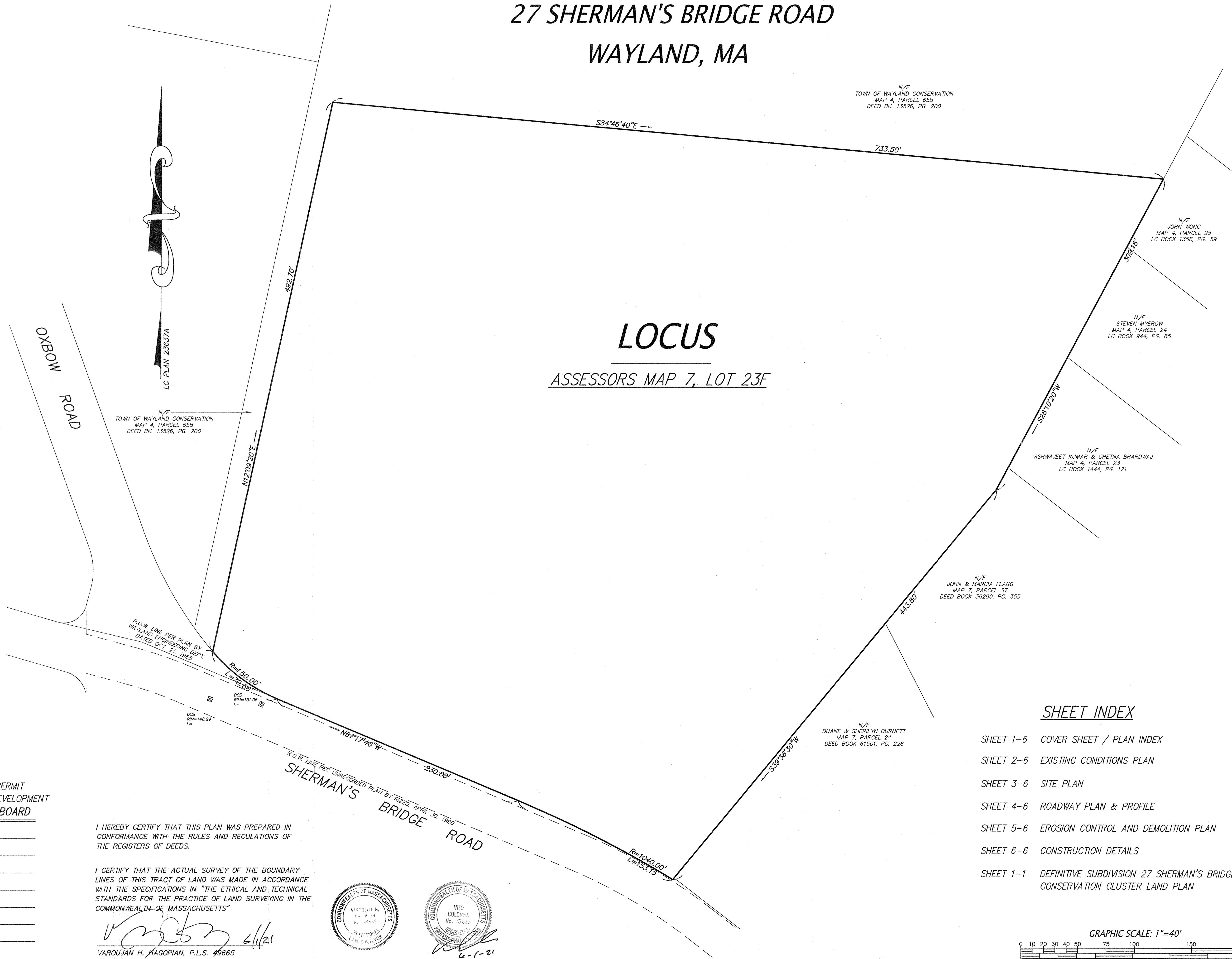


CONSERVATION CLUSTER AND DEFINITIVE SUBDIVISION PLANS
27 SHERMAN'S BRIDGE ROAD
WAYLAND, MA

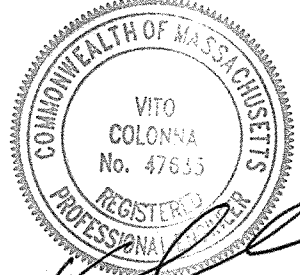


APPROVED SPECIAL PERMIT
CONSERVATION CLUSTER DEVELOPMENT
WAYLAND PLANNING BOARD

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

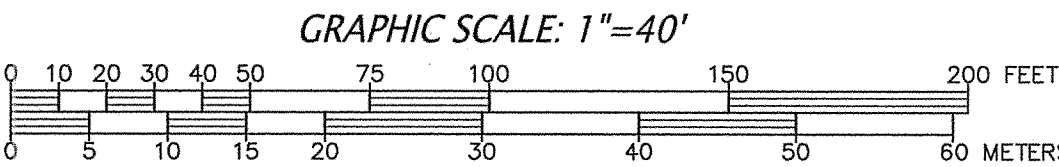
I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY
LINES OF THIS TRACT OF LAND WAS MADE IN ACCORDANCE
WITH THE SPECIFICATIONS IN "THE ETHICAL AND TECHNICAL
STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS"

VAROUJAN H. MAGOPIAN, P.L.S. #9665



SHEET INDEX

- SHEET 1-6 COVER SHEET / PLAN INDEX
SHEET 2-6 EXISTING CONDITIONS PLAN
SHEET 3-6 SITE PLAN
SHEET 4-6 ROADWAY PLAN & PROFILE
SHEET 5-6 EROSION CONTROL AND DEMOLITION PLAN
SHEET 6-6 CONSTRUCTION DETAILS
SHEET 1-1 DEFINITIVE SUBDIVISION 27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER LAND PLAN



ZONED: R-60
AREA = 60,000 sf
FRONTAGE = 210 feet
LOT WIDTH = 100 feet
SETBACKS: FRONT = 30 feet
SIDE = 30 feet
REAR = 30 feet

SPECIAL PERMIT CONSERVATION CLUSTER
AREA = 20,000 sf
FRONTAGE = 50 feet
SETBACKS: 50' TO PERIMETER
15' TO OPEN LAND

NO LOT SHALL BE FURTHER DIVIDED SO AS
TO CREATE ADDITIONAL LOTS.

SEE FINDINGS AND DECISION OF APPROVAL BY THE
WAYLAND PLANNING BOARD DATED
RECORDED AT THE MIDDLESEX SOUTH REGISTRY
OF DEEDS.

OWNER:
27 SHERMAN BRIDGE ROAD REALTY TRUST

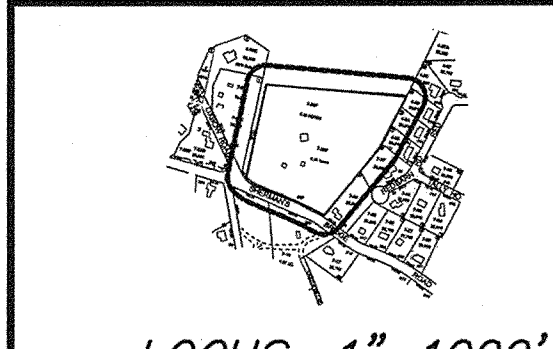
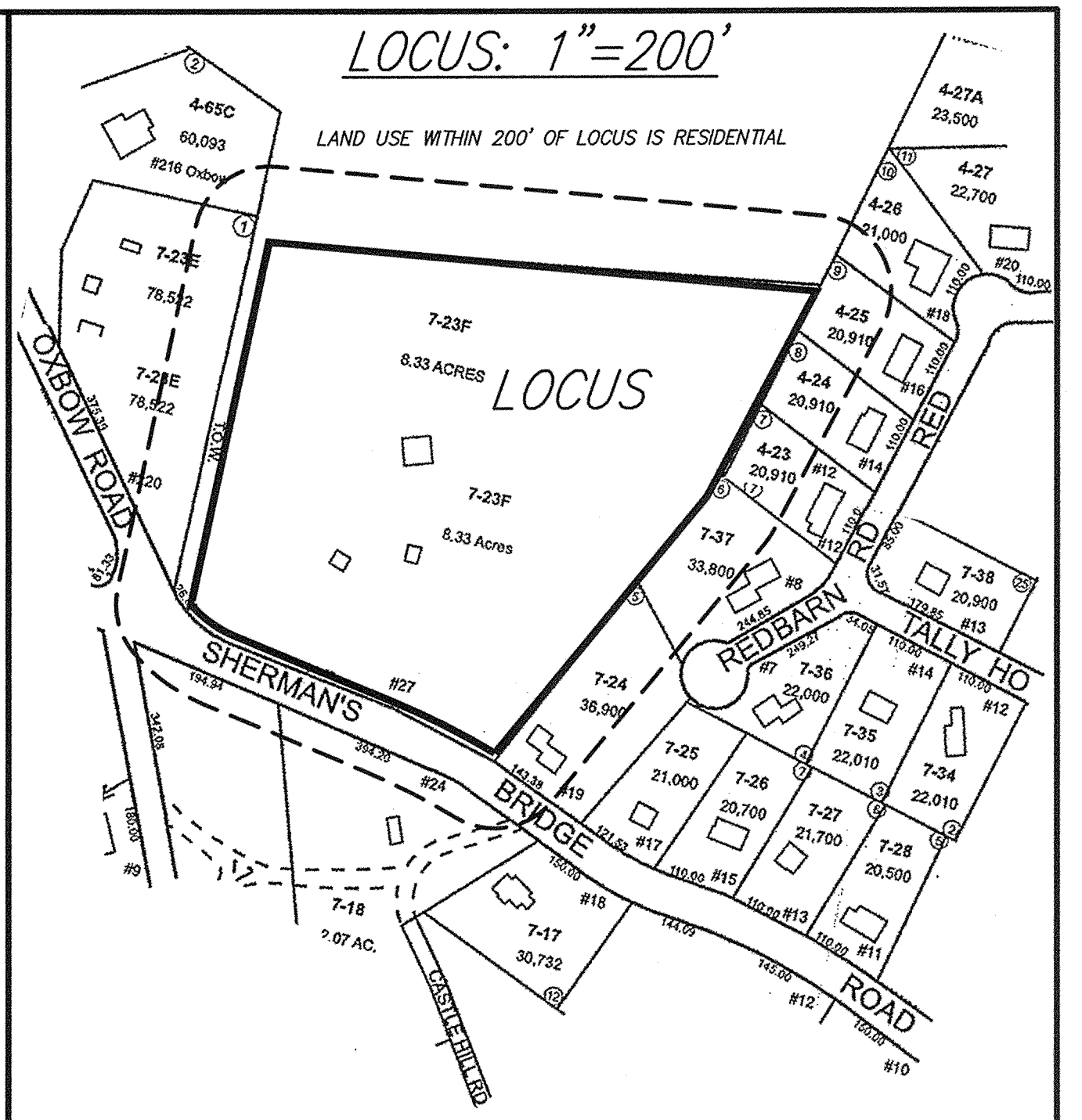
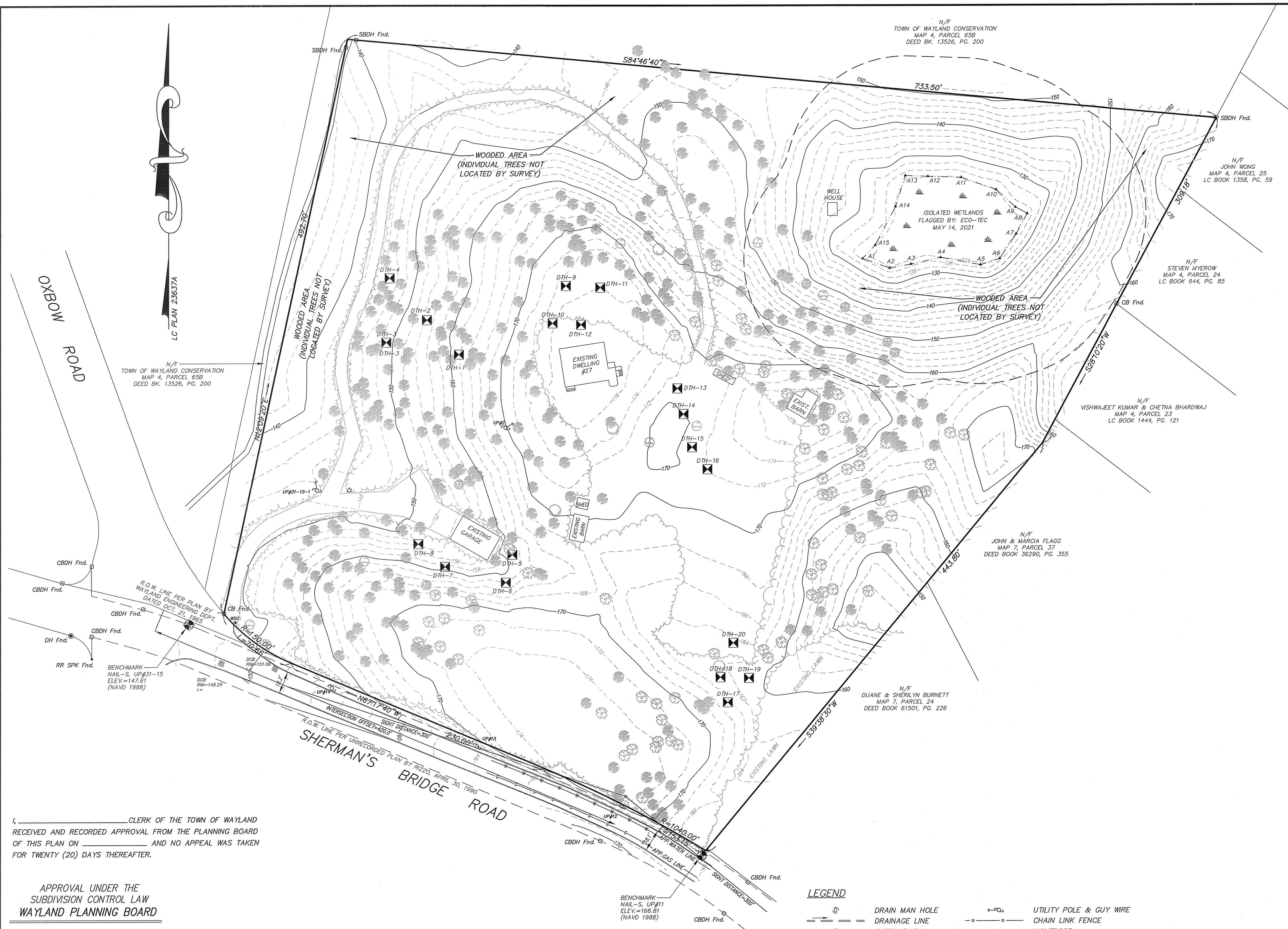
DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

