section 6.7, Stormwater Pipe Sizing Table: BSC has reviewed the Site Grading and Drainage Plan and Pipe Sizing Table and found these to be consistent. BSC has also reviewed the Existing and Proposed HydroCAD calculations and found these to be prepared utilizing standard engineering practice.

However, when BSC reviewed the HydroCAD calculations for the three proposed Underground Infiltration Systems (UIS), it was noted that during some of the design storms, the elevation of the stormwater temporarily contained within these systems resulted in water backing up into the storm drainage system upstream (U/S) of these structures. This situation means the upstream drainage system has a **tailwater**, i.e. the downstream water surface is above the invert elevation of the inlet pipe. Such situations can result in a reduction of the flow capacity within the upstream pipe system.

Here is a summary of the water elevations within the UIS vs upstream structures:

For UIS#1: peak elevation of stormwater within structure for:

2-year event = 137.04

10-year event = 137.90

Invert at U/S CB#3 = 136.80

Invert at U/S AD#2 = 137.45



For UIS#2: peak elevation of stormwater within structure for:

2-year event = 127.61

10-year event = 128.52

Invert at U/S CB#4 = 126.85

Invert at U/S CB#5 = 128.35

Invert at U/S CB#8 = 127.12

Invert at U/S CDS#2 = 125.80

For UIS#3: peak elevation of stormwater within structure for:

2-year event = 126.33

10-year event = 127.15

Invert at U/S CB#6 = 125.60

Invert at U/S CB#7 = 125.95

Invert at U/S CB#10 = 125.45

Invert at U/S AD#11 = 126.47

Invert at U/S CDS#4 = 125.00

A drainage pipe operating under a tailwater or outlet control (vs the standard assumption of inlet control for pipes) condition can be evaluated using standard methodology, and, depending upon the situation, may not result in a significant reduction in pipe flow capacity or increased water elevations upstream. However, this situation should be checked to insure no negative impacts occur within the upstream drainage system. This may be more critical for the area drains noted under Item e above, where a reduced pipe capacity could potentially limit the capacity of Area Drains #1 and #2.

**BSC recommends the project proponent's engineer consider evaluating the proposed drainage system components upstream of the Underground Infiltration Systems for outlet control or tailwater conditions to determine if there are any adverse impacts to the upstream drainage system's capacity.**

- k. Site Plans, Utilities Plan, Sheet C-104: The Site Plan indicates two locations for proposed hydrants on the site. One of these proposed hydrants is in front of Building 2 and the other is located behind Building 2. These hydrants are located approximately 500' along the proposed access drives from each other.

BSC will defer to the Wayland Fire Department relative to their requirements for adequately providing accommodations for fire protection and fighting requirements.

**BSC recommends the input of the Wayland Fire Department be sought regarding whether additional fire hydrants might be located in strategic positions on the site.**

- l. Understanding the Town is currently installing a new water main within Boston Post Road, which will service the proposed River's Edge development, it is presumed that this system has been evaluated to insure the proposed residential development has adequate pressure and flows for domestic and fire services.



- m. Site Plans, Utilities Plan, Sheet C-104: As noted previously, schematic information is presented on this Site plan regarding the proposed onsite sewage treatment plant and subsurface sewage disposal system. The Site Plan also indicates a 2,000-gallon tight tank to be installed onsite to contain runoff from the under building parking areas.

**BSC recommends the appropriate Town boards and agencies, particularly the Wayland Board of Health, be involved in the review and approval of the final design of the proposed sewage treatment plant and subsurface disposal system, as well as the 2,000-gallon tight tank, especially relating to its operation and disposal of its contents.**

- n. Site Plans, Fire Truck Turning Plan, Sheet C-105: The Plan shows the turning movement from Boston Post Road. This turning radius appears to cross off the limits of the existing pavement at the southern side of the access drive.

**BSC recommends the proposed turning radius should be checked to ensure that all portions of the fire truck will pass over pavement areas, and if needed, the pavement in this area should be adjusted accordingly.**

The Site Plan indicates two locations are provided to allow fire trucks to turnaround via the utilization of turnouts.

BSC will defer to the Wayland Fire Department relative to their requirements for adequately providing accommodations for fire protection and fighting requirements.

BSC offers the following for consideration regarding the fire access for this site:

- There does not appear appropriate pedestrian access for emergency operations around the west end of Building 3;
- Vehicular access to Building 3 is limited to the south and northeast portions of that building.

**BSC recommends the input of the Wayland Fire Department be sought regarding the adequacy of provided for vehicular and pedestrian emergency access across the project site.**

BSC has conducted a limited review of the VERTEX's August 2019 Phase I Environmental Site Assessment & Phase II Limited Site Investigation and the Site Development Plans for ALTA at River's Edge, 490 Boston Post Road in Wayland, Massachusetts, dated October 18, 2019. Based on our preliminary review, BSC has the following recommendations, conclusions, and questions. Overall, BSC highly recommends the Town's LSP review the design closely for thresholds that may exceed reportable conditions and ensure the site is suitable for residential use.

- o. Have the reportable conditions been reported to MassDEP? The owner of the property has 120 days from the date of obtaining knowledge of the reportable conditions to notify MassDEP. The 120 day deadline from the date of VERTEX's report is December 5, 2019.



- p. With regard to the former wastewater treatment basins, only two soil borings were completed for all three basins; no groundwater monitoring wells were installed. BSC recommends that additional sampling be completed to assess more than just two locations, and that wells be installed to determine if groundwater was affected by historic use. Overall, BSC recommends the Town have a solid understanding of groundwater flow direction across the site and possible contaminant distribution at the property since there are three proposed groundwater recharge areas. Some groundwater contamination appears to be coming from the off-site landfill and VERTEX recommended filing a Downgradient Property Status (DPS) Opinion relative to that contamination. The use of the groundwater recharge areas could exacerbate the current situation by changing the groundwater flow direction, thereby forcing the contamination to migrate in a different direction.
  
- q. With regard to soil vapor issues and elevated methane levels, VERTEX concluded “VERTEX recommends the installation of a chemically resistant vapor barrier and/or a vapor mitigation system to protect indoor air in future buildings constructed where occupied ground floors and/or basement areas are in contact with the site soils. Based on current development plans, mechanically ventilated garages are to be constructed along the lower levels of the proposed buildings, which would be appropriate for vapor mitigation.” BSC did not review specific plans for mechanical ventilation in the garages but recommends that the proposed construction include vapor mitigation strategies across the entire site to address soil gas vapor issues associated with the adjacent landfill.
  
- r. BSC recommends that a Health and Safety Plan (HASP) and Soil Management Plan (SMP) be prepared by the contractor(s) before beginning construction work at the property. Due to the detection of reportable concentrations of soil and groundwater contaminants at the Site, a HASP should be prepared to address the known and potential contaminants at the Site. In addition, a SMP should be prepared to address the proper handling of soils from the property in terms of sampling for disposal purposes, appropriate temporary storage, shipping documentation, and confirmation that soil was disposed appropriately.



We look forward to discussing this project with you further at the public hearings on the project. Please feel free to contact Melissa at (617)-896-4517 or [mkaplan@bscgroup.com](mailto:mkaplan@bscgroup.com) or Frank at (617) 896-4471 or [fdipietro@bscgroup.com](mailto:fdipietro@bscgroup.com) should you have any questions on the information in this report.

Sincerely  
BSC Group, Inc.

Melissa Kaplan

Project Manager/Wetlands Scientist  
Ecological

Frank DiPietro, P.E.,

Senior Project Manager / Senior Associate

cc: Julia Junghanns, Director Wayland Board of Health



# OXBOW ASSOCIATES, INC.

Wetlands Delineation and Permitting • Wildlife Studies • Herpetology • Vernal Pool Ecology

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October 31, 2019

Wayland Conservation Commission  
41 Cochituate Road  
Wayland, MA 01778

**Re: Notice of Intent Plan Updates  
Proposed Addition and Septic Install within Buffer Zone  
5 Glen Road  
Wayland, MA**

Dear Ms. Hansen and Commission Members,

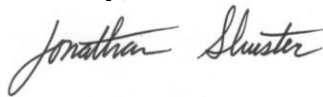
The Project team is submitting an updated Site Plan for the proposed work at 5 Glen Road. These changes incorporate comments from the Commission made at the previous hearing (October 24, 2019). The following are changes that have been made to the plan:

- 1) Added a No Disturbance Area around the periphery of the of the existing yard, east and north of the house. This area totals 1,821± square feet and will be demarcated with FENO markers. With note to remove yard debris.
- 2) Garage footprint has been reduced by 1 foot off the frontage, such that proposed structure and roof overhang is flush with existing structure. This 26 square foot reduction in proposed impervious surface has been incorporated into calculations of net proposed impervious surface.
- 3) Added note on deck improvements (existing frame and footings to remain)
- 4) Proposed grading has been shown surrounding the proposed leaching bed and garage, with existing contours shown beneath.
- 5) Southerly portion of proposed roof overhang on rear of existing house will be over existing impervious deck (76± square feet), calculations updated to reflect this.
- 6) Scale of Plan enlarged to 1:10 for better legibility
- 7) Datum shown (NAVD 88)
- 8) Revision Date Shown
- 9) Permeable paver walkway detail moved to Details page and Typo corrected
- 10) Invert heights and pipe diameters shown for downspouts, catch basin, and Cultec units (Details page). Splashguards shown below downspouts on rear of structure.

- 11) Cultec system redesigned with two tandem Cultec chambers 17 feet in length. Details sheet indicates depth of system components. Single entry for water on eastern side of unit.
- 12) Drywell design for proposed paved drive converted to catch basin leading to Cultec system. Design includes hydrocarbon capture potential in case of driveway spill.
- 13) Sample homeowner agreement for regular recommended maintenance included. Owner will adhere to recommended inspections and cleaning of catch basin, Cultec units, and permeable pavers and the Applicant welcomes the Conditioning as such by the Wayland Conservation Commission.
- 14) Confirmed with Engineer and Sanitarian, there is NO garbage disposal in design.
- 15) First floor elevation shown on garage: 135'
- 16) Calculations updated to show net increase in impervious of 899± square feet

Please let us know if you have any questions or concerns about the NOI submittal and/or these recent Plan updates. We look forward to your review of these materials.

Sincerely,



Jonathan Shuster  
Environmental Scientist II  
Oxbow Associates, Inc.

Encls.

Site Plan by Javid Malek (October 30 Update)  
Details Page of Plan  
Sample O&M agreement for homeowner



**50 Oak St., Weston, MA 02493**

**Phone 781-507-4447**

**MASSACHUSETTS SINGLE FAMILY RESIDENCE**  
**INFILTRATION SYSTEM**  
**OPERATION AND MAINTENANCE CONTRACT**

This Agreement is made and entered this **25th day of October, 2019** between **HMZ Group General Construction**, with a principal place of business at 50 Oak Street, Weston, Massachusetts and (herein after collectively referred to as “CONTRACTOR) and Surit Prakash d/b/a 3 Lexington Road, LLC, Owner/Owner's Representative (prospective buyer) for the Single Family Residence located at 5 Glen Road, Wayland, MA, (herein referred to as “OWNER”). This maintenance contract pertains to the infiltration system and Pervious Areas as presented herein as EXHIBIT "A" f or the single family residential dwelling located at 5 Glen Road, Wayland, MA (herein referred as "THE PROJECT")

This contract shall be renewed annually between the contractor the owner, beginning the day the system is operational.

The Contractor agrees as follows:

- This periodic maintenance shall commence the day the system is operational.
- Contractor agrees to furnish Labor and material required to maintain the infiltration system for the Project.
- There shall be at least two (2) visits by the Contractor each calendar year of this contract.
- Contractor shall visually inspect through observation port and shall clear any sediments/debris if noticed by vacuum or flushing.
- Each visit by the Contractor shall be for a period of two (2) hours to be arranged between the hours of 8:00 AM and 5:00 PM, Monday through Friday, excluding holidays.
- All operating parameters shall be reviewed and appropriately adjusted.
- A copy of the maintenance log will be submitted annually to the owner and the offices of the Wayland Town Engineer and Wayland Conservation Commission.

The Owner agrees as follows:

- The Owner agrees to pay the Contractor a sum of \$700.00 per year beginning on the day the system is operational.





**50 Oak St., Weston, MA 02493**

**Phone 781-507-4447**

- The Owner shall provide Contractor's crew with such access to the system as is reasonably necessary to comply with the terms of this Contract.
- It is the responsibility of the Owner to remove any ornamental decorations from the vicinity of the access areas the infiltration system. Contractor will not assume any responsibility/liability for removal of decorations, repairs or replacement cost of any items left in this area.
- The Owner is responsible for providing power and water necessary the maintenance work.
- The Owner agrees to pay for any parts and labor required if it is necessary to have a major repair done, in case the system fails. A copy of the proposal for such repair shall be send to the owner at the time of such occurrence.

Owner's Name: Surit Prakash d/b/a 3 Lexington Road, LLC

Owner's Address: 46 Winter St., Lexington, MA

Maintenance Address: 5 Glen Rd, Wayland, MA

Commencement Date: (Est) MAy 1, 2020      Renewal Date: (Est.) April 30, 2021

Automatic Renewal: Unless either party provides written notice of the termination to the other party at least thirty (30) days prior to the expiration date, this agreement will automatically renew on an annual basis. All fees are due and payable upon receipt of invoice.