SULLIVAN, CONNORS
AND ASSOCIATES
LAND SURVEYING AND CIVIL ENGINEERING
121 BOSTON POST ROAD
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566 FAX: 978-443-8915

DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA

COVER SHEET / INDEX PLAN

REVISED: DESCRIPTION:
DRAWN BY: REM CHECK BY: VC
DATE: JUNE 1, 2021
SCALE: 1"=40' SHEET 1 OF 6.



GENERAL NOTES:

1. THIS PLAN IS BASED ON AN ON-GROUND SURVEY BY SULLIVAN, CONNORS & ASSOCIATES PERFORMED ON APRIL 2020.
2. LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
3. WETLAND DELINEATION BY ECO-TEC, INC.
4. PLAN BENCHMARK UP#11, NAIL EL.=166.81 BASED ON (NAVD 1988).
5. SULLIVAN CONNORS & ASSOCIATES INC. DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES, THAT ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN, OR THE CHARACTER OF SUBSURFACE GROUND CONDITIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND ELEVATION OF UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT THE TOWN DPW AND DIG SAFE (1-888-344-7233) FOR UTILITY LOCATIONS 72 HOURS BEFORE EXCAVATION.

SEE FINDINGS AND DECISION OF APPROVAL BY THE WAYLAND PLANNING BOARD DATED _____ RECORDED AT THE MIDDLESEX SOUTH REGISTRY OF DEEDS.

OWNER:
27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

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DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA

EXISTING CONDITIONS PLAN

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: JUNE 1, 2021	
SCALE: 1"=40'	SHEET 2 OF 6.

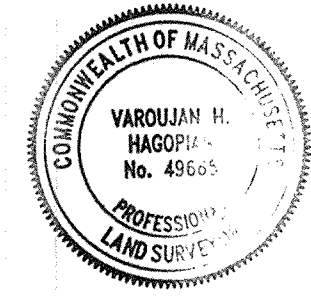
I, _____, CLERK OF THE TOWN OF WAYLAND
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

**APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
WAYLAND PLANNING BOARD**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

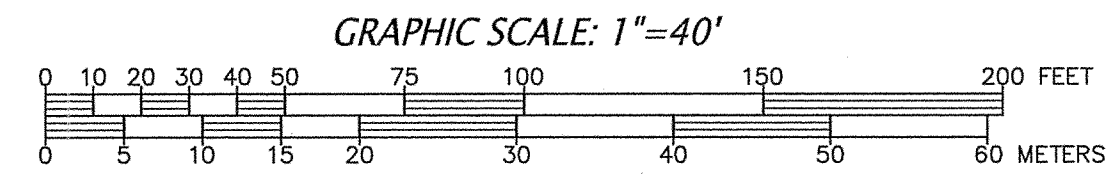
I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY
LINES OF THIS TRACT OF LAND WAS MADE IN ACCORDANCE
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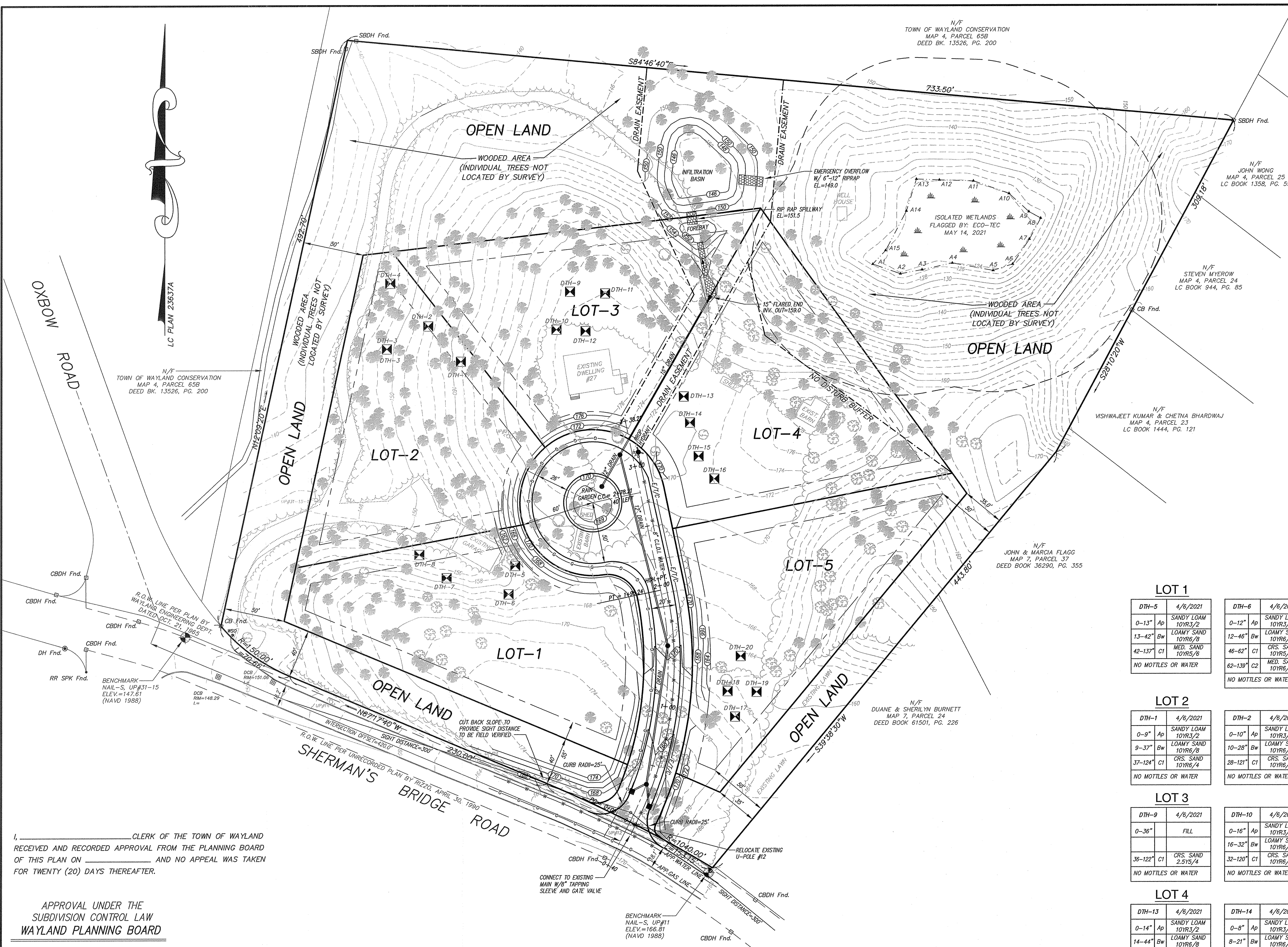
[Signature]
VAROUJAN H. HAGOPIAN, P.L.S. 49665



LEGEND

- | | | | |
|--|--------------------------|--|--------------------------------|
| | DRAIN MAN HOLE | | UTILITY POLE & GUY WIRE |
| | DRAINAGE LINE | | CHAIN LINK FENCE |
| | CATCH BASIN | | LIGHTPOST |
| | BITUMINOUS CURBING | | ELECTRIC TRANSFORMER |
| | EDGE OF PAVEMENT | | SIGN |
| | APPROX. WATERLINE | | VERTICAL BENCHMARK (NAVD 1988) |
| | HYDRANT | | DECIDUOUS TREE >8" |
| | WATERGATE | | CONIFEROUS TREE >8" |
| | APPROX. GAS LINE | | TREE LINE |
| | GAS GATE | | SPOT GRADE |
| | STONEWALL | | EXISTING 2' CONTOUR |
| | FLARED END | | EXISTING 10' CONTOUR |
| | OUTLET CONTROL STRUCTURE | | PROPOSED FINISH GRADE |
| | WATER QUALITY STRUCTURE | | |





LEGEND	
	DRAIN MAN HOLE
	DRAINAGE LINE
	CATCH BASIN
	BITUMINOUS CURBING
	EDGE OF PAVEMENT
	APPROX. WATERLINE
	HYDRANT
	WATERGATE
	APPROX. GAS LINE
	GAS GATE
	STONEWALL
	FLARED END
	OUTLET CONTROL STRUCTURE
	WATER QUALITY STRUCTURE
	UTILITY POLE & GUY WIRE
	CHAIN LINK FENCE
	LIGHTPOST
	ELECTRIC TRANSFORMER SIGN
	VERTICAL BENCHMARK (NAVD 1988)
	DECIDUOUS TREE >8"
	CONIFEROUS TREE >8"
	TREELINE
	SPOT GRADE
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED FINISH GRADE

OPEN LAND SUMMARY

TOTAL LOT AREA = 361,582 S.F.
SITE AREA MINUS ROAD AREA = 340,536 S.F.
REQUIRED OPEN LAND 35% OF SITE AREA MINUS ROAD AREA
REQUIRED OPEN LAND = 119,188 S.F. (35%)
PROPOSED OPEN LAND = 164,204 S.F. (45.4%)
PROPOSED OPEN LAND AREA DOES NOT INCLUDE
AREA OF DRAIN EASEMENT (12,767 S.F.)

CONSERVATION CLUSTER DEVELOPMENT DISTRICT
ZONING BYLAW SECT.198-1803.1.3 YIELD CALCULATION
SECT.198-1803.1.3.(a) CONVENTIONAL LAYOUT YIELDS = 5 LOTS
SECT.198-1803.1.3.(b)
TOTAL SITE AREA = 361,582 S.F.
LAND AREA WITHIN FLOOD PLAIN AND WETLANDS = 0 S.F.
361,582 S.F. x 90% = 325,424 S.F.
325,424 S.F. / 60,000 S.F. = 5.42 LOTS

LOT DEVELOPMENT NOTES / CONDITIONS:

- ALL ROOF RUNOFF ON ALL LOTS SHALL BE DIRECTED TO INDIVIDUAL DRYWELLS. SEE DETAIL ON SHEET 6 OF 6.
- NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST SECURING FROM THE BOARD OF HEALTH A DISPOSAL WORKS CONSTRUCTION PERMIT REQUIRED BY TITLE 5 OF THE STATE ENVIRONMENTAL CODE.

GENERAL NOTES:

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AQUIFER PROTECTION OVERLAY DISTRICT

UNDERLYING ZONE R-60
ZONED: 60,000 S.F.
AREA = 60,000 sf
FRONTAGE = 210 feet
LOT WIDTH = 100 feet
SETBACKS: FRONT = 30 feet
STREET CENTERLINE = 55 feet
SIDE = 30 feet
REAR = 30 feet

SPECIAL PERMIT CONSERVATION CLUSTER

AREA = 20,000 sf
FRONTAGE = 50 feet
SETBACKS: FRONT = 15 feet
SIDE = 15 feet
REAR = 15 feet
50' TO PERIMETER
15' TO OPEN LAND

SEE FINDINGS AND DECISION OF APPROVAL BY THE WAYLAND PLANNING BOARD DATED RECORDED AT THE MIDDLESEX SOUTH REGISTRY OF DEEDS.

OWNER:

27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

SULLIVAN, CONNORS
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PHONE: 978-443-9566 FAX: 978-443-8915

DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA

SITE PLAN

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: JUNE 1, 2021	
SCALE: 1"=40'	SHEET 3 OF 6.

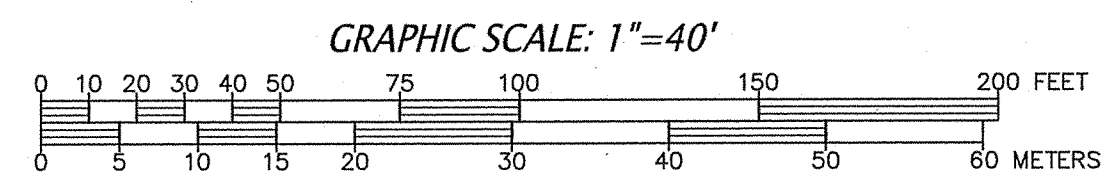
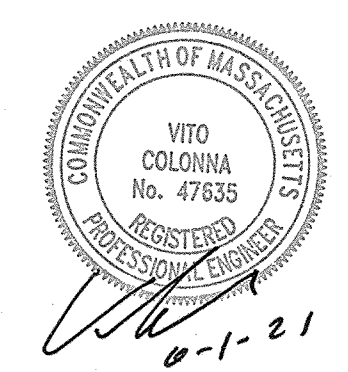
I, _____ CLERK OF THE TOWN OF WAYLAND
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

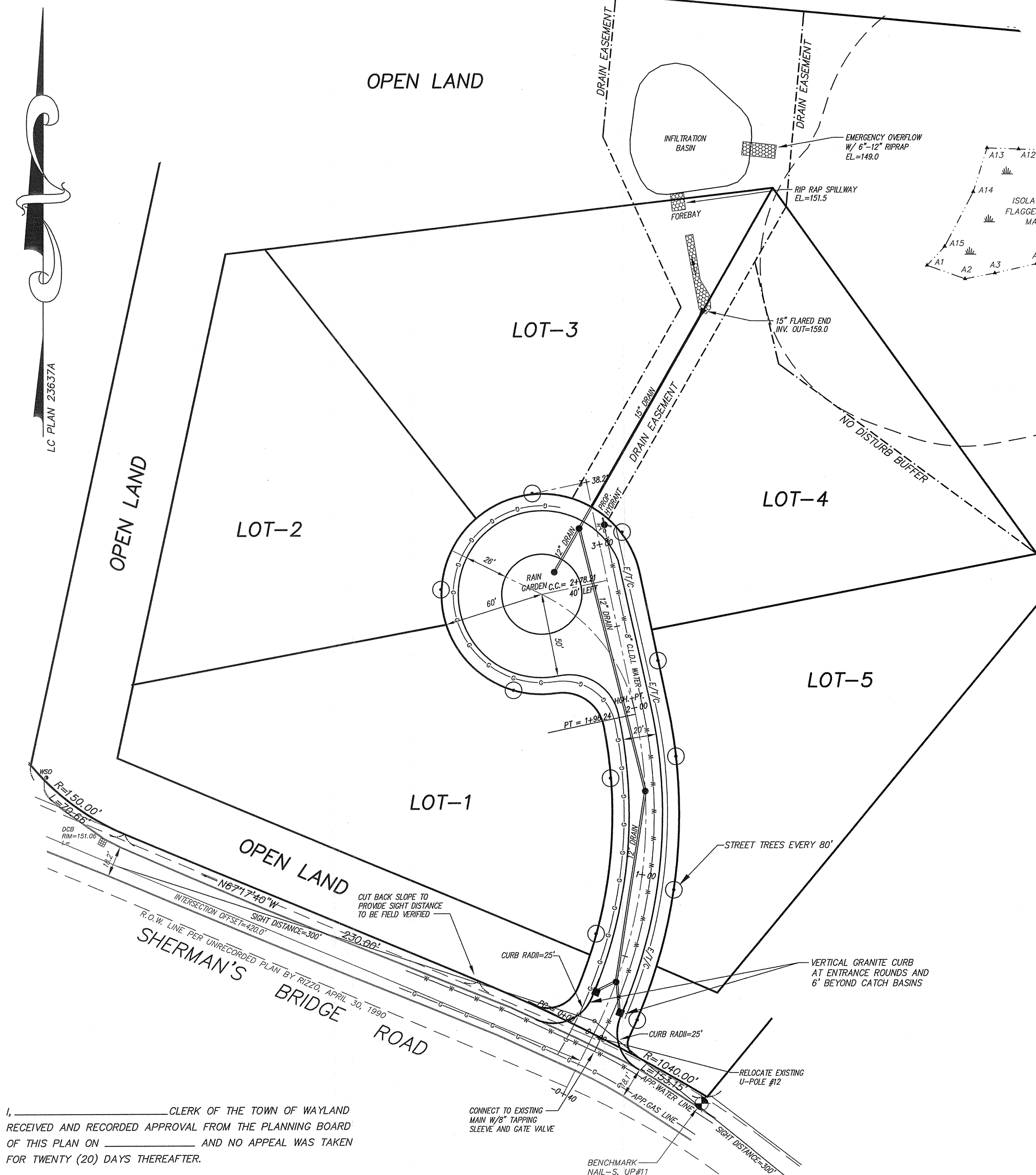
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
WAYLAND PLANNING BOARD

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY
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STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS"

Varoujan H. Hagopian, P.L.S. 49665
6/1/21





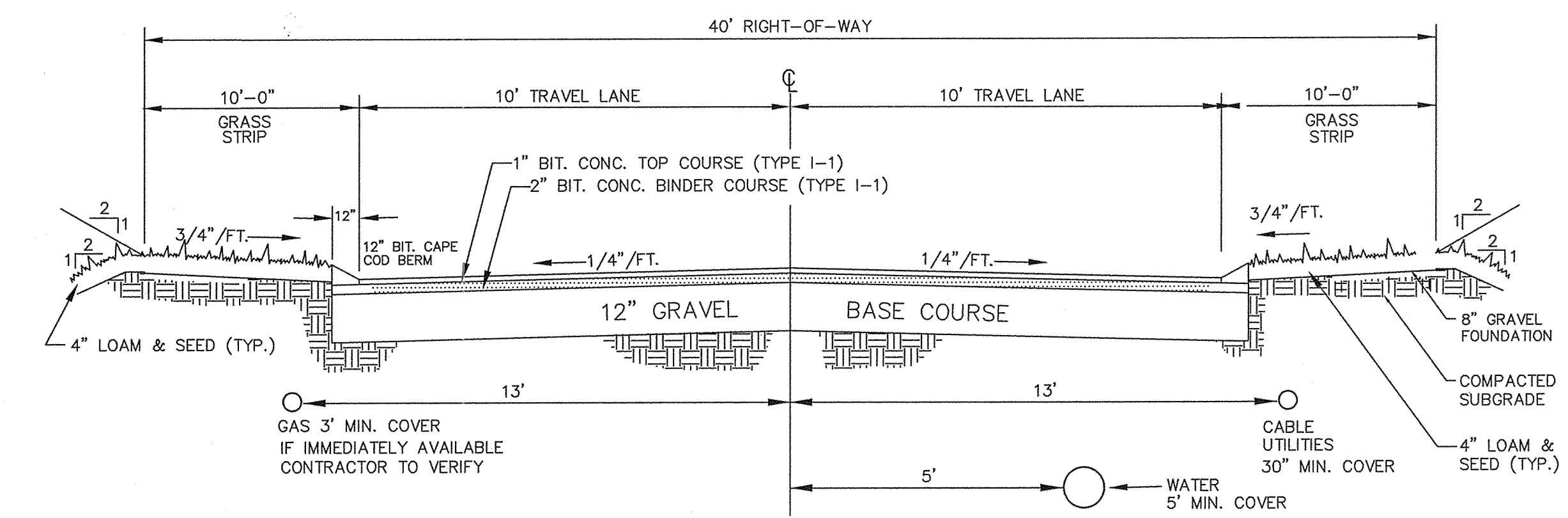
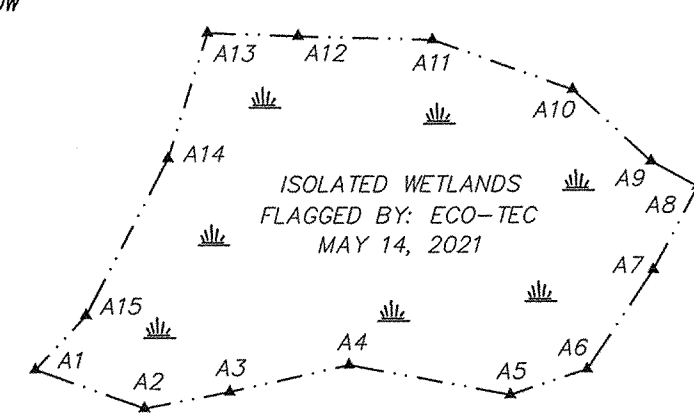
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APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
WAYLAND PLANNING BOARD

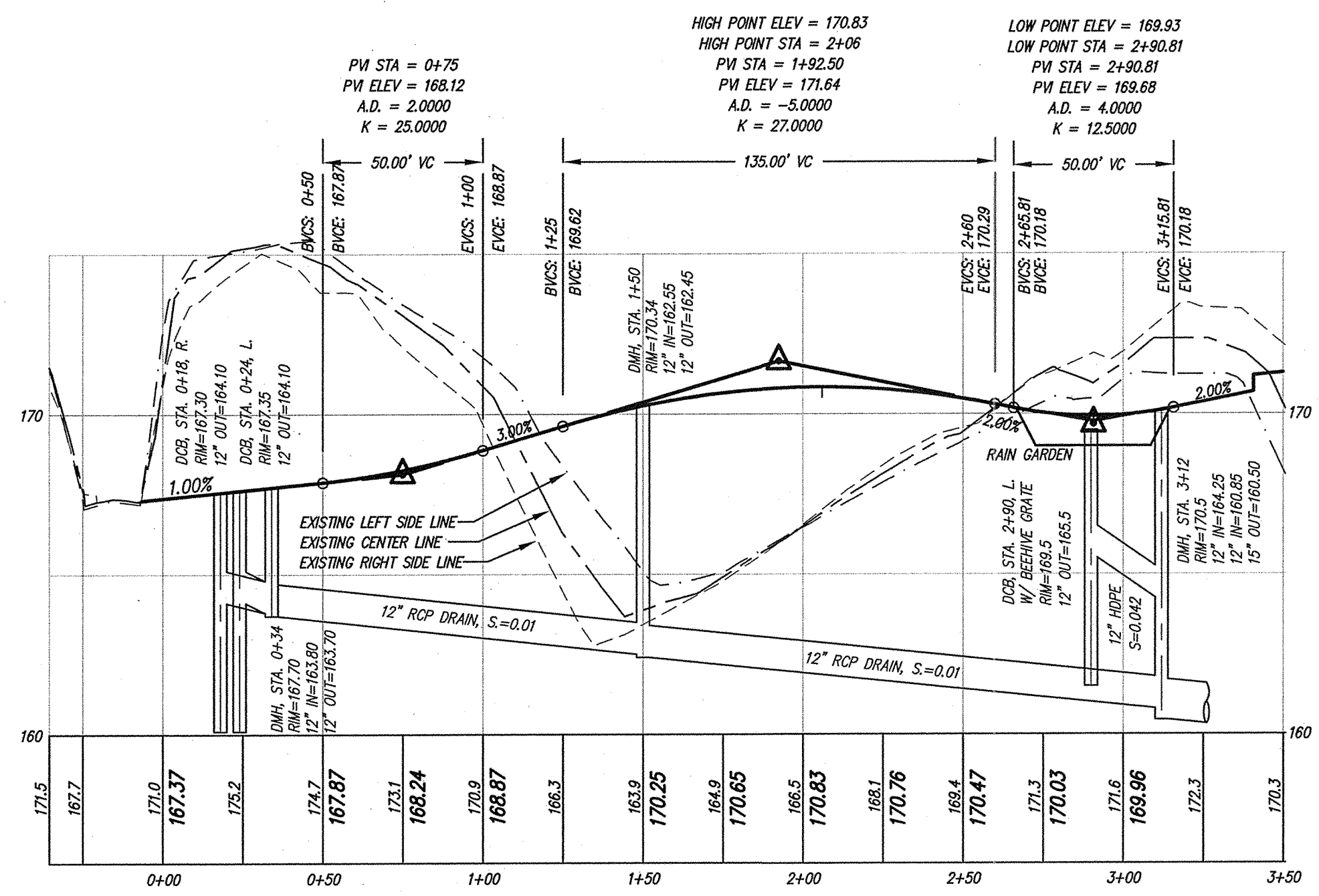
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COMMONWEALTH OF MASSACHUSETTS"

Varoujan H. Hagopian, P.L.S. 49665



TYPICAL ROADWAY SECTION
NOT TO SCALE



PROFILE
1"=40' HORIZONTAL
1"=4' VERTICAL

LOT DEVELOPMENT NOTES / CONDITIONS:

- ALL ROOF RUNOFF ON ALL LOTS SHALL BE DIRECTED TO INDIVIDUAL DRYWELLS. SEE DETAIL ON SHEET 6 OF 6.
- NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST SECURING FROM THE BOARD OF HEALTH A DISPOSAL WORKS CONSTRUCTION PERMIT REQUIRED BY TITLE 5 OF THE STATE ENVIRONMENTAL CODE.