The following parties have agreed to the conditions of this agreement:

Owners Signature: \_\_\_\_\_ HMZ Group: \_\_\_\_\_

Print Name: \_\_\_\_\_ Title: \_\_\_\_\_

Date: \_\_\_\_\_ Date: \_\_\_\_\_

Please sign and return one (1) copy to the above Contractors address and retain one (1) copy for your records.

# SITE PLAN

LOCATED AT **DATUM: NAVD 88**  
**5 GLEN ROAD**  
**WAYLAND, MA**

**KUQ CONSTRUCTION**  
 JAVID MALEK, P. E.  
 7 BALD ROCK ROAD  
 WAYLAND, MA 01778  
 617 797-9786  
 EMAIL: NASH.KUQCONSTRUCTION@GMAIL.COM

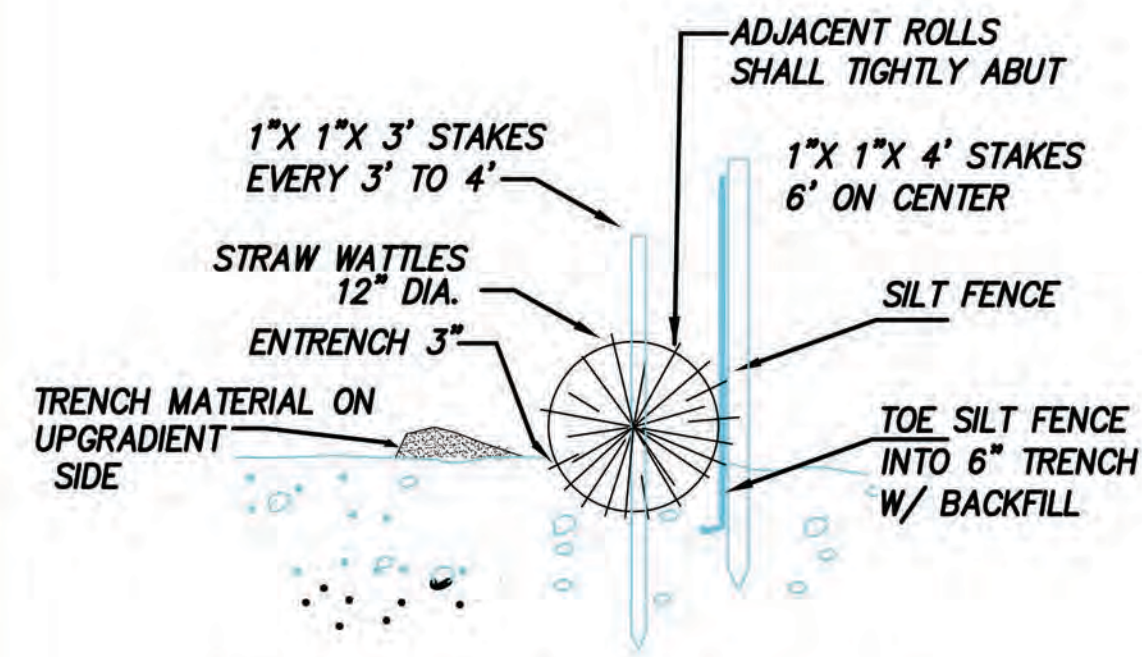
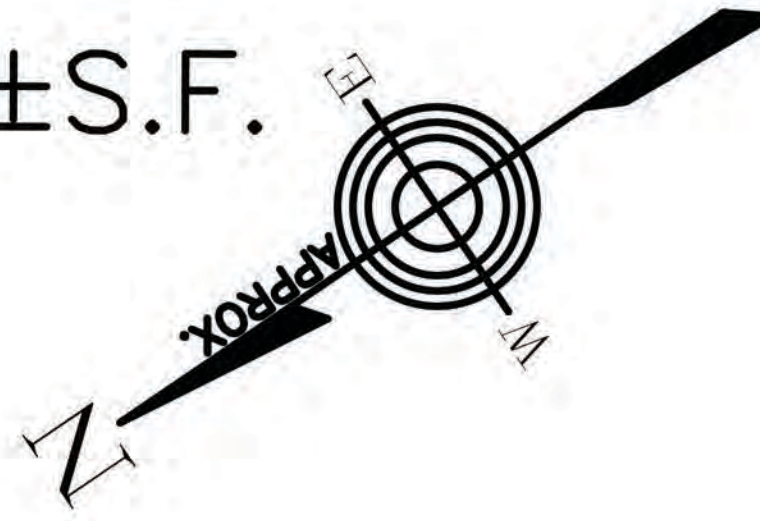
SCALE: 1 INCH = 10 FEET

DATE: OCT. 08, 2019  
 REV.1 DATE: OCT. 15, 2019  
 REV.2 DATE: OCT. 28, 2019

## LEGEND

EXIST. CONTOUR — 135  
 PROP. CONTOUR — 135

33448±S.F.



STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" DEEP. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.

### SEDIMENTATION CONTROL FENCE DETAIL

NOT TO SCALE

ONLY EXISTING COMPOSITE DECKING AND RAILINGS SHALL BE REPLACED WITH THE NEW COMPOSITE DECKING AND PVC RAILING. EXISTING FRAME AND FOOTINGS TO REMAIN

NO DISTURB AREA APPROX. 1,821 SF BEYOND THE FENO MARKERS. ALL DEBRIS AND YARD WASTE SHALL BE REMOVED IN THIS AREA MECHANICALLY (BY HAND) ONLY

### RECHARGE SUMMARY

#### EXISTING CONDITIONS:

A- HOUSE (W/ROOF OH) = 1,099±SQ FT  
 B- WALKWAY/PATIO/DECK (157+30+516) = 703 SQ FT  
 C- TOTAL IMPERVIOUS AREA(A+B) = 1,802±SQ FT

#### PROPOSED CONDITIONS:

D- HOUSE (W/GARAGE & ROOF OH) = 1,676±SQ FT  
 E- DRIVEWAY/PATIO/DECK (553+59+419) = 1,031±SQ FT  
 F- TOTAL IMPERVIOUS AREA (D+E) = 2,707±SQ FT

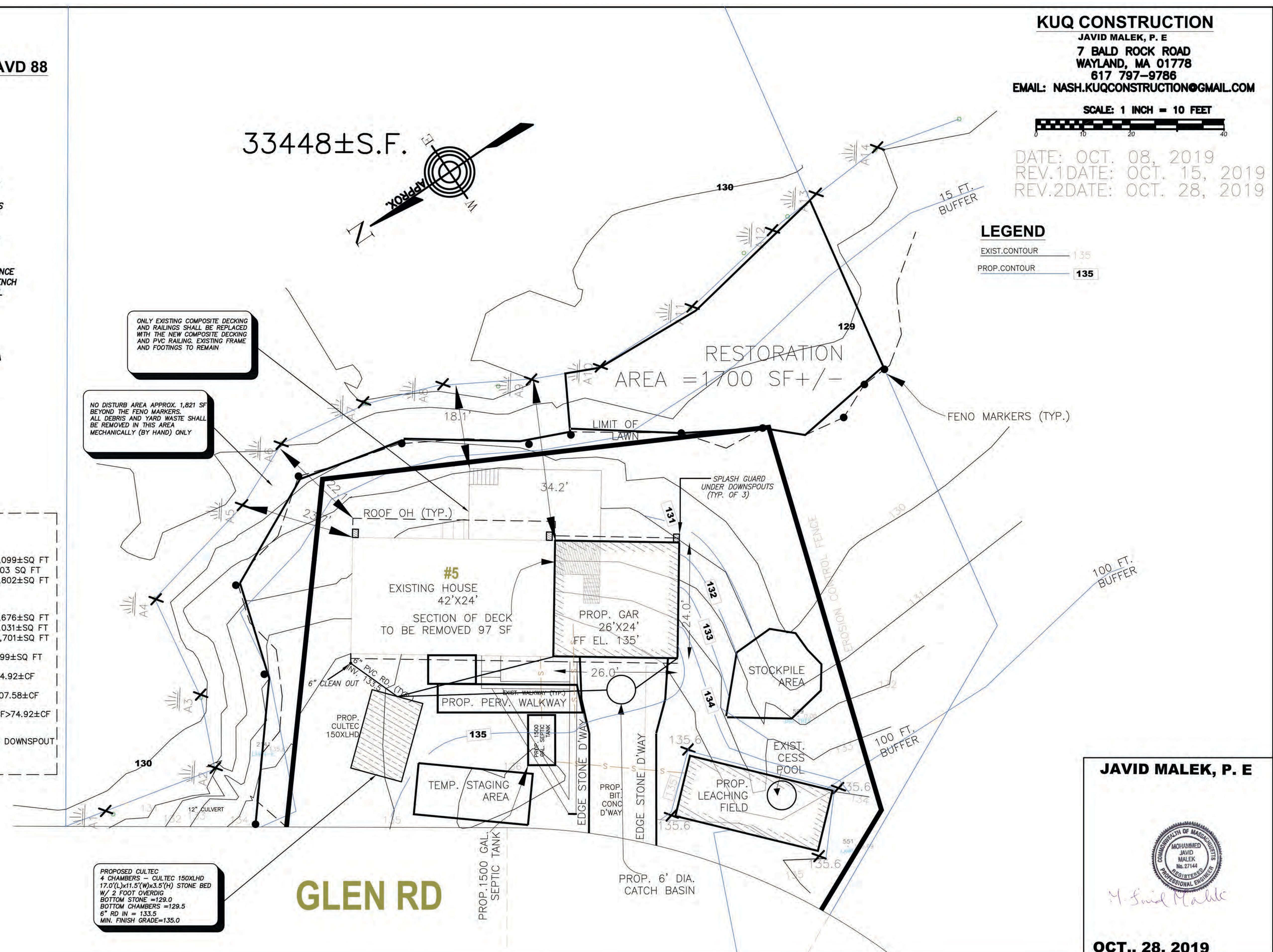
G-NET INCREASE(F-C) = 899±SQ FT

H-RECHARGE REQUIRED (1"X899 SQ FT) = 74.92±CF

I- RECHARGE PROVIDED BY CULTEC (22LFX4.89CF/LF) = 107.58±CF

TOTAL RECHARGE PROVIDED = 107.58±CF > 74.92±CF

NOTES:  
 A. PLACE HEAVY DUTY PLASTIC SPLASH GUARDS UNDER 3 DOWNSPOUT IN THE REAR (EAST) OF THE DWELLING.



PROPOSED CULTEC  
 4 CHAMBERS - CULTEC 150XLHD  
 17.0'(L)x11.5'(W)x3.5'(H) STONE BED  
 W/ 2 FOOT OVERDIG  
 BOTTOM STONE = 129.0  
 BOTTOM CHAMBERS = 129.5  
 6" RD IN = 133.5  
 MIN. FINISH GRADE = 135.0

**GLEN RD**

**JAVID MALEK, P. E.**



OCT., 28, 2019

# SITE PLAN

LOCATED AT  
5 GLEN ROAD  
WAYLAND, MA

DATUM: NAVD 88

### RESTORATION NOTES:

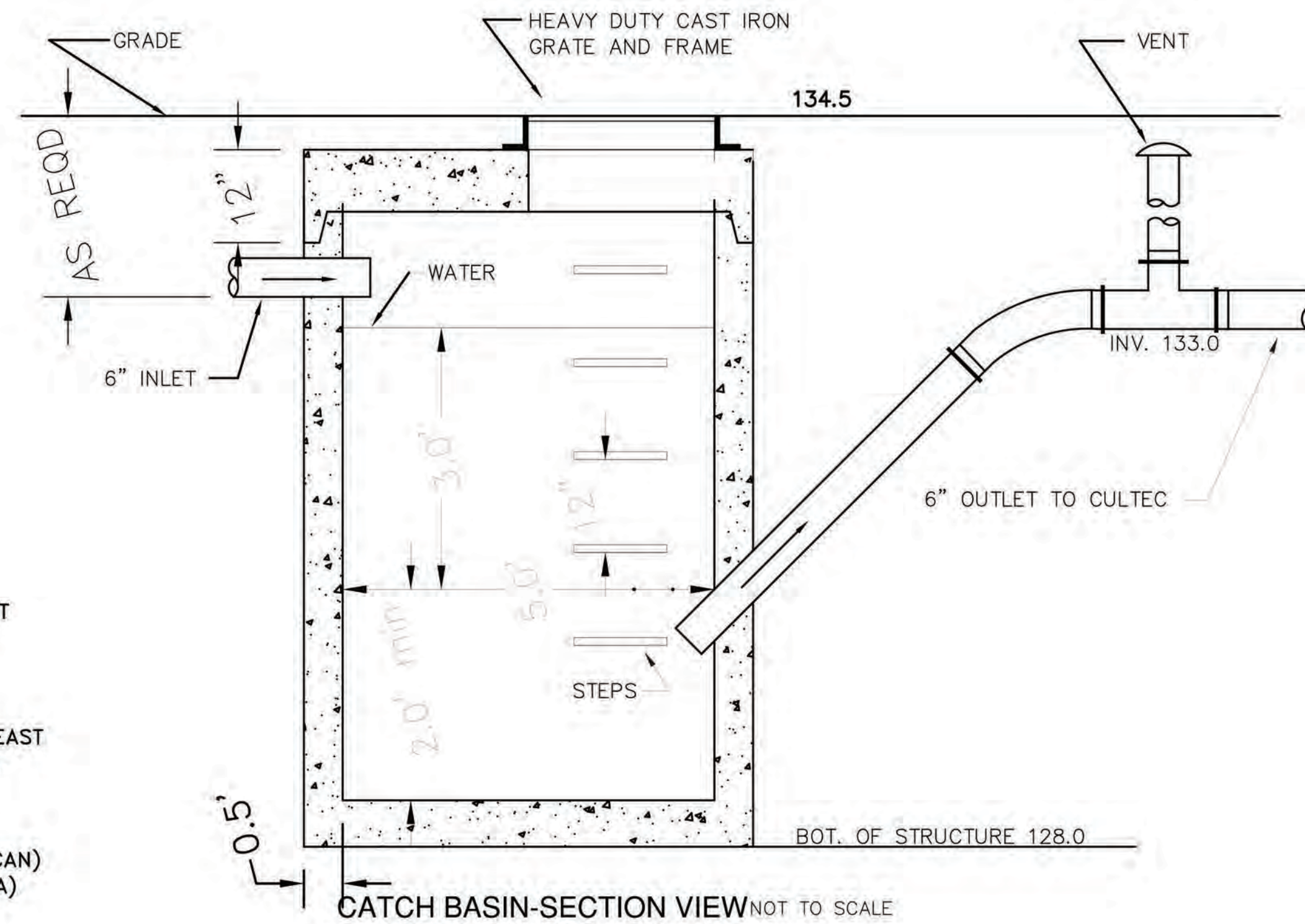
A. SELECTIVE REMOVAL OF INVASIVE PLANT SPECIES (NOTABLY GLOSSY BUCKTHORN, (FRANGULA ALNUS) TO BE CONDUCTED MECHANICALLY (BY HAND) ONLY.

B. PLANTING OF 20 NATIVE SHRUBS AT LEAST 18" IN HEIGHT AND OF NATIVE STOCK AS FOLLOWS SHALL BE PLANTED IN THE RESTORATION AREA:

8X AMERICAN HAZELNUT (CORYLUS AMERICAN)  
8X SWEET PEPPARBUSH (CLETHRA ALNIFOLIA)  
8X MALE LEAVED VIBURNUM (VIBURNUM DENTATUM)

C. NATIVE SEED MIX (SUCH AS NEW ENGLAND WETLANDS PLANTS EROSION CONTROL/RESTORATION MIX FOR DRY SITES) SHALL BE APPLIED AS NEEDED TO THE DISTURBED GROUND IN THE RESTORATION AREA.

D. FENO MARKER SHALL BE INSTALLED ALONG THE LIMIT OF LAWN ADJACENT TO THE RESTORATION AREA, AS SHOWN.



### NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
3. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
4. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.

### EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STORMWATER PERMIT ISSUED BY THE TOWN OF WESTON AND THE PROJECT EROSION AND SEDIMENT CONTROL REPORT.
2. PRIOR TO THE COMMENCEMENT OF WORK, SEDIMENT BARRIERS SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT, AND AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS, SILT FENCE OR BERMS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, HIS REPRESENTATIVES, OR THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
4. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR, AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
5. ALL DISTURBED AREAS SHALL BE STABILIZED WITH MINIMUM 4" INCHES OF LOAM AND SEED.
6. THE CONTRACTOR SHALL BE PREPARED TO ALLOW WORK TO WAIT A DAY OR TWO AFTER RAIN EVENTS TO ALLOW SURFACE SOILS TO DRY.
7. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED. EQUIPMENT SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.
8. DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED.
9. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
10. AN EXTRA SUPPLY OF EROSION CONTROL MATERIALS SHALL BE KEPT ON-SITE AT ALL TIMES DURING CONSTRUCTION.

### GENERAL NOTES:

A. ON SITE BORDERING VEGETATED WELANDS ARE DELINEATED BY OXBOW ASSOCIATES, INC. ON SEPTEMBER 25, 2019.

B. SURVEY PERFORMED BY JAROSZ LAND SURVEY ON OCT. 04, 2019.

C. SEPTIC SYSTEM IS DESIGNED BY DAVID SCHOFIELD, R.S

D. SECOND FLOOR CONSTRUCTION IS PROPOSED AS PART OF THE IMPROVEMENT.

### SITE PREPARATION:

A. PRIOR TO START OF WORK, INSTALL WOVEN POLYPROPYLENE GEOTEXTILE FILTER FABRIC IN CATCH BASINS NEAR THE SITE, WITH AT LEAST 6" OF OUTSIDE THE FRAME.

B. TIE ALL ROOF DRAINS INTO THE DRYWELLS.

C. THE CONTRACTOR SHALL PROTECT ALL MATURE TREES WITH THE 100 FT. BUFFER ZONE AND ON THE ENTIRE SITE IN GENERAL. NONE OF THE EXISTING MATURE TREES ON THE SITE ARE PROPOSED TO BE REMOVED.

D. DRYWELLS SHALL HAVE GEOTECH FABRIC ON THE TOP AND SIDES ONLY.

E. ALL THE DEBRIS ON THE SITE SHALL BE APPROPRIATELY DISPOSED OFF THE SITE.

### EROSION AND SEDIMENTATION CONTROL:

A. CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENTATION CONTROL DURING THE CONSTRUCTION BY KEEPING IT FREE OF ANY DEBRIS. SITE SPECIFICATIONS MAY REQUIRE MODIFICATIONS IN THE FIELD, ANY SUCH MODIFICATIONS SHALL MEET THE SPECIFICATIONS SPELLED OUT IN THIS PLA..

B. IN ORDER TO MINIMIZE EROSION AND SEDIMENTATION ALL EXCAVATION SHALL BE BACKFILLED AS SOON AS POSSIBLE. EXISTING VEGETATION SHALL BE MAINTAINED WHERE POSSIBLE.

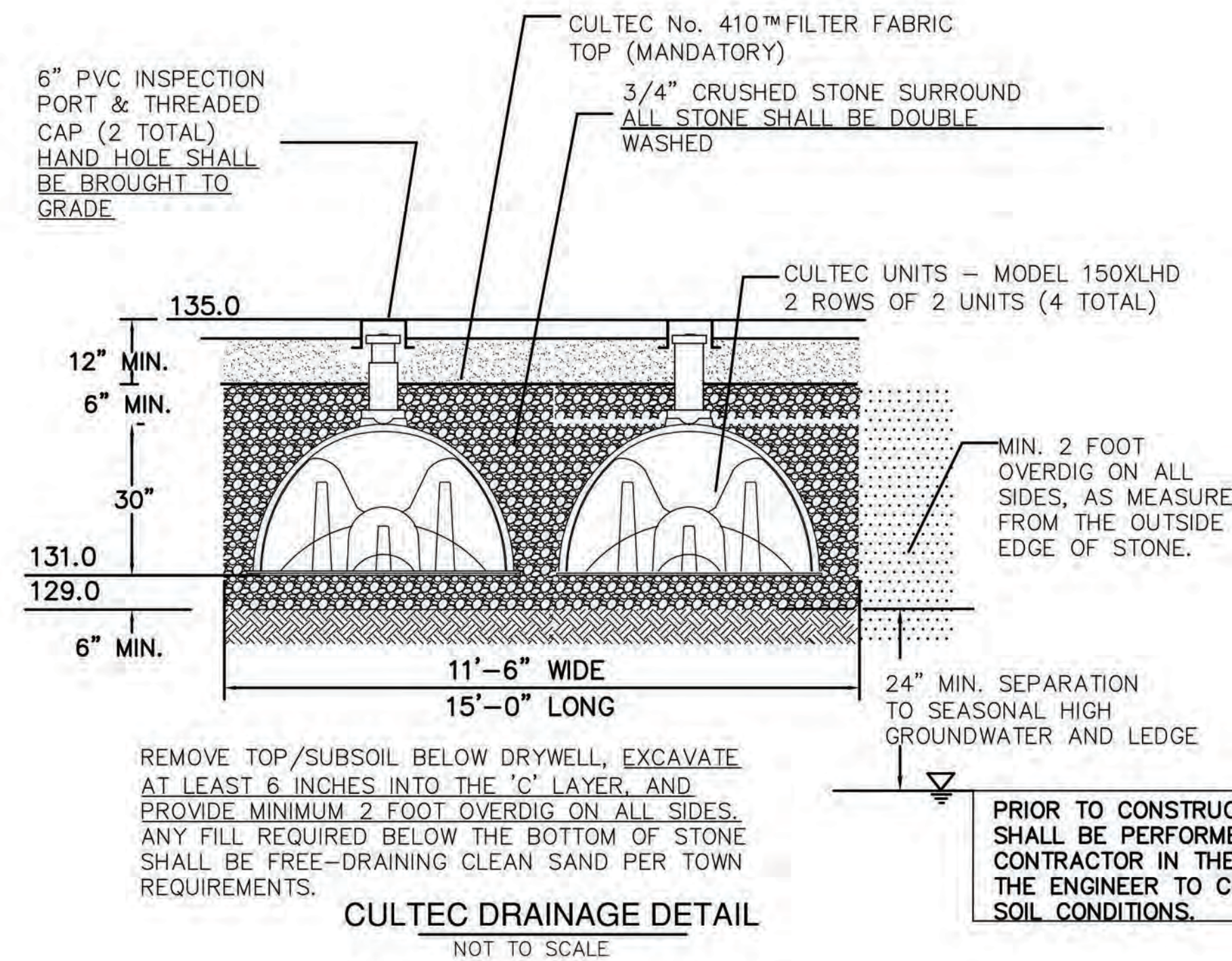
C. CONTRACTOR SHALL INSTALL SILT FENCES, TEMPORARY SETTLING BASINS. THESE PRACTICES DIVERT FLOWS FROM EXPOSED SOILS, LIMIT RUNOFF AND DISCHARGE OF POLLUTANTS.

D. ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 14 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE SHALL BE STABILIZED AFTER EACH WORK DAY.

E. ANY CONSTRUCTION DEBRIS ON THE SITE SHALL BE APPROPRIATELY DISPOSED OFF THE SITE.

DRIVEWAY SHALL HAVE MIN. 2% SLOPE TOWARDS CATCH BASIN FROM ALL SIDES

NOTE: FRONT (WEST) ROOF RUNOFF SHALL DISCHARGE TO PROPOSED DRYWELL.



REMOVE TOP/SUBSOIL BELOW DRYWELL, EXCAVATE AT LEAST 6 INCHES INTO THE 'C' LAYER, AND PROVIDE MINIMUM 2 FOOT OVERDIG ON ALL SIDES. ANY FILL REQUIRED BELOW THE BOTTOM OF STONE SHALL BE FREE-DRAINING CLEAN SAND PER TOWN REQUIREMENTS.

PRIOR TO CONSTRUCTION, TEST PITS SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE ENGINEER TO CONFIRM SUITABLE SOIL CONDITIONS.