CONSTRUCTION NOTES:

- EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE: 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE WAYLAND DEPARTMENT OF PUBLIC WORKS, OR THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", WHICHEVER IS MORE STRINGENT.
- THE WATER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF WAYLAND DPW WATER DIVISION RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR).
- THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. WORK WITHIN THE HIGHWAY LAYOUT SHALL CONFORM TO THE CONDITIONS OF THE PERMIT ISSUED BY MASSACHUSETTS DEPARTMENT OF TRANSPORTATION HIGHWAY DIVISION OR THE LOCAL AUTHORITY.

SEE FINDINGS AND DECISION OF APPROVAL BY THE
WAYLAND PLANNING BOARD DATED
RECORDED AT THE MIDDLESEX SOUTH REGISTRY
OF DEEDS.

OWNER:

27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

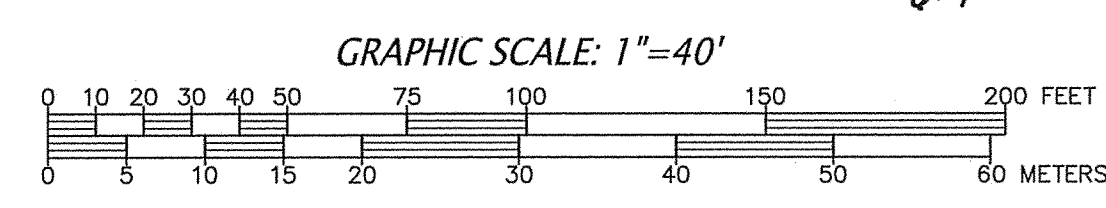
SULLIVAN, CONNORS
AND ASSOCIATES

LAND SURVEYING AND CIVIL ENGINEERING
121 BOSTON POST ROAD
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566 FAX: 978-443-8915

DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA

ROADWAY PLAN & PROFILE

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: JUNE 1, 2021	
SCALE: 1"=	SHEET 4 OF 6.



LC PLAN 23637A

REMOVE GARAGE, BARN
AND SHED

REMOVE HOUSE, BARN,
AND SHED

UTILIZE AREA AS TEMPORARY SEDIMENT BASIN DURING
CONSTRUCTION. ONCE AREAS ARE STABILIZED,
CLEAN/REMOVE ALL SEDIMENT AND EXCAVATE TO
12-INCHES BELOW FINISH GRADE. INSTALL INFILTRATION
BASIN PER THE PLANS AND CONSTRUCTION DETAIL.

PROPOSED
EROSION BARRIER
AND LIMIT OF
CLEARING

UTILIZE EXISTING PAVED APRON
AS CONSTRUCTION ENTRANCE.
ONCE REMOVED, REPLACE WITH
STABILIZED STONE CONSTRUCTION ENTRANCE.

STRAWBALES SHALL BE PLACED
ACROSS THE ENTRANCE DURING
NON-WORKING HOURS AND
PRECIPITATION EVENTS.

SITE DEMOLITION PLAN:

1. INSTALL SEDIMENTATION AND EROSION CONTROL BMP'S AS SHOWN ON THE PLAN.
2. "LIMIT OF CLEARING" SHOWN ON THE PLANS:
 - REMOVE ALL ACCESSORY BUILDINGS (BARN, GARAGE, SHEDS) AND ABANDON RELATED UTILITY CONNECTIONS.
 - REMOVE ANY FENCING AND ANY MISCELLANEOUS SITE ITEMS.
 - REMOVE THE EXISTING PAVED SURFACES.
 - PERFORM TREE CLEARING TO THE LIMITS SHOWN.
3. OPEN SPACE PARCEL
 - REMOVE EXISTING WELL HOUSE AND DECOMMISSION WELL.
4. WITHIN THE AREA INFLUENCED BY PROPOSED FOUNDATION/FOOTINGS; REMOVE ALL UNSUITABLE MATERIAL AND BACKFILL ALL VOIDS AND EXCAVATIONS WITH PROPERLY COMPACTED STRUCTURAL FILL.
5. DISPOSAL OF DEMOLITION ITEMS SHALL BE OFF SITE AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. NO MATERIALS SHALL BE BURIED ON-SITE. ITEMS SHOWN ON THE PLANS TO BE REMOVED AND STOCKPILED FOR REUSE SHALL NOT BE STOCKPILED WITHIN TRAVEL WAYS OR ABOVE UNDERGROUND UTILITIES.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REMOVAL OR ABANDONMENT OF UTILITIES WITH THE APPROPRIATE UTILITIES COMPANY.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHAPTER 193 PERMIT (IF REQUIRED) ISSUED BY THE TOWN OF WAYLAND CONSERVATION COMMISSION, AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. PRIOR TO INITIATING CONSTRUCTION, PERIMETER EROSION CONTROL BARRIERS SHALL BE INSTALLED AROUND THE PROPOSED LIMIT OF WORK AND AS SHOWN ON THE DETAIL DRAWINGS.
3. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES, PROTECT ADJUTING PROPERTIES, AND CONTROL SEDIMENT TRANSPORT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/2 THE HEIGHT OF SEDIMENT BARRIER, HAYBALE, OR SEDIMENT TRAP CAPACITY, OR AS DIRECTED BY THE LOCAL AUTHORITY.
6. DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, WITHIN 7 DAYS AFTER THE FINISHED GRADE HAS BEEN MET. DISTURBED AREAS WITH SLOPES 3:1 (H:V) OR GREATER SHALL BE COVERED WITH LOAM AND STABILIZED WITH HYDROSEED AND SOIL TACKIFIER. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW AND SECURED.
7. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA (INCLUDING SITE ACCESS DRIVEWAYS) SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
8. DUST CONTROL MEASURES THROUGH WATER SPRINKLING SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
9. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.

SEE FINDINGS AND DECISION OF APPROVAL BY THE
WAYLAND PLANNING BOARD DATED
RECORDED AT THE MIDDLESEX SOUTH REGISTRY
OF DEEDS.

OWNER:
27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
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MARLBOROUGH, MA 01752

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DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA

**EROSION CONTROL AND
DEMOLITION PLAN**

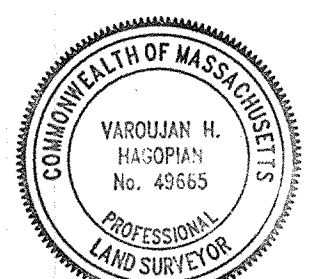
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: JUNE 1, 2021	
SCALE: 1"=	SHEET 5 OF 6.

I, _____, CLERK OF THE TOWN OF WAYLAND
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
WAYLAND PLANNING BOARD

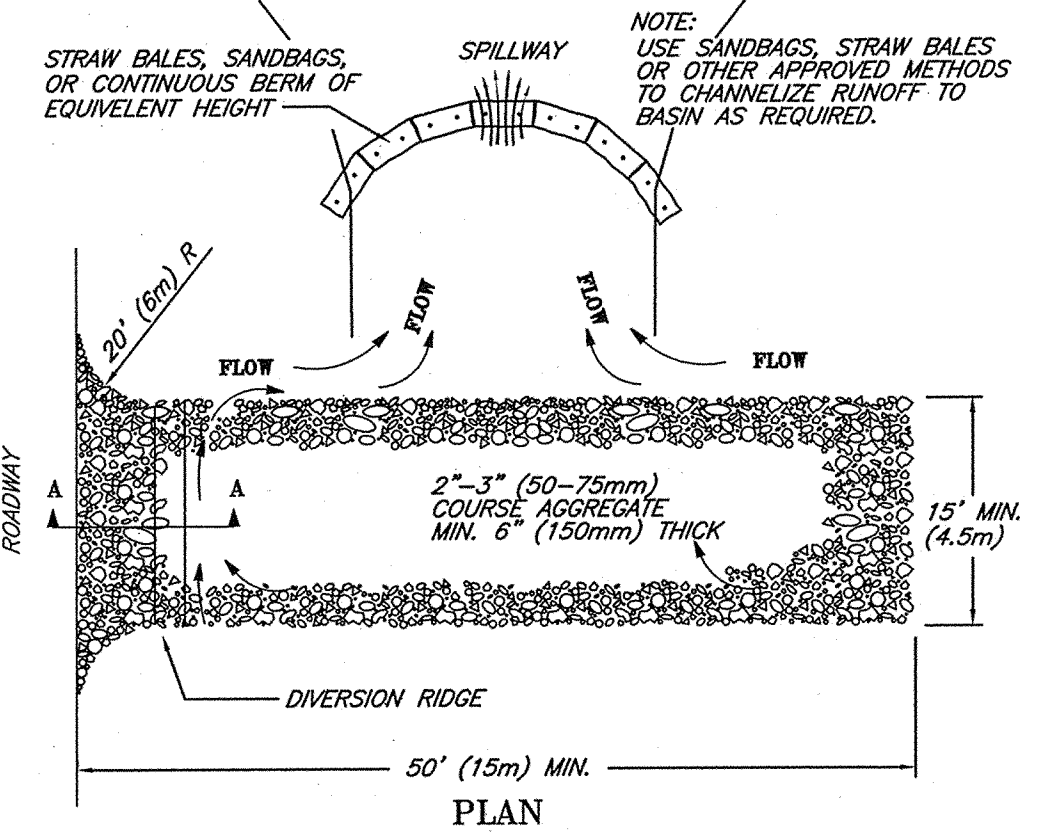
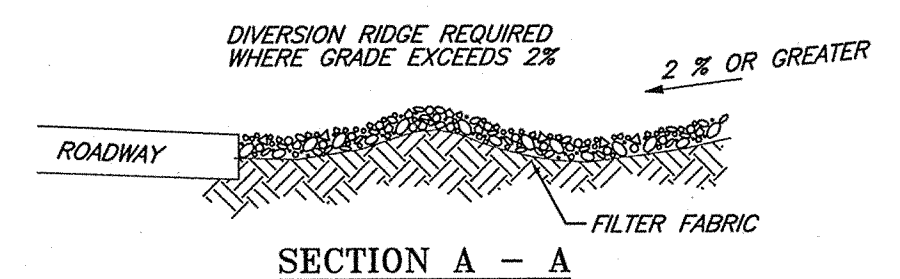
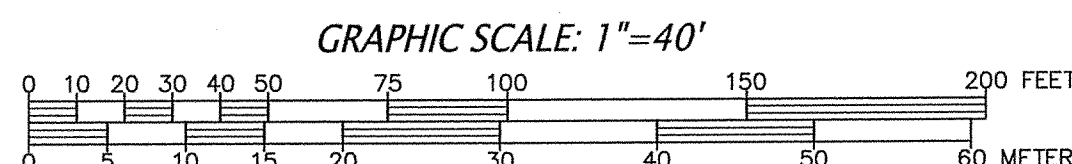
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY
LINES OF THIS TRACT OF LAND WAS MADE IN ACCORDANCE
WITH THE SPECIFICATIONS IN "THE ETHICAL AND TECHNICAL
STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS"



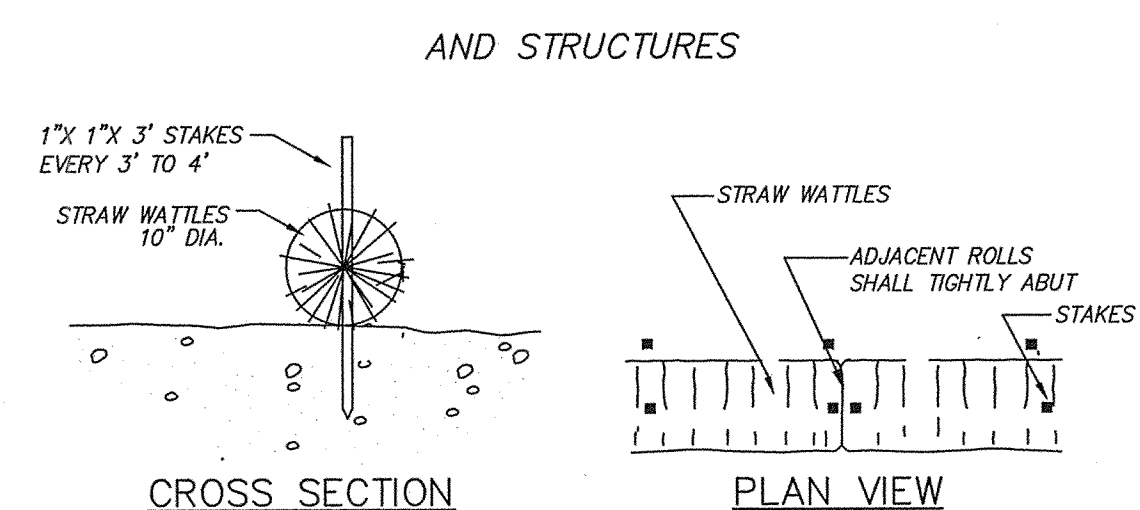
Varoujan H. Hagopian
VAROUJAN H. HAGOPIAN, P.L.S. 49665