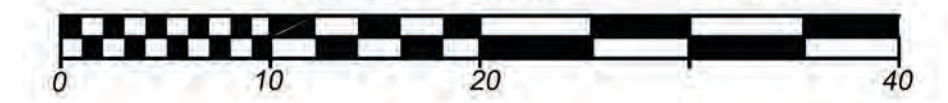
## KUQ CONSTRUCTION

JAVID MALEK, P. E

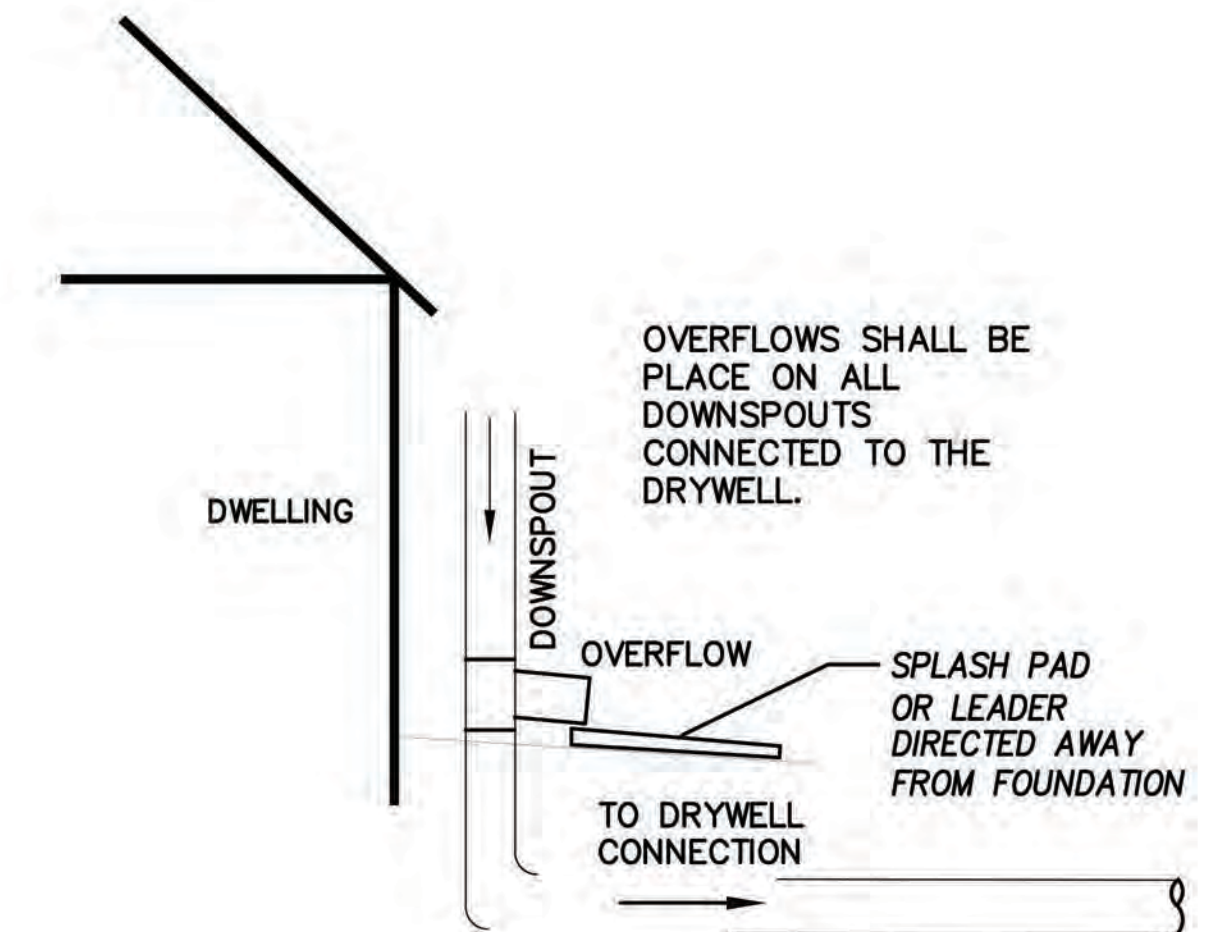
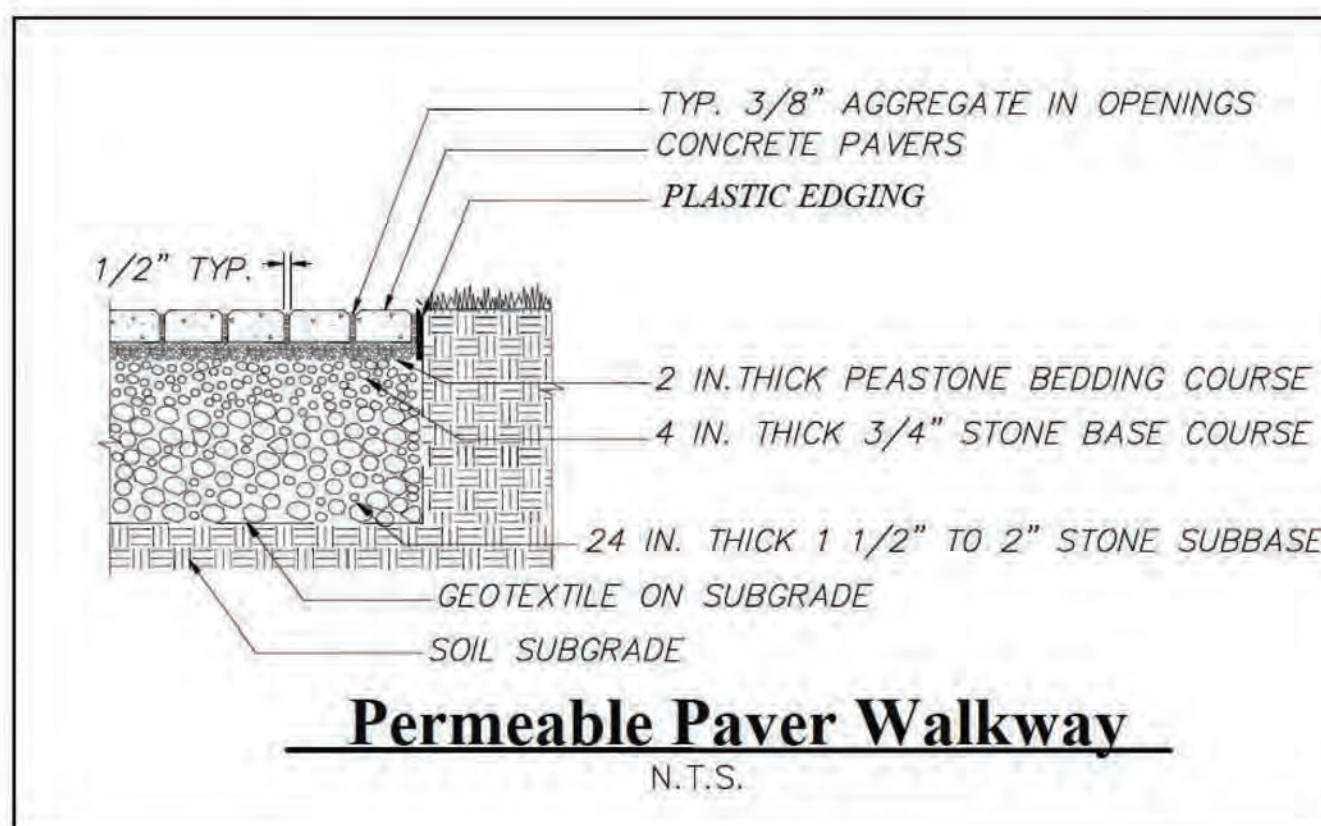
7 BALD ROCK ROAD  
WAYLAND, MA 01778  
617 797-9786

EMAIL: NASH.KUQCONSTRUCTION@GMAIL.COM

SCALE: 1 INCH = 10 FEET



DATE: OCT. 08, 2019  
REV.1 DATE: OCT. 15, 2019  
REV.2 DATE: OCT. 28, 2019



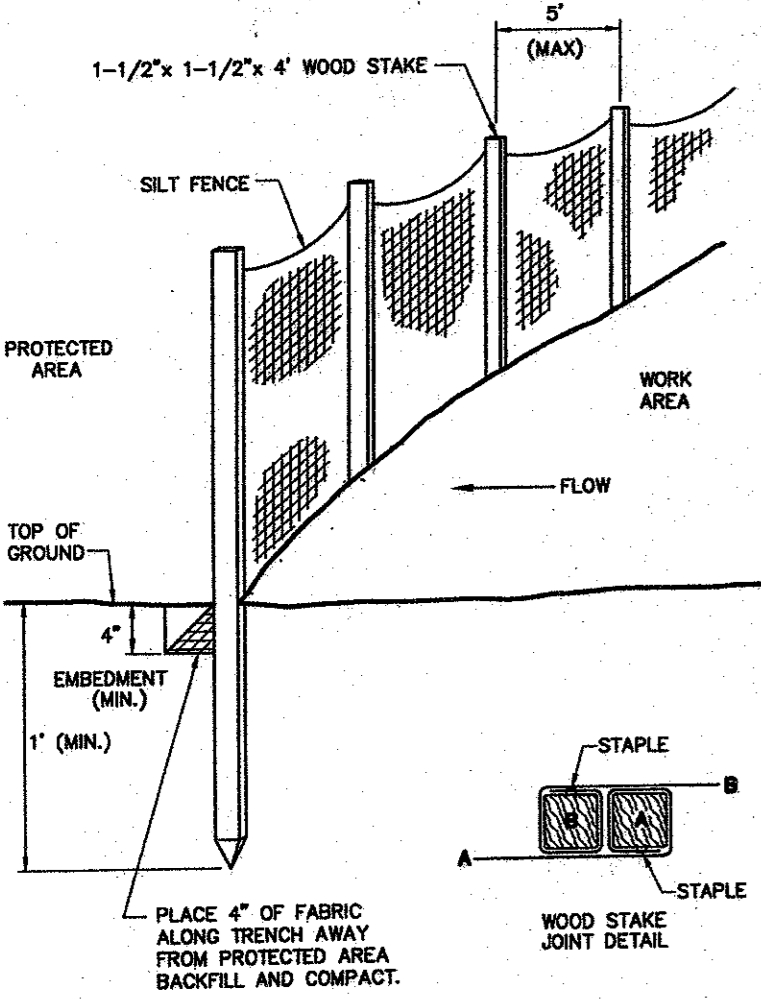
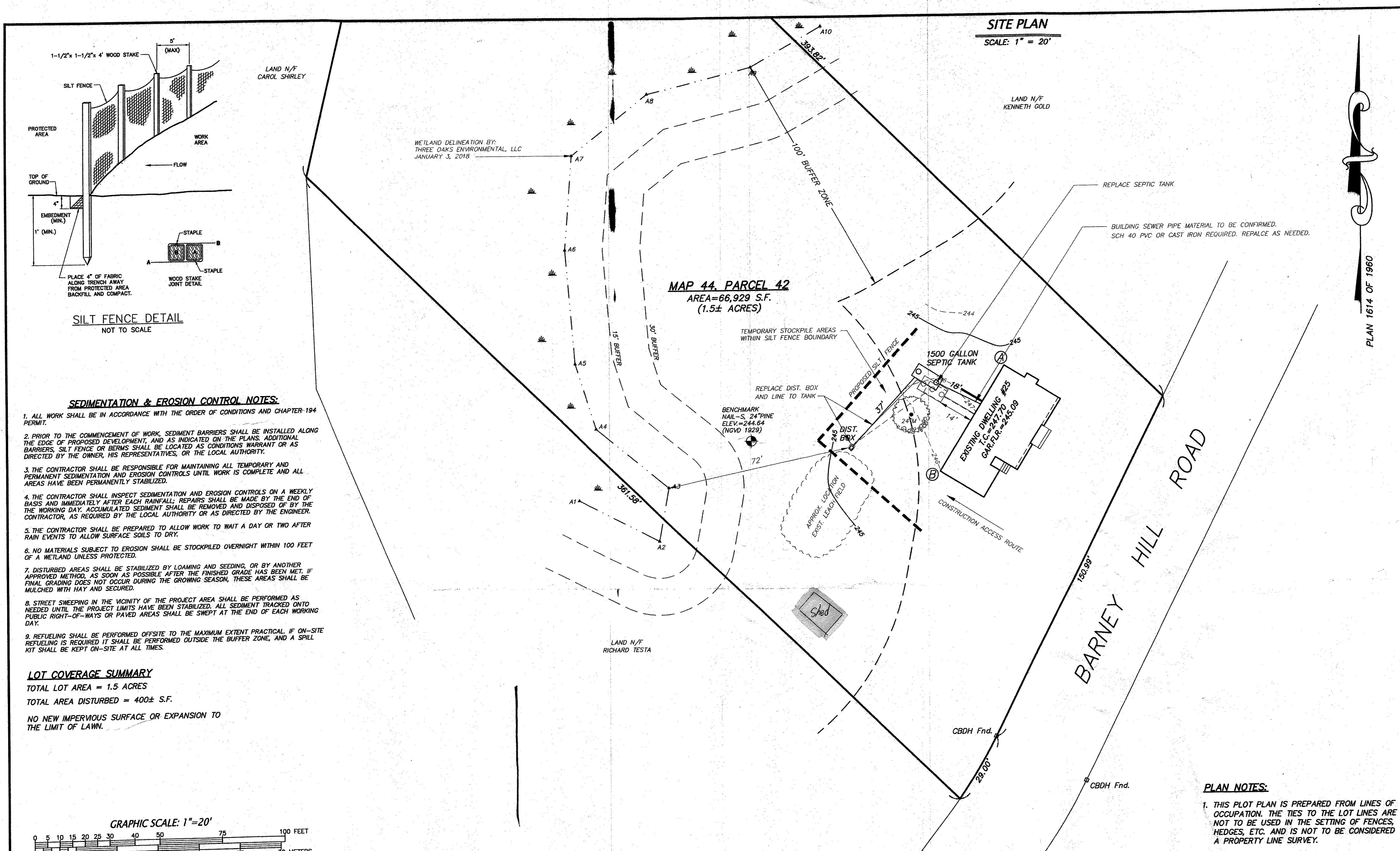
ROOF GUTTER  
CONNECTION SCHEMATIC  
NOT TO SCALE

JAVID MALEK, P. E



*Javid Malek*

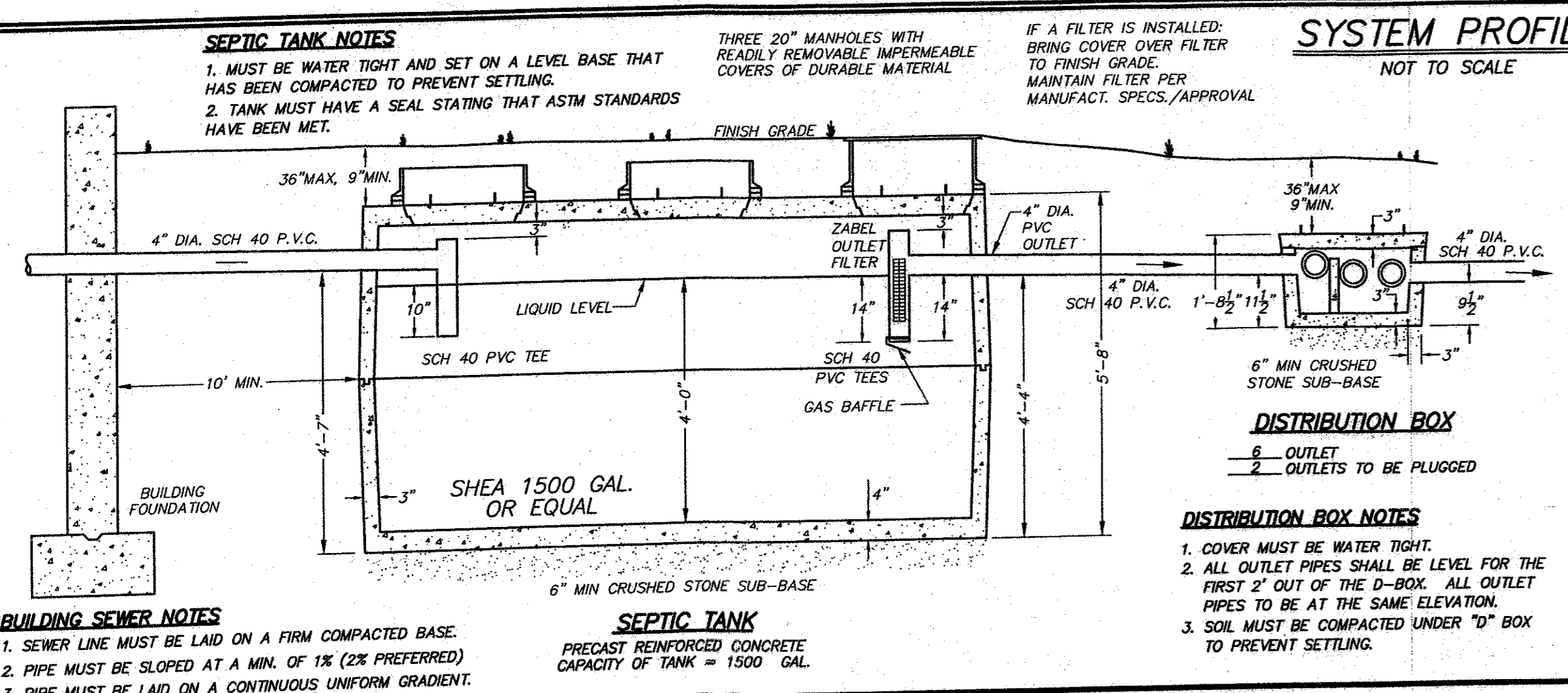
OCT., 28, 2019



- SEDIMENTATION & EROSION CONTROL NOTES:**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND CHAPTER 194 PERMIT.
  - PRIOR TO THE COMMENCEMENT OF WORK, SEDIMENT BARRIERS SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT, AND AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS, SILT FENCE OR BERMS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, HIS REPRESENTATIVES, OR THE LOCAL AUTHORITY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.
  - THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A WEEKLY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR, AS REQUIRED BY THE LOCAL AUTHORITY OR AS DIRECTED BY THE ENGINEER.
  - THE CONTRACTOR SHALL BE PREPARED TO ALLOW WORK TO WAIT A DAY OR TWO AFTER RAIN EVENTS TO ALLOW SURFACE SOILS TO DRY.
  - NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS PROTECTED.
  - DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED.
  - STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS OR PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
  - REFUELING SHALL BE PERFORMED OFFSITE TO THE MAXIMUM EXTENT PRACTICAL. IF ON-SITE REFUELING IS REQUIRED IT SHALL BE PERFORMED OUTSIDE THE BUFFER ZONE, AND A SPILL KIT SHALL BE KEPT ON-SITE AT ALL TIMES.

**LOT COVERAGE SUMMARY**  
TOTAL LOT AREA = 1.5 ACRES  
TOTAL AREA DISTURBED = 400± S.F.  
NO NEW IMPERVIOUS SURFACE OR EXPANSION TO THE LIMIT OF LAWN.

- PLAN NOTES:**
- THIS PLOT PLAN IS PREPARED FROM LINES OF OCCUPATION. THE TIES TO THE LOT LINES ARE NOT TO BE USED IN THE SETTING OF FENCES, HEDGES, ETC. AND IS NOT TO BE CONSIDERED A PROPERTY LINE SURVEY.



**SCHEDULE OF ELEVATIONS**

PROPOSED INVERTS ARE COORDINATED WITH TITLE 5 REPORT SYSTEM ELEVATIONS.

CONTRACTOR TO CONFIRM INVERTS PRIOR TO CONSTRUCTION

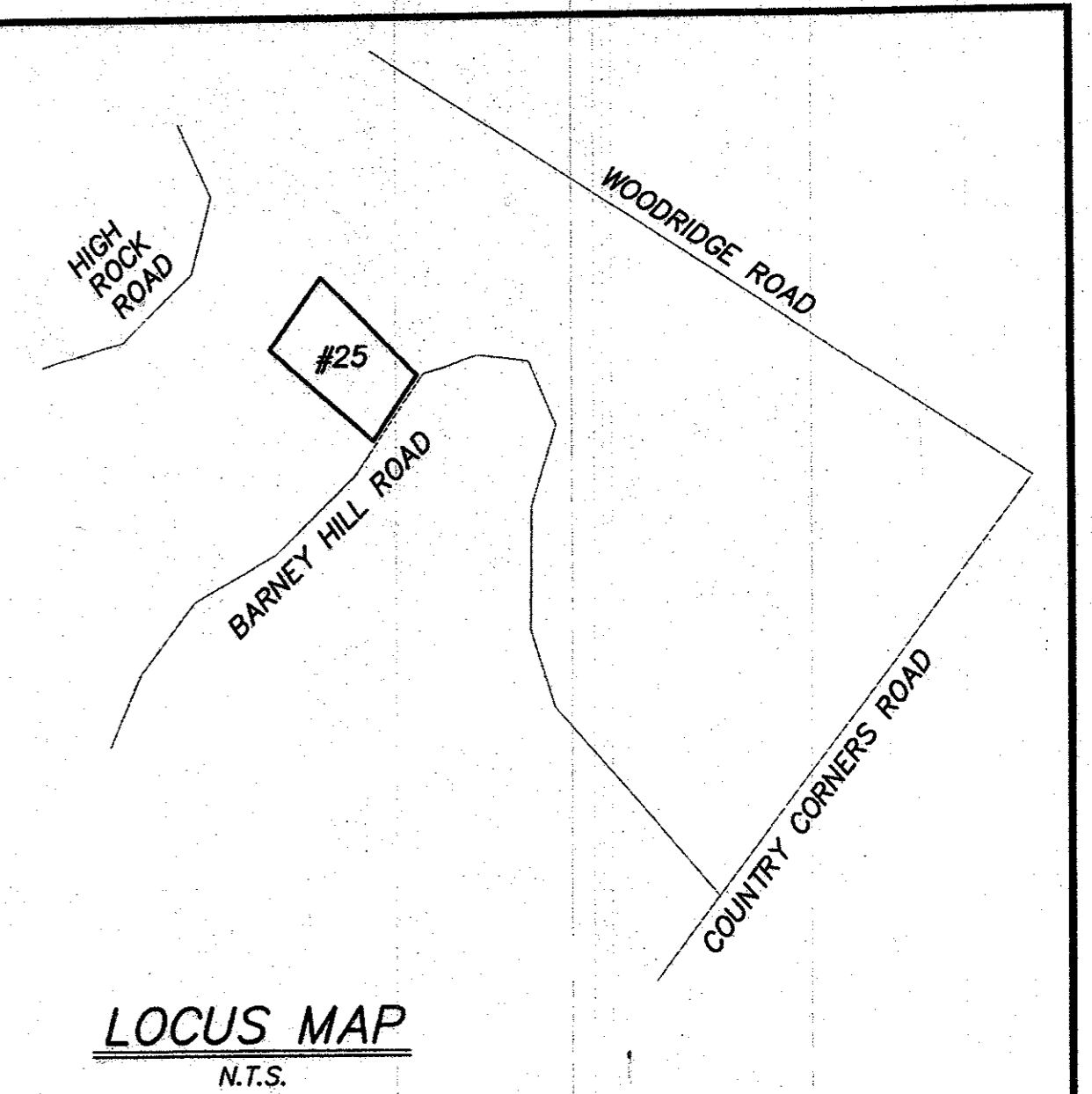
TOP OF FOUNDATION I.C. =	247.70
INVERT OF PIPE AT FOUNDATION =	245.8±
INVERT AT SEPTIC TANK INLET =	244.0
INVERT AT SEPTIC TANK OUTLET =	243.8
INVERT AT DISTRIBUTION BOX INLET =	242.2
INVERT AT DISTRIBUTION BOX OUTLET =	242.0

**AS-BUILT INFORMATION, FEB. 22, 2018**

SCHEDULE OF ELEVATIONS	PROP.	EXIST.
INVERT AT FOUNDATION	245.8±	245.58
INVERT AT TANK IN	244.00	243.94
INVERT AT TANK OUT	243.80	243.66
INVERT AT "D"-BOX IN	242.20	242.42
INVERT AT "D"-BOX OUT	242.00	242.27

SCHEDULE OF SYS. TIES	COR.A	COR.B
END TANK COVER (IN)	27.8'	35.6'
END TANK COVER (OUT)	34.2'	40.9'
CENTER "D"-BOX	69.3'	36.9'

I HEREBY CERTIFY THAT THE SEPTIC SYSTEM DEPICTED HEREON SUBSTANTIALLY COMPLIES WITH TITLE V OF THE STATE ENVIRONMENTAL CODE AND THE TOWN OF WAYLAND BOARD OF HEALTH REGULATIONS.



- GENERAL NOTES:**
- Contractor shall call Digsafe at (888) 344-7233 a minimum of 72 hours prior to commencing any construction activities on site.
  - Inspections by Design Engineer and Board of Health are as required by the Board of Health.
  - This plan was prepared for the design of the subsurface sewage disposal system only and is based on the subsurface explorations and percolation tests listed below.
  - System was designed only to accommodate sanitary sewage associated with normal domestic usage, consisting of water carried putrescible waste, and for flows indicated in the design criteria.
  - The system must be vented through the buildings plumbing in accordance with the state building code.
  - Owner shall verify effective zoning regulations prior to construction.
  - Plans show only features that were visually apparent on the date of the topographic survey, and the absence of subsurface structures, utilities, etc. is not guaranteed.
  - Contractor to determine if site conditions are suitable for construction of proposed system, and must promptly notify the Design Engineer and Owner, in writing, of any plan deficiencies, unforeseen subsurface conditions, or required changes.
  - There are no wells located within 100 feet of the proposed leaching area or within 100 feet of the proposed septic tank (except as shown).
  - The subject property is not located within the aquifer protection district or a Zone II of a public drinking water supply well.
  - All construction is to conform to the requirements of the Massachusetts Environmental Code, Title V, and the town of WAYLAND Board of Health regulations.
  - There are bordering vegetated wetlands within 100' of the proposed system.
  - There are no surface or subsurface drains which are used to lower the ground water.
  - All elevations refer to TBM NAIL IN 24" PINE E.L. = 244.64.
  - For proper performance, septic tank should be pumped annually.
  - System cannot be backfilled or concealed until design firm and board of health have inspected the system and permission to backfill has been given.
  - Design firm must prepare and submit "As-Built" plan to Board of Health. This plan must certify that the system was installed in accordance with state and local regulations and that it complies with the proposed plan.
  - Property lines are approximate and are not to be used for boundary survey purposes. Surface features and topography outside of work area are approximate.
  - System is not designed to accommodate a garbage grinder.
  - The site does appear to be within the mapped urbanized area, however, none of the work area is tributary to any part of the Town's drainage system.

- TECHNICAL NOTES:**
- Building sewer shall be in accordance with state plumbing code and have a minimum of 4" of cover in landscaped areas. A minimum of 12" of cover and/or appropriate sleeving shall be used in areas subject to vehicular traffic.
  - All tanks, including septic tanks, distribution boxes, dosing chambers, and grease traps shall be either watertight through manufacturer's specification and warranty, or made watertight by the manufacturer or other individual by means and persons as approved in 310 CMR 15.221. Septic tank shall be constructed and placed in accordance with 310 CMR 15.223 through 310 CMR 15.228.
  - Septic tanks shall have at least three (3) 20" manholes with at least one (1) of these manholes located no more than 6" below finish grade. (Systems over 1,000 gpd shall have access ports at both the inlet and outlet tees.)
  - Distribution box ("d-box") shall be of watertight construction, installed level on a firm base, and installed in accordance with 310 CMR 15.232.
  - Septic tank covers and d-box are to be brought within 6" and 9" of finish grade respectively by the use of riser sections.
  - When the soil absorption system (SAS) is to be dosed or the slope of the inlet pipe exceeds 0.08 feet per foot on an inlet tee, baffle or splash plate extending to one inch above the outlet invert elevation shall be provided to dissipate velocity of the influent.
  - When the SAS is installed within the top and subsoil layers or above natural grade, all topsoil and subsoil shall be removed below and laterally a minimum of 5 feet surrounding the SAS. Removed material shall be replaced with clean granular material in accordance with 310 CMR 15.252(3).
  - All disturbed areas shall be loamed, seeded, and maintained so as to prevent erosion.
  - All native soil interfaces which will contact the SAS shall be certified prior to placement of stone.