DATE: _____



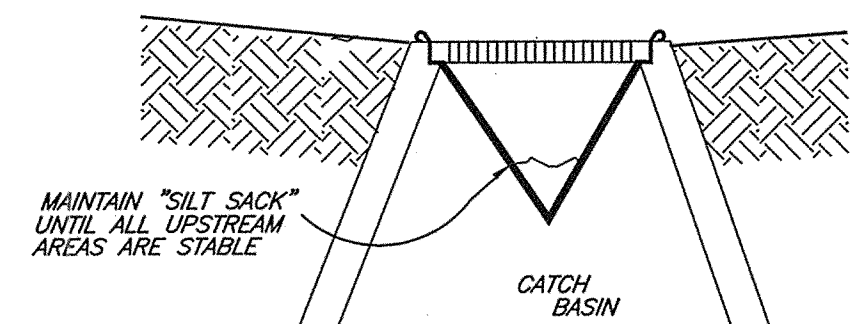
NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANDOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY
GRAVEL
CONSTRUCTION
ENTRANCE/EXIT
© 1994 JOHN MCCULLAH



STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL TO ENSURE RUNOFF DOES NOT RUN UNDER OR AROUND ROLL.

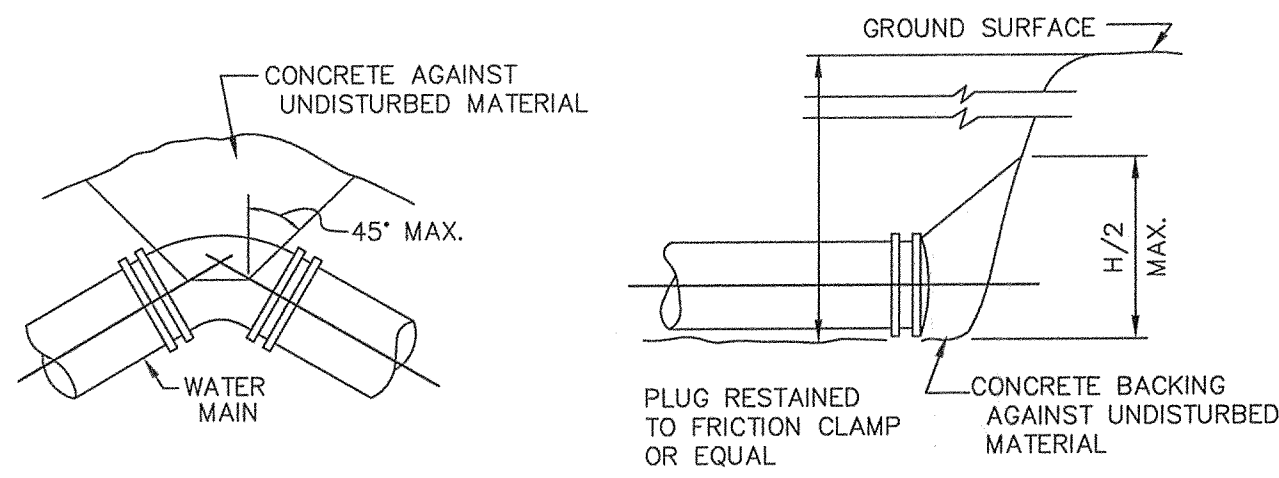
SEDIMENT BARRIER DETAIL
NOT TO SCALE



- NOTES:
1. SILT SACKS ARE TO BE INSPECTED WEEKLY DURING CONSTRUCTION AND IMMEDIATELY AFTER STORM EVENTS.
 2. IF SILT SACKS ARE MORE THAN 1/3RD FULL, THEY SHALL BE EMPTIED IMMEDIATELY. CAPTURED SILT SHALL BE RETAINED ON SITE AND REUSED.

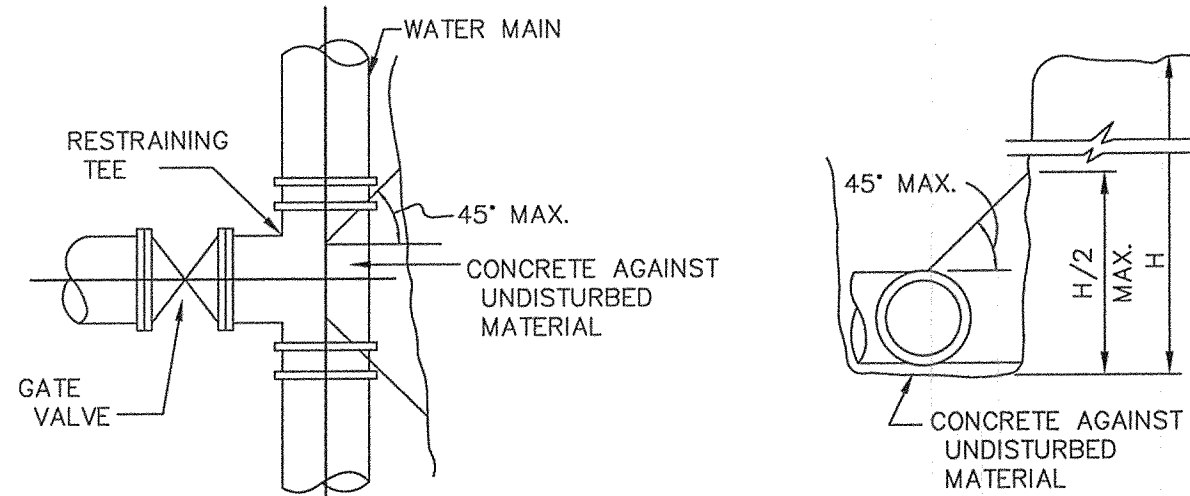
SILT SACK OR EQUAL
SEDIMENT CONTAINMENT SYSTEM
NOT TO SCALE





TYPICAL BEND

TYPICAL PLUG



TYPICAL TEE & VALVE

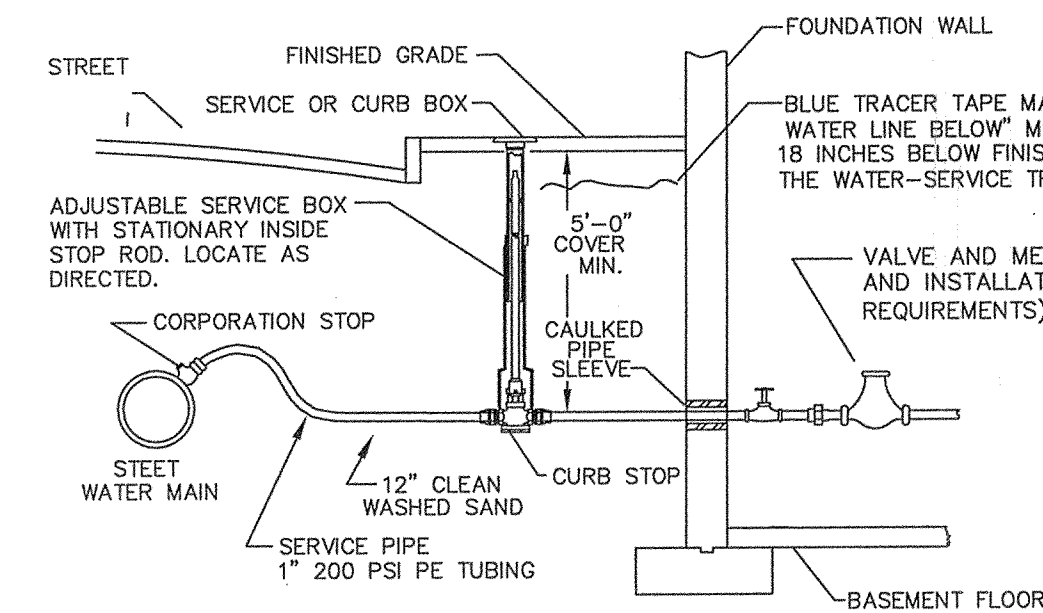
TYPICAL SECTION

NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8		8
10 AND 12	22	13	8	16

TYPICAL THRUST BLOCK DETAIL

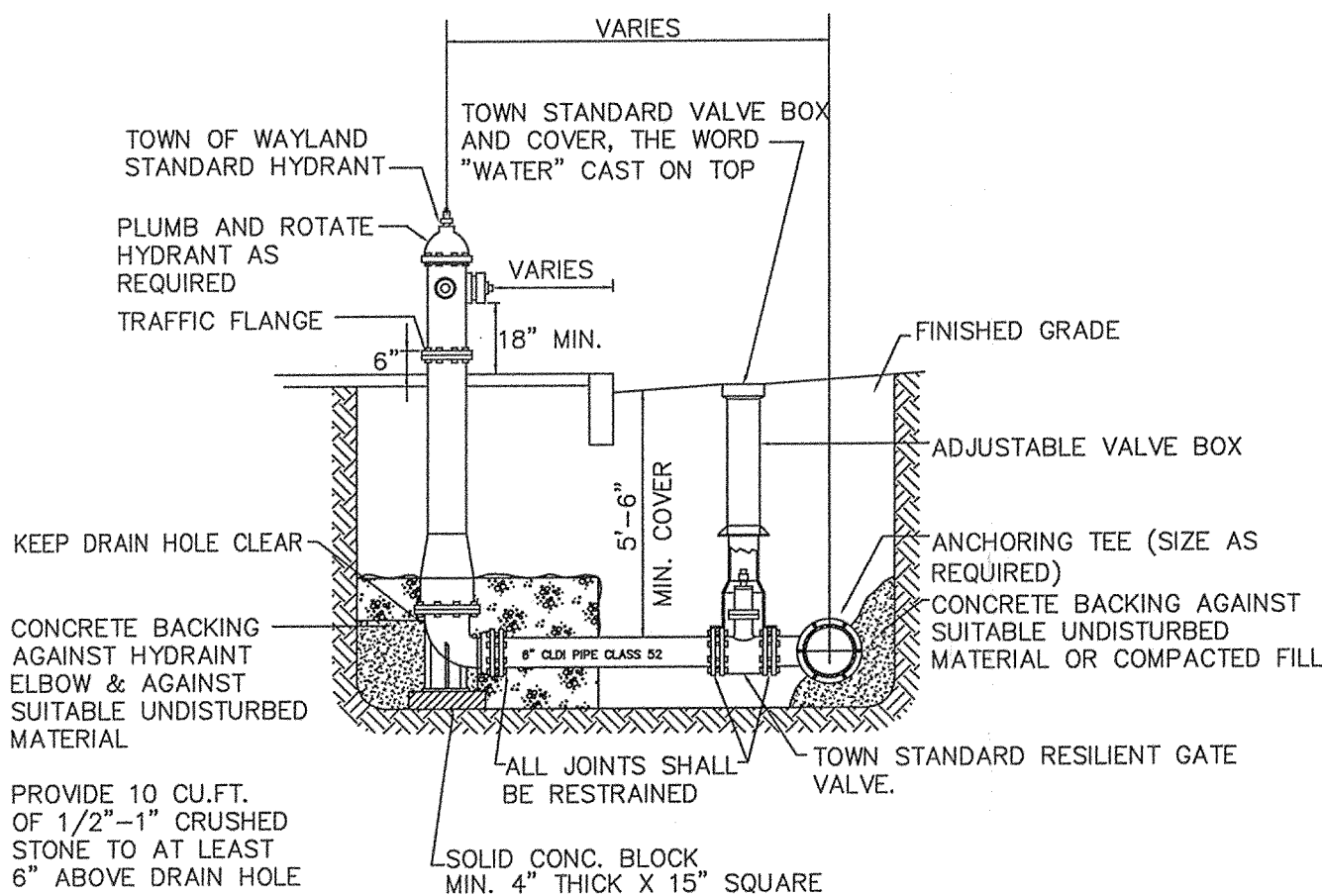
NOT TO SCALE



NOTES:
PLASTIC 200 PSI TUBING SHALL MEET AWWA SPEC. AND BE 200 PSI (MIN.)
ALL CONSTRUCTION METHODS AND MATERIALS INCLUDING CURB STOP, CORPORATION STOP, SERVICE PIPE, SERVICE BOX, VALVES, AND METER SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTHBOROUGH DPW STANDARDS AND SPECIFICATIONS.