**BOARD OF HEALTH APPROVAL**  
WAYLAND

DATE: *[Signature]*  
PER: *[Signature]*

**RECEIVED**  
FEB 23 2017  
TOWN OF WAYLAND BOARD OF HEALTH

**OWNER/APPLICANT**  
ESTATE OF ALVIE YANG YE  
ERIC YE - EXECUTOR  
DEED BK. 50961, PG. 567

**LOCATION**  
25 BARNEY HILL ROAD  
WAYLAND, MA  
ASSESSORS MAP 44 & PARCEL 42

NO.	DATE	REVISION	BY
1.	1/17/2018	RDA APPLICATION	VC
2.	1/31/2018	TANK EDIT	VC
3.	2/22/2018	AS-BUILT	VH

**PROPOSED SEWAGE DISPOSAL SYSTEM**  
**SULLIVAN, CONNORS AND ASSOCIATES**  
LAND SURVEYING AND CIVIL ENGINEERING  
121 BOSTON POST RD. SUDBURY, MA. 01776  
PHONE: 978-443-9566 FAX: 978-443-8915

DATE: 1/9/18 SHEET 1 OF 1



# OXBOW ASSOCIATES, INC.

Wetlands Delineation and Permitting • Wildlife Studies • Herpetology • Vernal Pool Ecology

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October 31, 2019

Wayland Conservation Commission  
41 Cochituate Road  
Wayland, MA 01778

**Re: Notice of Intent Plan Updates  
Proposed Addition and Septic Install within Buffer Zone  
51 Riverview Circle  
Wayland, MA**

Dear Ms. Hansen and Commission Members,


The Project team is submitting an updated Site Plan for the proposed work at 51 Riverview Circle. These changes incorporate comments from the Commission made at the previous hearing (October 10, 2019) as well as comments from the DEP Northeast Regional Office (NERO). Updated submittal materials are being mailed to DEP NERO. The following are changes that have been made to the plan and submittal package (changes relative to DEP comments in **BOLD**):

- 1) **The engineer has added a table to the Plan of floodplain cut and fill volumes at each relevant elevation.**
- 2) **The engineer has demonstrated a net increase in flood storage capacity at each elevation through changes to the project design:**
  - a. **Breakaway panels/vents added to proposed garage and existing structure.**
  - b. **Changes in proposed contouring.**
  - c. **Cut/fill between 118ft and 119ft added to table**
  - d. **Total proposed net increase in flood storage of 275.91 cubic feet**
- 3) Under this design, total net impervious surface on the site will decrease by 19.14± square feet.
- 4) WPA form corrected with contact information for current owner and updated BLSF cut/fill numbers.
- 5) Note added on Datum used (NAVD 88).
- 6) 1 ft contours corrected and labelled given prior datum discrepancy
- 7) Microtopographic design of proposed driveway depicted with black arrows indicating designed direction of flow (toward south-central limit of driveway onto adjacent lawn).

- 8) Grading surrounding septic leaching bed has been shown in more detail with associated cut/fill color-coded. Leaching bed itself constitutes fill to 121.4ft elevation.
- 9) Revision Date Shown
- 10) Updated septic design reflected in Site Plan (Tank and Pump chamber position shifted)
- 11) Given feedback at October 10 Conservation meeting on the Commissions consideration of decks as impervious, calculations of impervious surface have been amended.
- 12) The label indicating removal of existing paved drive corrected to say 1,124.18 square feet (previously incorrectly read 650 square feet)
- 13) First floor elevation of existing house shown as 124.0ft.
- 14) Dimensions of proposed decks and sunroom shown
- 15) We have provided an Existing Conditions plan from the surveyor depicting the approximate limit of lawn.

Please let us know if you have any questions or concerns about the NOI submittal and/or these recent Plan updates. We look forward to your review of these materials.

Sincerely,



Jonathan Shuster  
Environmental Scientist II  
Oxbow Associates, Inc.

Encls.

- Site Plan by Adel Shahin (October 30, 2019 Update)
- Existing Conditions plan by Jay Jarosz (Oct 31, 2019)
- Updated WPA Form 3 (mailed to DEP)
- Letter of Authorization (Signed owner agreement by power of attorney)



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

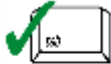
Document Transaction Number

Wayland

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

51 Riverview Circle

a. Street Address

Wayland

b. City/Town

01778

c. Zip Code

Latitude and Longitude:

36C

f. Assessors Map/Plat Number

42.342694

d. Latitude

-71.392802

e. Longitude

46

g. Parcel /Lot Number

2. Applicant:

Nasif

a. First Name

Quadir

b. Last Name

c. Organization

7 Bald Rock Road

d. Street Address

Wayland

e. City/Town

617-797-9786

h. Phone Number

MA

f. State

nashquadir@gmail.com

j. Email Address

01778

g. Zip Code

i. Fax Number

3. Property owner (required if different from applicant):

Check if more than one owner

James

a. First Name

Berry

b. Last Name

c. Organization

51 Riverview Circle

d. Street Address

Wayland

e. City/Town

508-822-2071 (Matthew Costa, POA)

h. Phone Number

MA

f. State

matthew@ggflaw.com

j. Email address

01778

g. Zip Code

i. Fax Number

4. Representative (if any):

Jonathan

a. First Name

Shuster

b. Last Name

Oxbow Associates, Inc

c. Company

P.O. Box 871

d. Street Address

Acton

e. City/Town

978-929-9058

h. Phone Number

MA

f. State

jonathan@oxbowassociates.com

j. Email address

01720

g. Zip Code

i. Fax Number

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$220.00

a. Total Fee Paid

\$97.50

b. State Fee Paid

\$122.50

c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:	
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Wayland	
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## A. General Information (continued)

6. General Project Description:

Construction of garage addition and septic installation within bordering land subject to flooding.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Middlesex (south)

a. County

65401

b. Certificate # (if registered land)

73

c. Book

d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.





**Massachusetts Department of Environmental Protection**  
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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	1,627.6±	3,482.2±
	1. square feet	2. square feet
	1,257±	1533.4±
e. <input type="checkbox"/> Isolated Land Subject to Flooding	3. cubic feet of flood storage lost	4. cubic feet replaced
	1. square feet	
f. <input type="checkbox"/> Riverfront Area	2. cubic feet of flood storage lost	3. cubic feet replaced
	2. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW	b. square feet of Salt Marsh
-----------------------	------------------------------

5.  Project Involves Stream Crossings

a. number of new stream crossings	b. number of replacement stream crossings
-----------------------------------	---



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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

2017

- b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

- Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_ percentage/acreage

(b) outside Resource Area \_\_\_\_\_ percentage/acreage

- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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## C. Other Applicable Standards and Requirements (cont'd)

(c)  MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/ mesa/ mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_fee_schedule.htm)).  
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/ mesa/ mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. \_\_\_\_\_ a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
 1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
 2.  A portion of the site constitutes redevelopment  
 3.  Proprietary BMPs are included in the Stormwater Management System.  
 b.  No. Check why the project is exempt:  
 1.  Single-family house  
 2.  Emergency road repair  
 3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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Bureau of Resource Protection - Wetlands

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## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Septic System Design for 51 Riverview Circle

a. Plan Title	David Schofield, RS	David Schofield, RS
b. Prepared By	9/10/2019	c. Signed and Stamped by 1"=20'
d. Final Revision Date	Site Plan for 51 Riverview Circle , Adel Shahin PE	e. Scale
f. Additional Plan or Document Title		g. Date 9/25/2019

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

106	9/20/2019
2. Municipal Check Number	3. Check date
107	9/20/2019
4. State Check Number	5. Check date
Waseem & Asra	Tajuddin
6. Payor name on check: First Name	7. Payor name on check: Last Name



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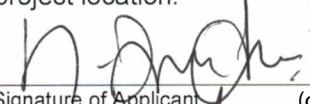

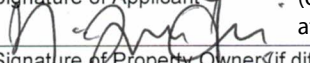
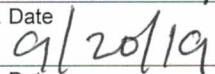
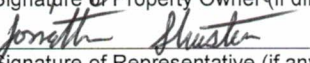
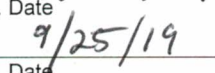
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City/Town

## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

 1. Signature of Applicant	(on behalf of owner per attached Authorization Letter)	 2. Date
 3. Signature of Property Owner (if different)		 4. Date
 5. Signature of Representative (if any)		 6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

51 Riverview Circle

a. Street Address

106

c. Check number

Wayland

b. City/Town

\$97.50

d. Fee amount

2. Applicant Mailing Address:

Nasif

a. First Name

Quadir

b. Last Name

c. Organization

7 Bald Rock Road

d. Mailing Address

Wayland

e. City/Town

617-979-9786

h. Phone Number

MA

f. State

01778

g. Zip Code

nashquadir@gmail.com

j. Email Address

i. Fax Number

3. Property Owner (if different):

James

a. First Name

Berry

b. Last Name

c. Organization

51 Riverview Circle

d. Mailing Address

Wayland

e. City/Town

508-822-2071 (Matthew Costa, POA)

h. Phone Number

MA

f. State

01778

g. Zip Code

matthew@ggflaw.com

j. Email Address

i. Fax Number

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.





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**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Cat 1) a. Addition & e. Septic	2	\$110.00	\$220.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
<b>Step 5/Total Project Fee:</b>			\$220.00
<b>Step 6/Fee Payments:</b>			
Total Project Fee:			\$220.00
State share of filing Fee:			\$97.50
City/Town share of filing Fee:			\$122.50
			a. Total Fee from Step 5
			b. 1/2 Total Fee <b>less</b> \$12.50
			c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

## Letter of Authorization

TO: Wayland Board of Health, Wayland Conservation Commission, Wayland Building Department, Wayland Zoning Board of Appeals, Wayland DPW and Water Departments

SUBJECT: Single Family Residence at 51 Riverview Cir., Wayland, MA

DATE: September 30, 2019

SUB: Authorization of Waseem and Asra Tajuddin, and their representative, Nasif Quadir, Prospective Buyers for the above subject single family home located at 51 Riverview Cir., Wayland, MA for the purpose of securing a Septic and Building Permit.

To: Whom it may concern:

This is to inform that in I, *JAMES O. BERRY* Owner's Representative hereby grant permission and access to the above subject property to Waseem and Asra Tajuddin and their representative, Nasif Quadir in order to secure septic and building permits.

All the related expense shall be paid by and is the responsibility of Waseem and Asra Tajuddin and the Owner and Owner's representative shall not be liable for any expense in this process.

Regards

*James O. Berry*  
*by Matthew J. Costa POA*  
Owner/Owner's Representative

**GENERAL DURABLE POWER OF ATTORNEY**  
**WITHOUT LIMITATION OR RESERVATION**

KNOW ALL MEN BY THESE PRESENTS THAT I, **JAMES BERRY**, of Wayland, Massachusetts, do hereby constitute and appoint my nephew, **MATTHEW COSTA**, as my true and lawful Attorney with full power to act for me and in my name.

With this instrument I intend to give and I do hereby give my Attorney named herein the power and authority to execute all documents and perform all tasks that I am legally capable of performing and without limiting the generality of the said broad power I expressly authorize my said Attorney: to manage, control, invest and reinvest my present and future property ("property" here and elsewhere in this instrument meaning money, stocks, bonds, papers, and any kind of tangible or intangible personal or real property, claims, rights or powers); to draw, make or endorse checks, notes, drafts, or other negotiable instruments for the payment of money; to give orders for the payment of dividends or interest; to collect money and receive property for me or anything due me, and to give receipts and releases therefor; to pay and discharge debts or liabilities and make charitable donations; to borrow money, to pay or deposit money or property to or with any agency, bank, broker, corporation, firm or person, to withdraw money or property from any bank, broker, firm, corporation or person whether any such account be in my name individually or jointly; to hold money or property in my name or said Attorney's name; to have access to any safe deposit box standing in my name individually or jointly and to place in it or take from it any property; to sell, transfer, convey, assign, exchange, mortgage, lease, encumber or otherwise dispose of, to acquire, and to deal with any property, including the power to transfer, convey, and deliver any and all property to the trustees of any revocable or irrevocable trust created by me as donor; to deposit property, with any committee or depositary, and to pay expenses and assessments in connection therewith; to take part in the reorganization or adjustment of any concern in whose securities I may be interested and to assent to any plan therefor; to vote or otherwise to consent to any corporate or collective action in respect of shares, bonds or securities, and to grant proxies therefor to others, whether discretionary or not and with power of substitution or not; to take out insurance of any kind, pay premiums and exercise all rights under insurance policies and to prove and settle insurance claims; to establish an individual retirement account in my name and to deal with all retirement plans of which I am a member, including any existing individual retirement accounts, Keogh plans, pension and profit sharing plans, settlement options and distributions, rollovers and voluntary contributions; to prepare, execute and file any tax returns and to pay all taxes, interest and penalties determined to be due; to represent me, and to authorize another or others to represent me, before any federal, state or municipal board, tribunal, agency or official; to sue upon, defend, compromise, arbitrate or adjust any claims by or against me or any controversies in connection with any matters in which I may be concerned, in court or elsewhere; to receive, endorse and collect the proceeds of checks drawn on the Treasurer of the United States; to represent me in any way in connection with any estate, will or trust in which I am now or hereafter become interested; to file a qualified disclaimer or otherwise disclaim or release any interest in any such estate, will or trust or any right of survivorship incident to joint tenancy or tenancy by the entirety or to release any interest I may have as a donee of a power of appointment; to consent to, approve, contest or settle acts or accounts of the executors, administrators or trustees of any estate or trust, and to give them receipts or releases and deal with them in any way; to make contracts or agreements; to execute and

deliver and, if desired, to execute, acknowledge and make oath to, transfers, contracts, agreements, assents, releases, deeds, mortgages, leases or instruments, sealed or unsealed; to employ counsel, attorneys and agents; to do any one or more or all of the foregoing at said Attorney's discretion and from time to time; and generally to act as fully and effectually as I might do if personally present.

My said Attorney serving hereunder may resign at any time by a signed writing which shall be given to me.

I hereby nominate and appoint my said Attorney, MATTHEW COSTA, as my conservator and/or my guardian in the event the need for the appointment of such a fiduciary should arise at any time in the future.

It is my intention that this be a DURABLE POWER OF ATTORNEY, as described in Chapter 201B of the General Laws of the Commonwealth of Massachusetts, designated the "Uniform Durable Power of Attorney Act". This DURABLE POWER OF ATTORNEY shall not be affected by my subsequent incapacity or disability.

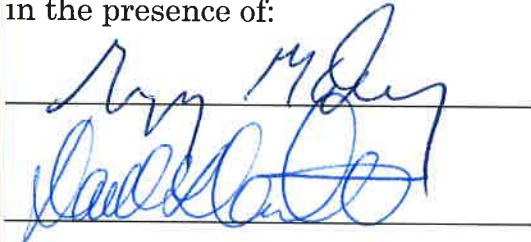
My death shall not revoke or terminate this DURABLE POWER OF ATTORNEY, if my said Attorney, without actual knowledge of my death, acts in good faith hereunder.

I hereby covenant and agree on behalf of myself and my estate to indemnify and hold harmless any and all persons from any and all liability resulting from such persons' actions in good faith reliance on this power of attorney.

IN WITNESS WHEREOF I have hereunto set my hand and seal this 18<sup>th</sup> day of June in the year of our Lord Two Thousand and Ten.

SIGNED AND SEALED  
in the presence of:

  
JAMES BERRY



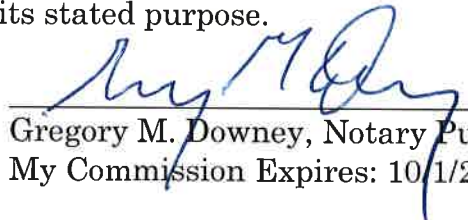
COMMONWEALTH OF MASSACHUSETTS

Bristol, ss.

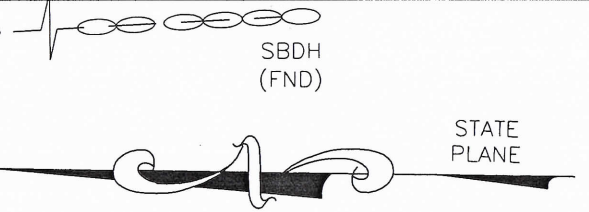
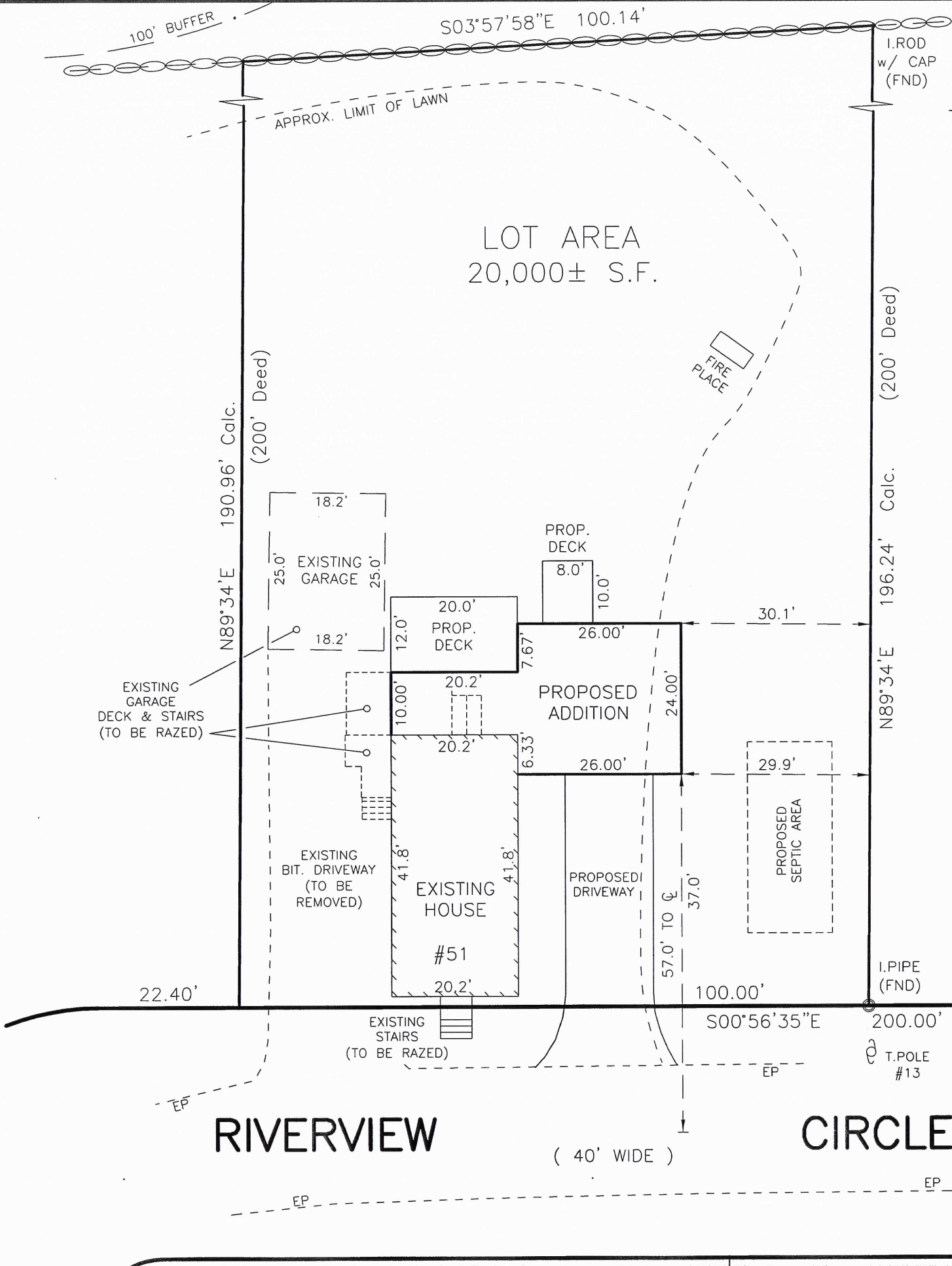
June 18, 2010

On this 18<sup>th</sup> day of June, 2010, before me, the undersigned notary public, personally appeared **JAMES BERRY** whose identity was proved to me through  personal knowledge  oath or affirmation of \_\_\_\_\_ who personally knows the signatory  viewing of the signatory's valid driver's license to be the person whose name is signed on the preceding or attached document, and acknowledged to me that the signatory signed it voluntarily for its stated purpose.



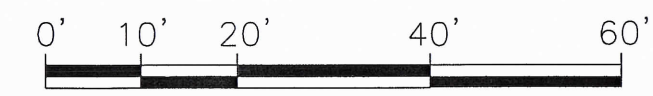
  
Gregory M. Downey, Notary Public  
My Commission Expires: 10/1/2015





# PLAN OF LAND IN WAYLAND, MASS.

SCALE: 1"=20'  
DATE: OCTOBER 31, 2019



## SHOWING PROPOSED ADDITION

I CERTIFY THAT THIS HOUSE IS LOCATED ON THE GROUND AS SHOWN.

DATE: Oct 31 2019

*Jay Jarosz*  
PROFESSIONAL LAND SURVEYOR



*Jay Jarosz* (10-31-19)  
PLS

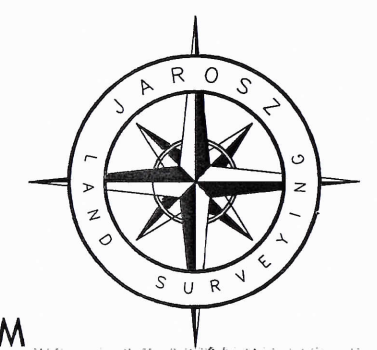
N/F OWNER:

JAMES BERRY

#51 RIVERVIEW CIRCLE

MAP 36C LOT 46  
Zone: R-20

JAROSZ LAND SURVEYING  
3 MILL STREET  
MANCHESTER, MA. 01944  
jj1717@comcast.net  
Phone: (781)-710-8484  
JAROSZLANDSURVEYOR.COM



**Wayland Wetlands and Water Resources Bylaw, Chapter 194 Application**

**1. Applicant:**

Masse, Brian brian.masse@gmail.com  
 Name (PLEASE PRINT) Email Address (if applicable)  
75 Barney Hill Rd Wayland MA 01778  
 Mailing Address City/Town State Zip Code  
978-509-7074  
 Phone Number Fax Number (if applicable)

**2. Representative:**

NA  
 Firm/Business Name Contact Name  
 Mailing Address City/Town State Zip Code  
 Phone Number Fax Number (if applicable)

**3. Property Owner(s)**

Brian and Tasha Masse  
 Property Owner (PLEASE PRINT) Email Address (if applicable)  
same  
 Address City/Town State Zip Code  
 Phone Number Fax Number (if applicable)

**4. Type of Application**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Request for a Determination of Applicability (RDA) | <input type="checkbox"/> Notice of Intent (NOI)      |
| <input type="checkbox"/> Abbreviated NOI   | <input type="checkbox"/> Extension of O.O.C.         |
| <input type="checkbox"/> Notice of Resource Area Delineation                           | <input type="checkbox"/> Certificate of Compliance   |
| <input type="checkbox"/> After the Fact Amendment (AFA)                                | <input type="checkbox"/> After the Fact Filing (AFF) |
| <input type="checkbox"/> Amendment to Order of Conditions                              |  |

**RECEIVED**  
**OCT 24 2019**

WAYLAND CONSERVATION COMMISSION

**5. Project**

75 Barney Hill Rd  
 Location Address Assessors Map(s) Parcel(s)  
 Project Description (PLEASE PRINT): Place a 10' x 16' (or less) shed between  
50' and 100' from wetlands. Shed will be placed on concrete  
blocks that allow drainage underneath

**6. Title/Date of Plan(s)**

**7. Bylaw Application Fee:** \$ \_\_\_\_\_

**8. Application filed pursuant to MGL Chapter 131, Section 40**  Yes  No

**9. Signature of Applicant**

Brian Masse Date 10/24/19

**Signature of Property Owner**

Brian Masse Date 10/24/19

**(NOTE: This application shall be signed by the property owner as well as the applicant. Signature of the property owner on this application shall be deemed permission granted to the Conservation Commission and their agents to go upon the subject property.)**

**FEES- Wetlands and Water Resources Bylaw (Chapter 194) and  
Stormwater and Land Disturbance Bylaw(Chapter 193)**

ADOPTED: May 10, 2005  
Effective June 8, 2005

<b>RDA (1) – S.f.h. addition/Landscaping/ Septic Repair (w/on-site grading, other than septic, less than 1,000 s.f.): Work less than 50' from wetlands</b>	<b>\$100.00</b>
<b>RDA (1): Work, including grading more than 50' from wetlands</b>	<b>\$ 50.00</b>
<b>RDA – Determination of Conservation Commission jurisdiction, w/no proposed work</b>	<b>\$100.00/40,000 s.f. of lot area</b>
<b>Other RDA – Work less than 50' from wetlands</b>	<b>\$150.00</b>
<b>Other RDA – If no alteration of resource area is proposed, except buffer zone more than 50' from wetlands</b>	<b>\$100.00</b>
<b>Other RDA – w/alteration of resource area more than 50' from wetlands, excluding buffer zone</b>	<b>\$100.00 + .25/s.f. of resource area impacted (excluding buffer zone)</b>
<b>NOI – Single-family addition and on-site grading less than 2,000 s.f. and work more than 50' from wetlands</b>	<b>\$50.00</b>
<b>NOI – Single-family addition and on-site grading less than 2,000 s.f. and work less than 50' from wetlands</b>	<b>\$100.00</b>
<b>NOI – New construction and NO alteration of v.w. or l.s.f.i. work less than 50' from wetlands</b>	<b>\$200.00/unit</b>
<b>NOI – New construction and NO alteration of v.w. or l.s.f.i. and work more than 50' from wetlands</b>	<b>\$100.00/unit</b>
<b>NOI –Other, work less than 50' from wetlands</b>	<b>\$200.00</b>
<b>NOI –Other, work more than 50' from wetlands</b>	<b>\$100.00</b>
<b>NOI – w/alteration of v.w. and/or l.s.f.i. and work less than 50' from wetlands</b>	<b>\$200.00 + .25/s.f. of resource area impacted</b>
<b>NOI – w/alteration of v.w. and/or l.s.f.i. and work more than 50' from wetlands</b>	<b>\$100.00 + .25/s.f. of resource area impacted</b>
<b>NOI/RDA: Riverfront Area –Work within 100' and 200' of mean annual high water (First application)</b>	<b>Two times the applicable fee</b>
<b>NOI/RDA: Riverfront Area – work between 100' and 200' of mean annual high water (First application)</b>	<b>Applicable fee times 1.5</b>
<b>ANRAD</b>	<b>\$100.00/40,000 s.f. of lot area</b>
<b>After the Fact Amendment</b>	<b>Applicable fee above + \$100.00</b>
<b>After the Fact Filing</b>	<b>Double the applicable fee above</b>
<b>Amendment</b>	<b>\$75.00</b>
<b>Extension</b>	<b>\$25.00</b>
<b>Certificate of Compliance</b>	<b>\$50.00/unit</b>
<b>Chapter 193- Stormwater Management and Land Disturbance Bylaw</b>	<b>\$100.00</b>

**Abbreviations:**

Request for Determination of Applicability (RDA)  
 Notice of Intent (NOI)  
 Request to Amend Order of Conditions (Amendment)  
 Abbreviate Notice of Intent – Resource Area Determination (ANRAD)  
 Single Family House (S.f.h.)  
 Vegetated Wetlands (v.w.)  
 Land Subject to Flooding and Inundation (l.s.f.i.)  
 Riverfront Area (R.A.)  
 Vernal Pool (V.P.)  
 Square Feet (s.f.)

\* **NOTE:** Stormwater Management and Land Disturbance Bylaw, Chapter 193, has a separate filing fee. Please refer to the application for further submittal requirement.

**NOTES:**

- Legal advertising will be billed directly to the applicant.
- The Conservation Commission may seek consultant fees pursuant to the Rules and Regulations.
- These fees are in addition to the fees required for applications filed pursuant to the Wetlands Protection Act (MGL Chapter 131, Section 40).
- Payment of fee does NOT guarantee approval of project.
- Town, county, state, and federal projects may be exempted from fees upon request.





**TOWN OF WAYLAND**  
**Conservation Commission**  
41 COCHITUATE ROAD  
WAYLAND, MASSACHUSETTS 01778

## CHAPTER 194 Submittal Requirements

Upon submittal of any Bylaw application the applicant(s), property owner (if different), and their representative(s) must sign this checklist.

- Original and one copy of the MA Wetlands Protection Act ("WPA") application and Chapter 194 Bylaw application, including owner(s) signature, the applicant(s) signature, site plan(s), narrative, etc. \*

**NOTE:** If a WPA Application is not filed, a copy of either a statement as to not applicable (limited generally to buffer zone or bordering land subject to flooding) or a valid Order of Resource Area Determination (ORAD) must be provided with copies.

- A separate check for all applicable Wetlands Act fees.
- A separate check for all applicable Chapter 194 Bylaw fees.
- A list of the 100' Abutters, certified by the Assessors Office.
- Evidence of Board of Health receipt of application or approval for all applications with septic work or home renovations.

\*A copy of all documents submitted should be provided electronically to [conservation@wayland.ma.us](mailto:conservation@wayland.ma.us)

### Project Summary

- A narrative statement describing all of the activities proposed. If work is omitted from the narrative it may not be permitted.
- A narrative summary description of the types of resource areas on or near the site. Omission of resource areas is a basis for denial of the project as being incomplete.
- A narrative discussion how the project has been designed to minimize impacts to resource areas and how any mitigation has been proposed to better protect or enhance the resource areas during and after construction.

The Conservation Commission will evaluate the application based on the scope of the project and the potential impacts on the resource area (e.g. a wetland, pond, vernal pool, riverfront area, etc.) The Commission's priorities for project assessment are avoidance, minimization, and mitigation of impacts to resource area/s in that order. If mitigation is proposed, the Commission will require a 1:1.5 ratio of replication for impacts to wetlands and for buffer zones. The narrative should clearly address these priorities.

- A narrative discussion that presents justification, based on factors of technical or economic feasibility, why alternatives that might minimize or completely avoid adverse impact to the Riverfront Area, Floodplain, the Buffer Zone, and/or any other resource area are not being proposed. At a minimum there must be discussion of the alternative for no alteration.

The following items are required for Site Plans submitted with a Bylaw application; however, if the Applicant considers that the information is not relevant to the scope or scale of the proposed project, a Waiver(s) of requirements must be requested at the time of filing the application with the Conservation Commission.



**TOWN OF WAYLAND**  
**Conservation Commission**  
41 COCHITUATE ROAD  
WAYLAND, MASSACHUSETTS 01778

**Site Plan Minimum Requirements**

The following shall be included on the Site Plan:

- Stamp of a Professional Engineer (P.E.) and/or a Professional Land Surveyor (P.L.S.) depending upon proximity to lot lines or project complexity.
- OR**
- Stamp of a Registered Sanitarian (R.S.) is acceptable for designs of septic systems handling less than 2,000 gallons per day, with incidental site work.
- Grade elevations based on National Geodetic Vertical Datum (NGVD). Grade contours in the area of work shall be provided with at least 1-foot intervals.
- Plan Scale: 1 inch = 10 feet or 1 inch = 20 feet.
- Wetlands flagging with letters and/or numbers as defined in the field.
- Date that wetlands flagging was done and name of the wetland delineator (if GIS was used to wetlands, then include the GIS source.)
- Site Plans must clearly show existing conditions and proposed conditions, utilities, impervious surfaces, limit of lawn, trees greater than 6 inches in diameter proposed for removal, significant land features such as rock outcroppings, all Resource Areas (differentiate each) including Buffer Zone. *Note: It may be more comprehensible to submit two plans: an existing conditions plan and a proposed conditions plan.*
- Site plans must detail the permanent demarcation of the limit of lawn with minimum 30' offset from resource area for new construction, and minimum average 15' offset for existing dwellings.
- Locations and identifiers for all test pit locations.
- A cross-section of grading and profile for proposed septic systems.
- Locations for temporary stockpiles or storage of soils or demolition debris during construction.
- Access route for construction equipment and construction entrance location details.
- Location of erosion control barrier(s).
- Detail for installation of erosion control barrier(s).
- Location for refueling of equipment. (Outside buffer zone strongly preferred)
- Locations designated for snow storage, if necessary.
- Pre/Post-Construction Lot Coverage Summary for areas within by-law jurisdiction: a) Total lot area; b) total impervious area (Note: impervious areas shall include, but are not limited to, roofs, decks, walks, and driveways); c) total landscaped/lawn area; and d) total area altered during construction (including temporary impacts).



**TOWN OF WAYLAND**  
**Conservation Commission**  
41 COCHITUATE ROAD  
WAYLAND, MASSACHUSETTS 01778

### Drainage Requirements

The Commission seeks to protect water quality of surface waters and groundwater, and to limit any increase in the rate or quantity of runoff of storm water from the property.

- For projects adding less than or equal to 500 square feet of impervious area, a narrative description of specific measures used to provide for infiltration of runoff equivalent to runoff this additional impervious area. Those measures must be clearly depicted on the Site Plan as a specification.

OR

- For projects adding more than 500 square feet of impervious area,
- A narrative discussion of the methods and all assumptions used in the drainage calculations
  - A plan showing drainage catchment areas
  - Supporting calculations (i.e. HydroCAD) stamped by a P.E.
  - Summary tables presenting Pre/Post Construction Storm Water Runoff Rates and Volumes for a 1-inch storm event, a 10-year, and a 100-year storm events. Note: Rainfall of at least 8 inches in 24 hours must be used for 100-year storm event.
  - Compliance with DEP's Stormwater Management Standards.

- Narrative description of structural and non-structural best management practice (BMP) (See "Definitions), controls for storm water management for the project during construction phases and for long term site management:

- Evaluation of BMP selection and factors of site suitability including: soils, drainage area, depth to water table, depth to bedrock, slopes and proximity to wells and foundations
- Discussion of construction phasing
- Relevant site characterization data for design
- Water quality calculations for total suspended solids (TSS) removal
- Calculated storm water recharge rate
- Calculated peak discharge rate

- Maintenance requirements and site inspections templates for BMPs must be specified. Operation and Maintenance (O&M) plans for Stormwater shall be submitted with the application describing short-term BMPs (during construction) and long-term BMPs (post-construction) for management of the drainage structures, roadway and/or parking lot (as applicable) including but not limited to sweeping; catch basin cleaning; snow storage and erosion controls, such as hay bales or sediment fences. The drainage components (Best Management Practice – BMP) shall be as described using terminology in the most recent version of the DEP Storm water Technical Handbook, March 1997. A Plan for protecting the post-construction BMPs during construction shall be include in the O&M Plan.

- Aquifer Protection District – If the project is within this area, a narrative description of how the project complies with aquifer protection requirements.





# Town of Wayland

41 COCHITUATE ROAD  
WAYLAND MASSACHUSETTS 01778

www.wayland.ma.us TEL. 508-358-3788

### OFFICE STAFF

Elen M. Brideau, Assessing Director  
Denise Ellis, Assistant Assessor  
Jessica Marchant, Administrative Assessor  
Savitri Ramgoolam, Department Assistant

### BOARD OF ASSESSORS

Susan Rufo, Chairperson  
Jayson Brodie, Vice Chairman  
Molly Upton  
Zachariah L. Ventress

## LIST OF ABUTTERS REQUEST FOR CERTIFICATION

PLEASE ALLOW 10 BUSINESS DAYS FOR A LIST TO BE CERTIFIED BY ASSESSORS PER MGL CH. 66, S.10  
LISTS ARE CERTIFIED ON A "FIRST COME, FIRST SERVE" BASIS PLEASE PLAN YOUR SUBMISSION ACCORDINGLY

Date of request 10/24/14 Telephone: 978-509-7074

Name Of Applicant Brian Morse Signature of Applicant Brian Morse  
Please Print

Company's Name NA

Mailing Address 25 Barney Hill Rd, Wayland MA 01778

Location of Property same  
To Be Certified

Map Number 44 Parcel 042

\*\*\*Please check with the Board/Commission for their guidelines, each Board/Commission has its own regulations for their abutters listing.

This is to certify that at the time of the last assessment for taxation made by the Town of Wayland, the names and addresses are the assessed owners to these parcels.

Certified By: \_\_\_\_\_ Date: \_\_\_\_\_

CC:

Conservation     Board Of Health     Other \_\_\_\_\_

**Notification to Abutters**  
**Under the Wayland Wetlands and Water Resources Protection Bylaw**

In accordance with Chapter 194 of the Town of Wayland Bylaws, you are hereby notified of the following:

- A. The name of the **Applicant** is Brian Morse
- B. The Applicant has filed a Chapter 194 application with the Wayland Conservation Commission for permission to remove, fill, dredge, or alter an Area Subject to Protection (Wetland Resource Area and/or Buffer Zone) Under the Wayland Wetlands and Water Resources Protection Bylaw (Chapter 194).
- C. The **address** of the lot where the activity is proposed: 25 Barney Hill Rd, Wayland, MA  
Map: 44 Lot: 042
- D. The **proposed activity** is: Place a shed between 50' and 100' from wetlands
- 
- D. A **Public Hearing** regarding this application will be held on:  
 Thursday, \_\_\_\_\_ at \_\_\_\_\_ PM at Town Hall (41 Cochituate Road, Wayland).  
 Information regarding the date, time, and place of the public hearing may be obtained from the applicant or the Wayland Conservation Commission (check website).
- E. Copies of the Chapter 194 may be examined at **THE WAYLAND CONSERVATION COMMISSION OFFICE** at Wayland Town Hall between the hours of 8:00 A.M. & 4:00 P.M. Monday – Thursday and 8:00 A.M. & 12:30 P.M. Friday. For more information, call: 508-358-6339.
- F. Copies of the Chapter 194 application may be obtained from either:  
 The Applicant, or the Applicant's representative \_\_\_\_\_, by calling this telephone number: \_\_\_\_\_ between the hours of \_\_\_\_\_ on the following days of the week: \_\_\_\_\_.

Note: Public Hearing Notice, including its date, time, and place, will be published at least 5 days in advance in the **Wayland Town Crier or MetroWest Daily News** (at the applicant's expense).

***Since you are receiving this notice, you may have wetland or riverfront resource areas on your property.***

***Therefore, construction, cutting, clearing, or grading may require a permit. For clarification or for more information, call the Conservation office 508-358-3669 or visit our web site: [http://www.wayland.ma.us/Pages/WaylandMA\\_Conservation/index](http://www.wayland.ma.us/Pages/WaylandMA_Conservation/index)***



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

City/Town \_\_\_\_\_

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. General Information**

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Name Brian Mosse E-Mail Address \_\_\_\_\_

Mailing Address 75 Barney Hill Rd

City/Town Wayland, MA 01778 State MA Zip Code 01778

Phone Number 978-509-7074 Fax Number (if applicable) \_\_\_\_\_

2. Representative (if any):

Firm NA

Contact Name \_\_\_\_\_ E-Mail Address \_\_\_\_\_

Mailing Address \_\_\_\_\_

City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number (if applicable) \_\_\_\_\_

**B. Determinations**

1. I request the Wayland Conservation Commission make the following determination(s). Check any that apply:  
Conservation Commission

- a. whether the area depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the boundaries of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the work depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any municipal wetlands ordinance or bylaw of:

Name of Municipality \_\_\_\_\_

- e. whether the following scope of alternatives is adequate for work in the Riverfront Area as depicted on referenced plan(s).

RECEIVED

OCT 24 2019

WAYLAND CONSERVATION COMMISSION



# WPA Form 1- Request for Determination of Applicability

City/Town \_\_\_\_\_

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

25 Barney Hill Rd  
Street Address

Wayland, MA  
City/Town

Assessors Map/Plat Number \_\_\_\_\_

Parcel/Lot Number \_\_\_\_\_

- b. Area Description (use additional paper, if necessary):

wetlands

- c. Plan and/or Map Reference(s):

Map 44 Site 042

Title \_\_\_\_\_

Date \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Place a shed between 50' and 100' from wetlands.  
Shed will be 10' x 16' (or less) and be placed on  
concrete blocks which allow drainage underneath.





## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

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3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

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Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

City/Town \_\_\_\_\_

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Name Brian Mose  
Mailing Address 75 Burray Hill Rd  
City/Town Wayland  
State MA Zip Code 01778

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant Brian Mose Date 10/24/19  
Signature of Representative (if any) \_\_\_\_\_ Date \_\_\_\_\_