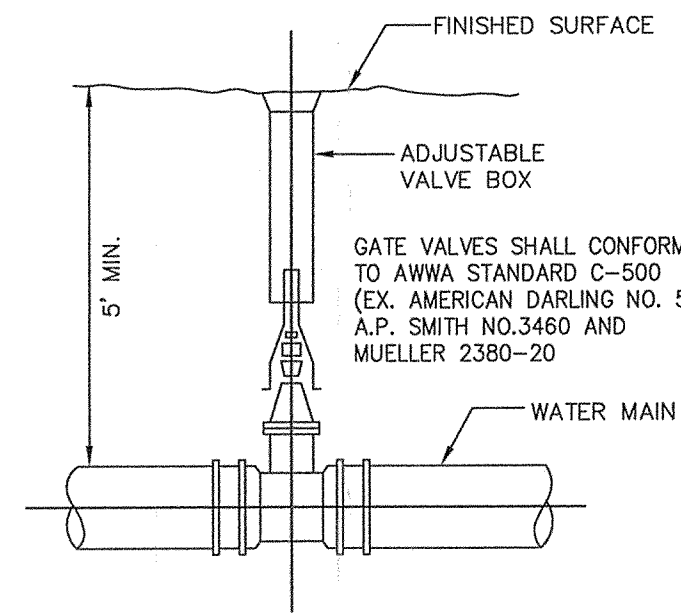
TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



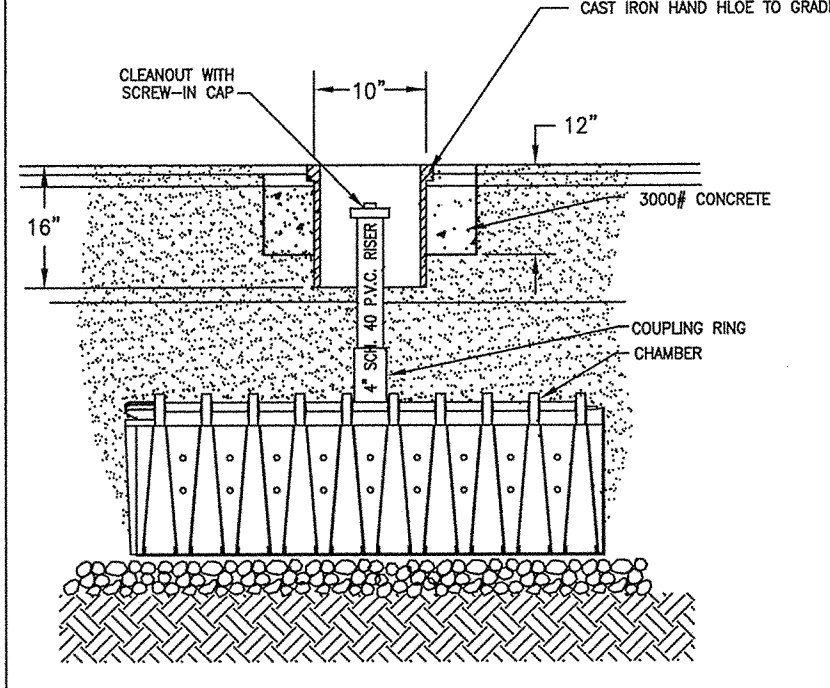
TYPICAL HYDRANT & VALVE DETAIL

NOT TO SCALE



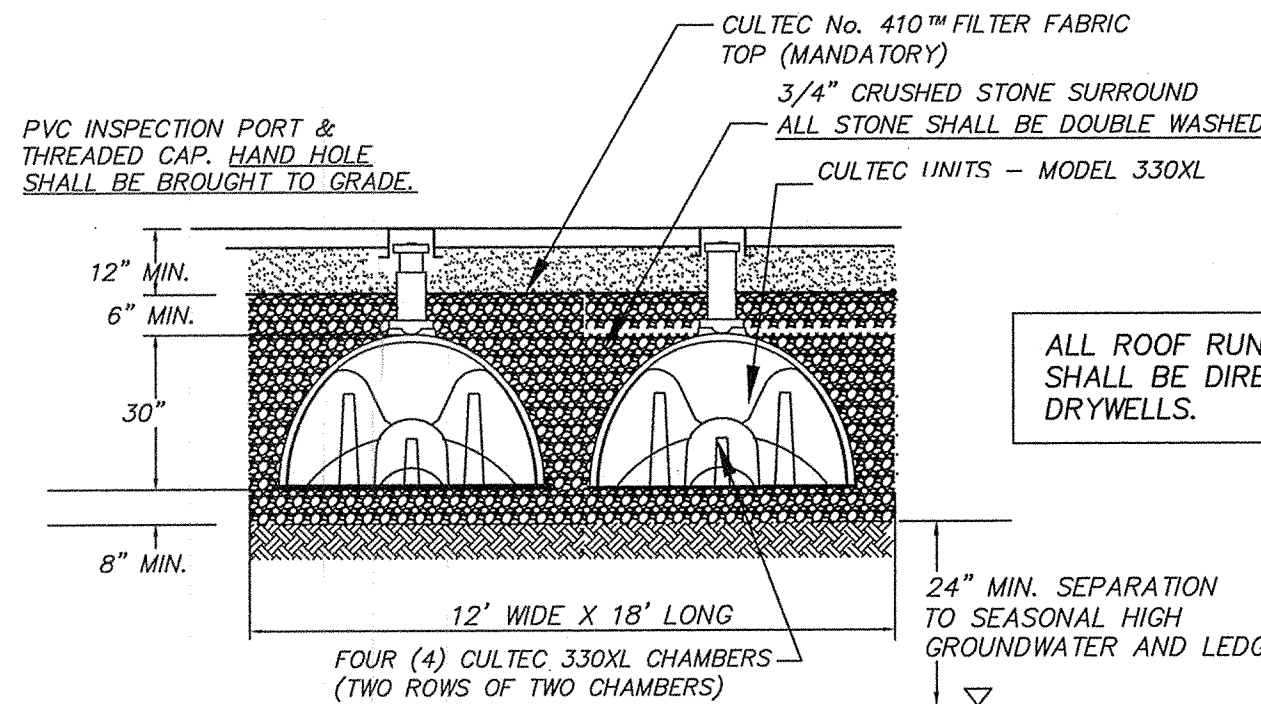
TYPICAL GATE VALVE

NOT TO SCALE



INSPECTION PORT DETAIL

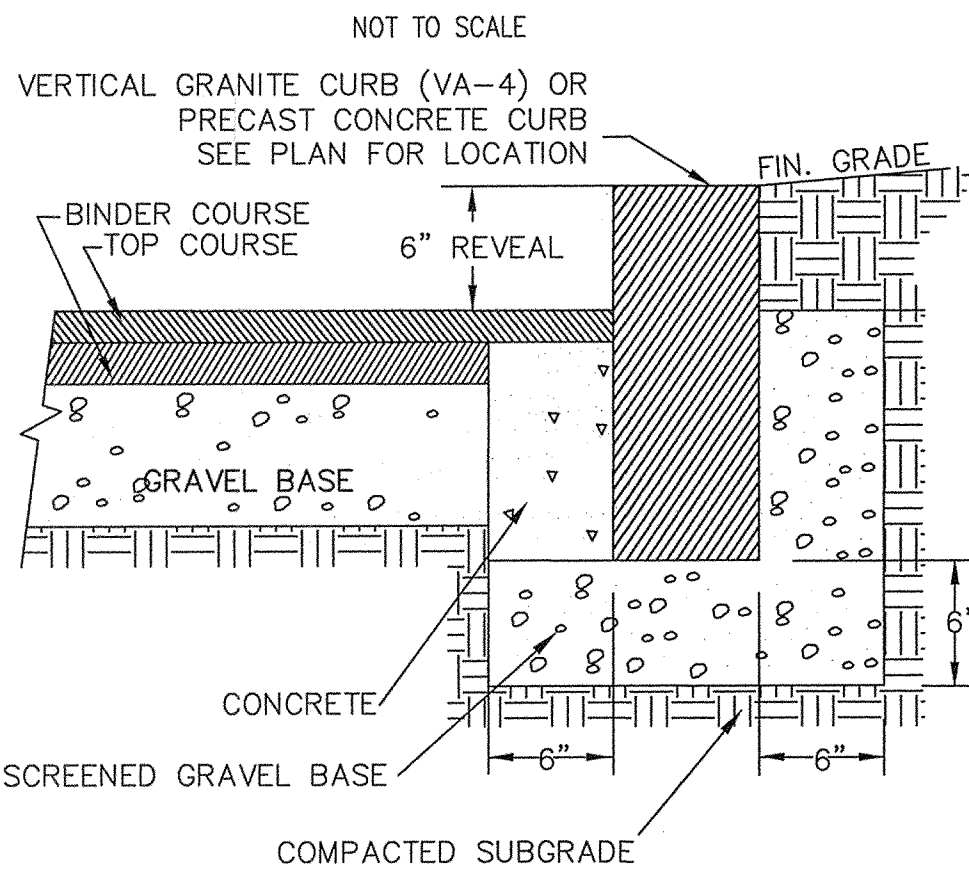
NOT TO SCALE



REMOVE TOP/SUBSOIL BELOW DRYWELL, EXCAVATE AT LEAST 6 INCHES INTO THE 'C' LAYER, AND PROVIDE MINIMUM 2 FOOT OVERDIG ON ALL SIDES. ANY FILL REQUIRED BELOW THE BOTTOM OF STONE SHALL BE FREE-DRAINING CLEAN SAND PER TOWN REQUIREMENTS.

ALL ROOF RUNOFF ON ALL LOTS SHALL BE DIRECTED TO INDIVIDUAL DRYWELLS.

ROOF DRYWELL DETAIL



VERTICAL CURB DETAIL

NOT TO SCALE

VERTICAL CONCRETE AT ENTRANCE ROUNDINGS AT FARM ROAD (SEE PLAN)

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
WAYLAND PLANNING BOARD

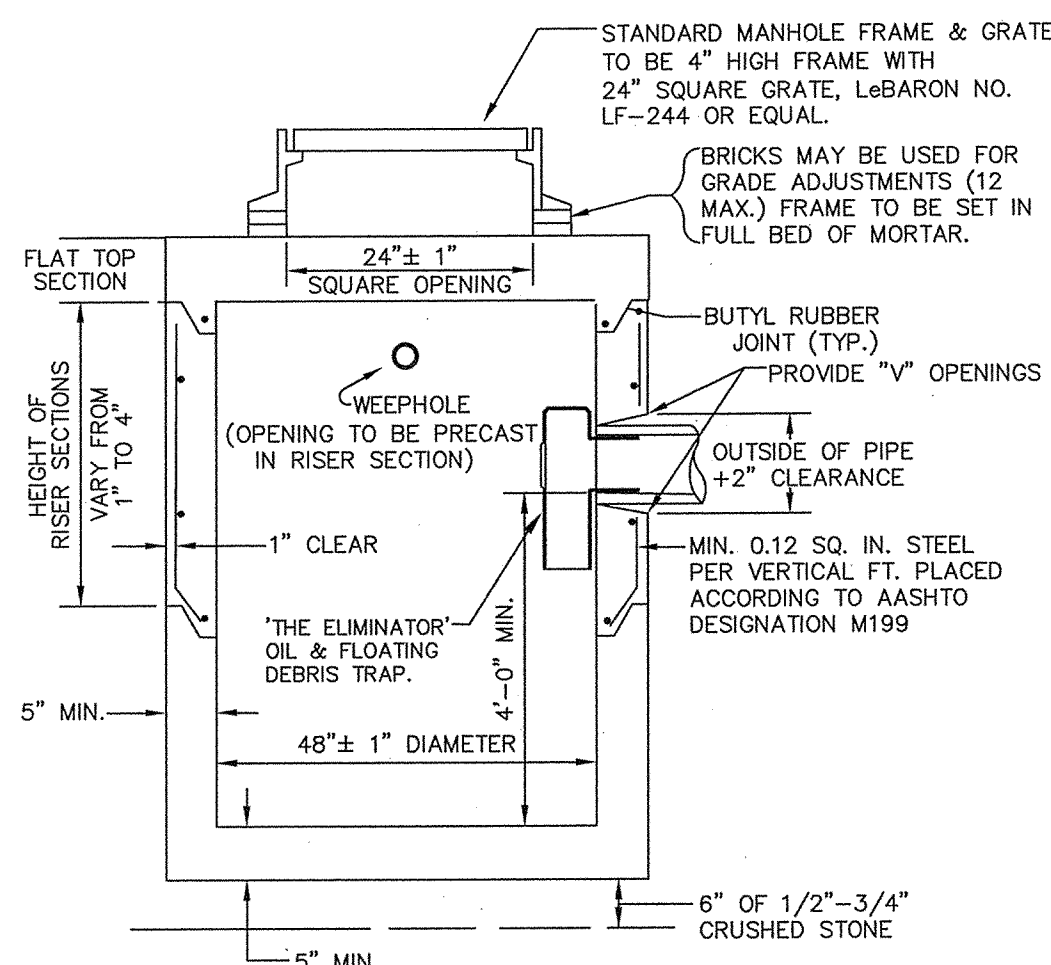
DATE:

I, _____, CLERK OF THE TOWN OF WAYLAND
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

I CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY
LINES OF THIS TRACT OF LAND WAS MADE IN ACCORDANCE
WITH THE SPECIFICATIONS IN "THE ETHICAL AND TECHNICAL
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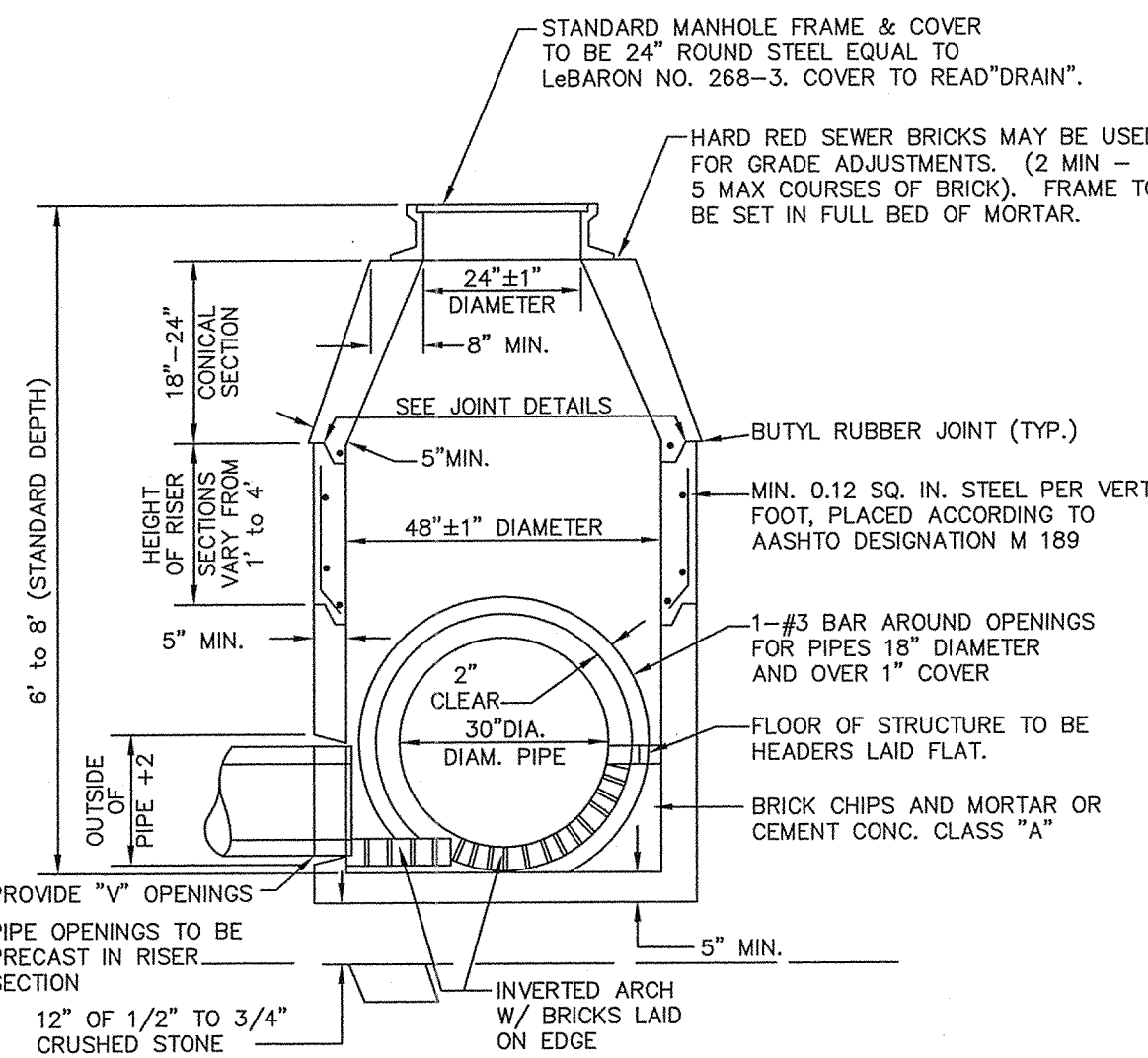
VAROUJAN H. HAGOPIAN, P.L.S. 49665



NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

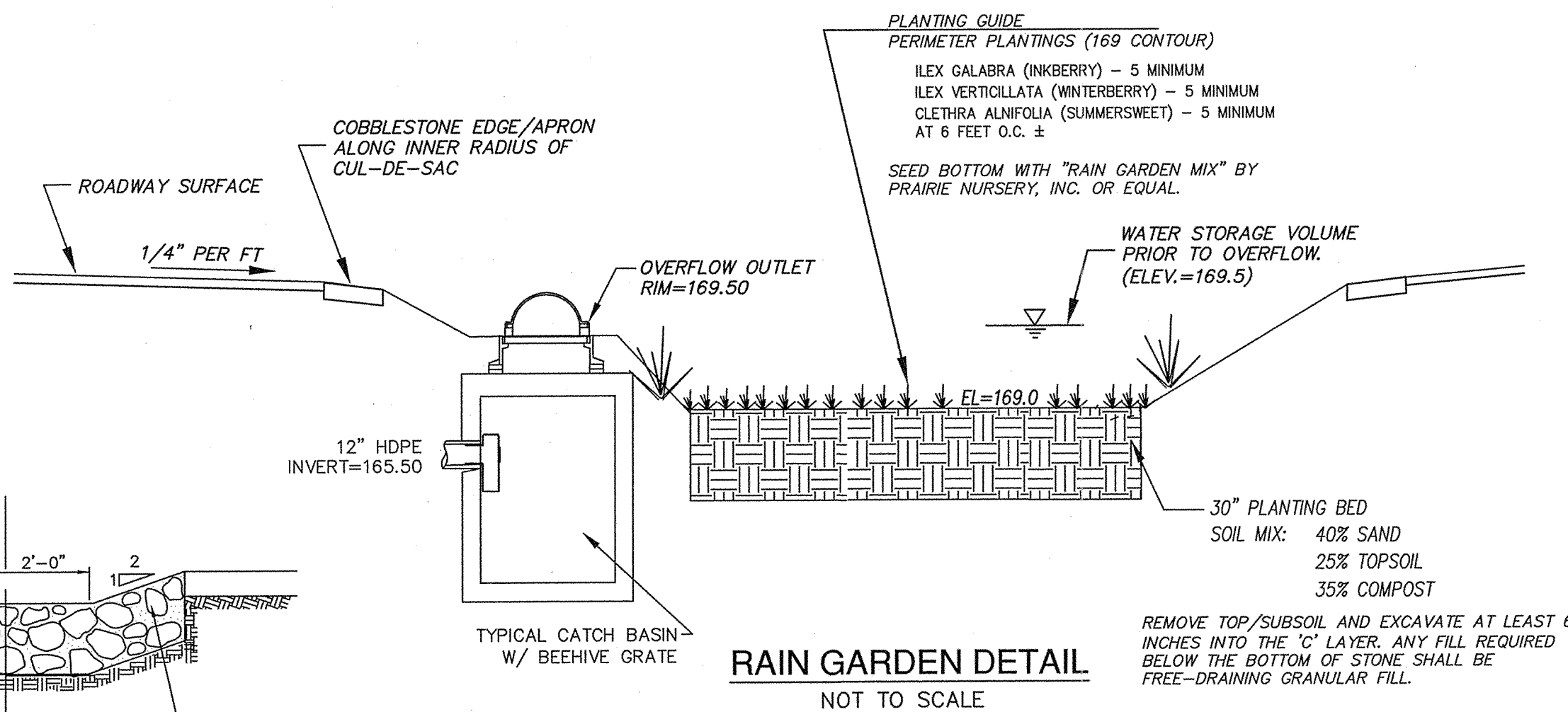
PRECAST CONCRETE CATCH BASIN DETAIL

NOT TO SCALE



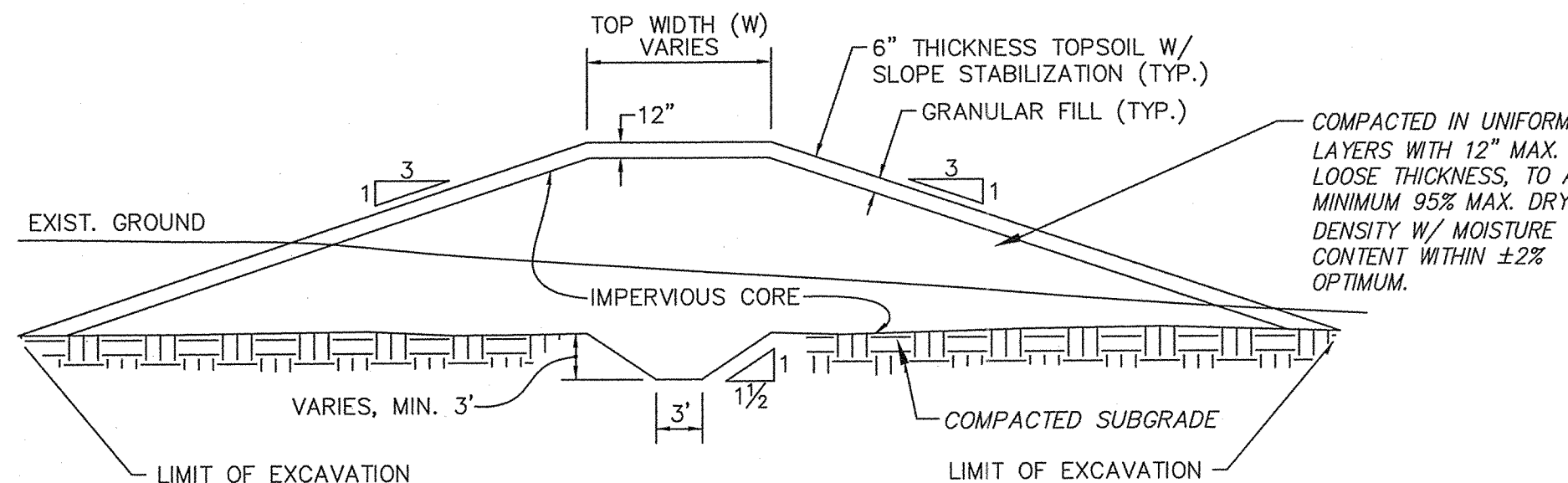
PRECAST CONCRETE MANHOLE DETAIL

NOT TO SCALE



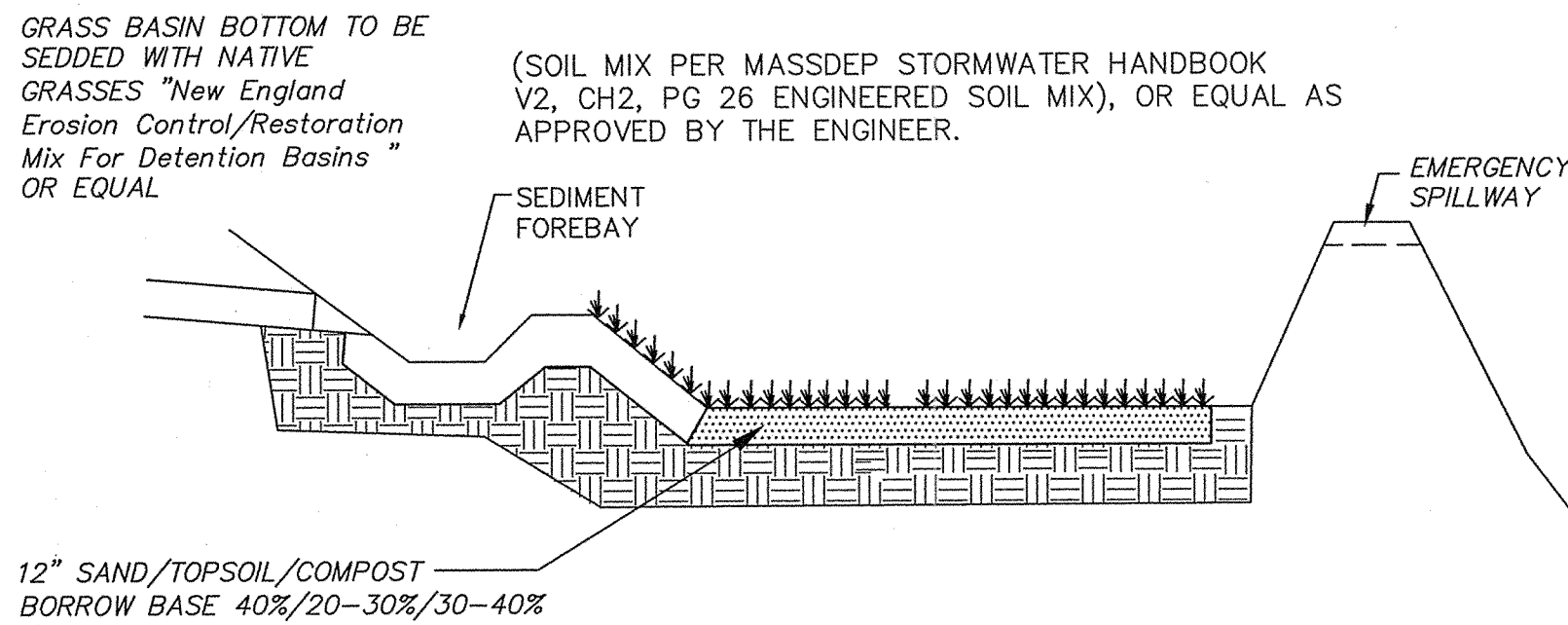
RAIN GARDEN DETAIL

NOT TO SCALE



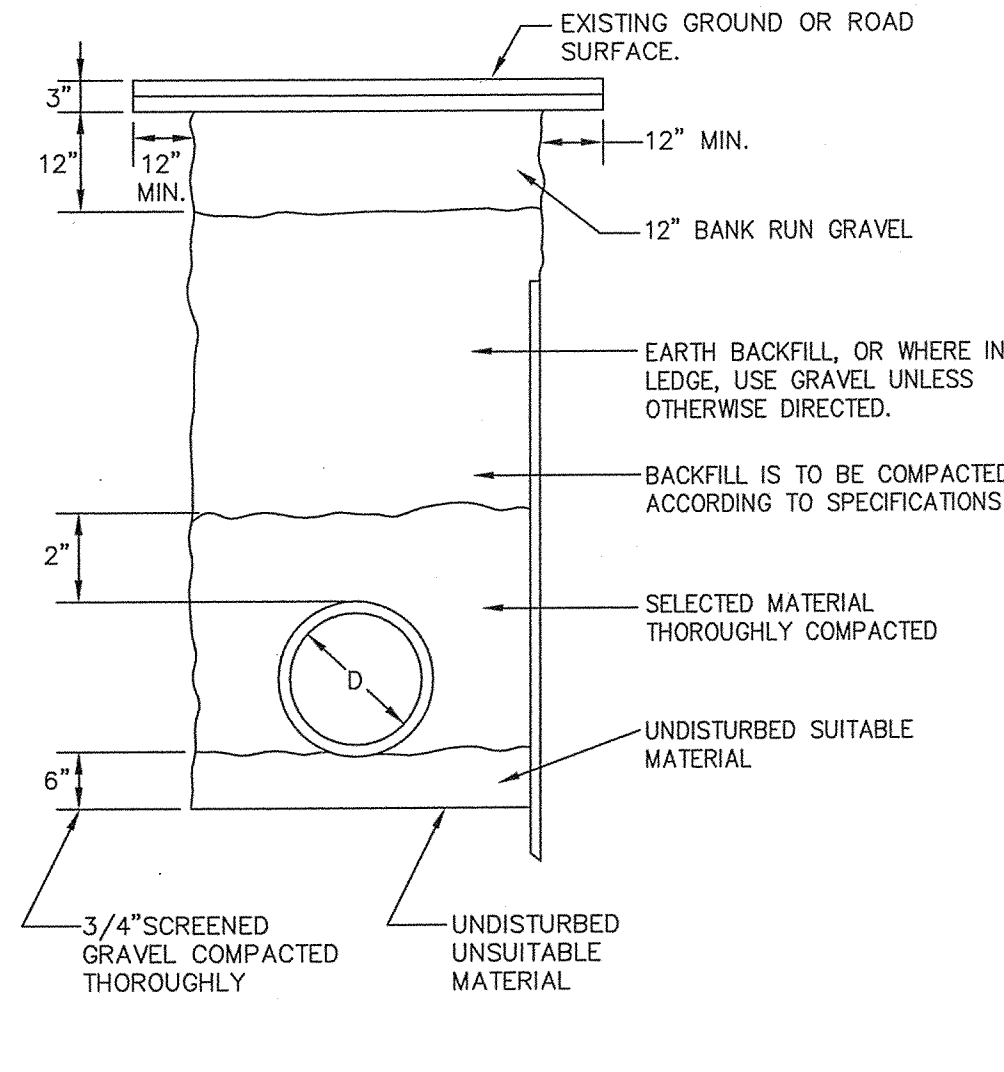
TYPICAL EARTH BERM SECTION

NOT TO SCALE



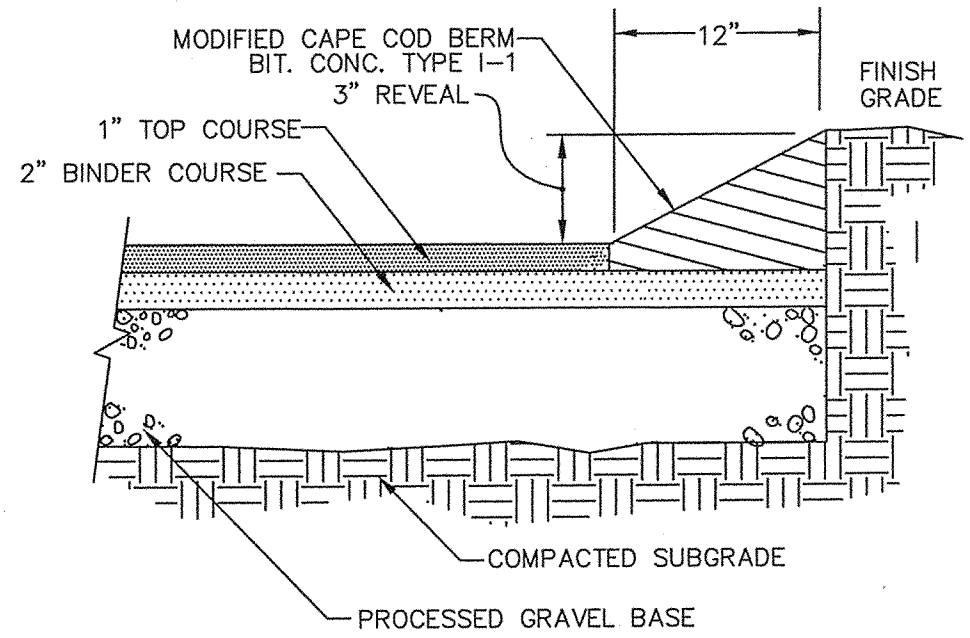
TYPICAL INFILTRATION BASIN SECTION

NOT TO SCALE



TYPICAL DRAIN TRENCH DETAILS

NOT TO SCALE



MODIFIED CAPE COD BERM
& TYPICAL PAVEMENT STRUCTURE

NOT TO SCALE

SEE FINDINGS AND DECISION OF APPROVAL BY THE
WAYLAND PLANNING BOARD DATED
RECORDED AT THE MIDDLESEX SOUTH REGISTRY
OF DEEDS.

OWNER:
27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

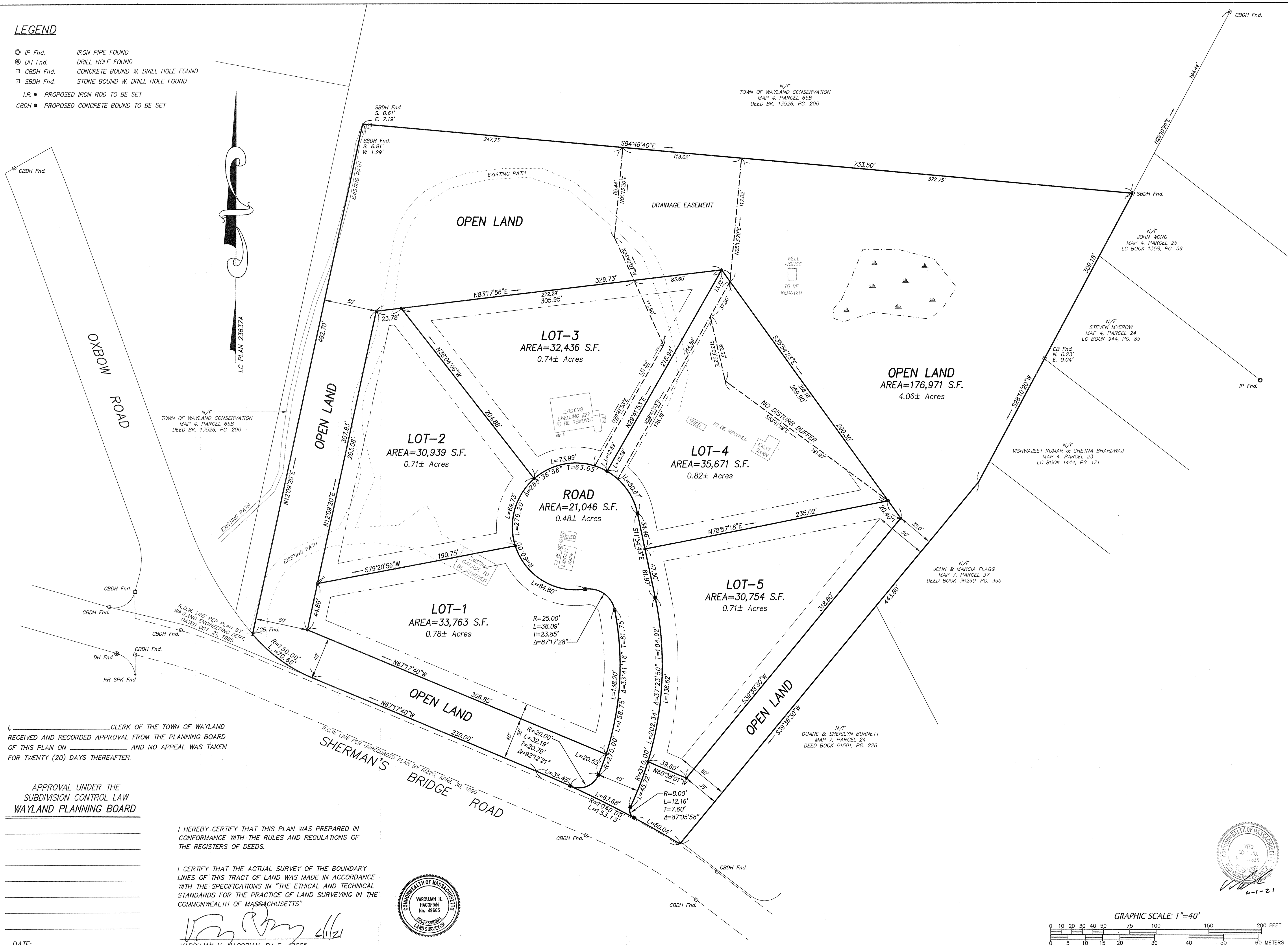
SULLIVAN, CONNORS
AND ASSOCIATES
LAND SURVEYING AND CIVIL ENGINEERING
121 BOSTON POST ROAD
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566 FAX: 978-443-8915

DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA

CONSTRUCTION DETAILS

REVISED: DESCRIPTION:
DRAWN BY: REM CHECK BY: VC
DATE: JUNE 1, 2021
SCALE: NONE SHEET 6 OF 6.

☉ IP Fnd. IRON PIPE FOUND
 ☉ DH Fnd. DRILL HOLE FOUND
 ☐ CBDH Fnd. CONCRETE BOUND W. DRILL HOLE FOUND
 ☐ SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
 I.R. ● PROPOSED IRON ROD TO BE SET
 CBDH ■ PROPOSED CONCRETE BOUND TO BE SET



UNDERLYING ZONE R-60
ZONED: 60,000 S.F.
AREA = 60,000 sf
FRONTAGE = 210 feet
LOT WIDTH = 100 feet
SETBACKS: FRONT = 30 feet
STREET CENTERLINE = 55 feet
SIDE = 30 feet
REAR = 30 feet

SPECIAL PERMIT CONSERVATION CLUSTER
AREA = 20,000 sf
FRONTAGE = 50 feet
SETBACKS: FRONT = 15 feet
 SIDE = 15 feet
 REAR = 15 feet
50' TO PERIMETER
15' TO OPEN LAND

NO LOT SHALL BE FURTHER DIVIDED SO AS
TO CREATE ADDITIONAL LOTS.

SEE FINDINGS AND DECISION OF APPROVAL BY THE
WAYLAND PLANNING BOARD DATED _____
RECORDED AT THE MIDDLESEX SOUTH REGISTRY
OF DEEDS.

OWNER:
27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

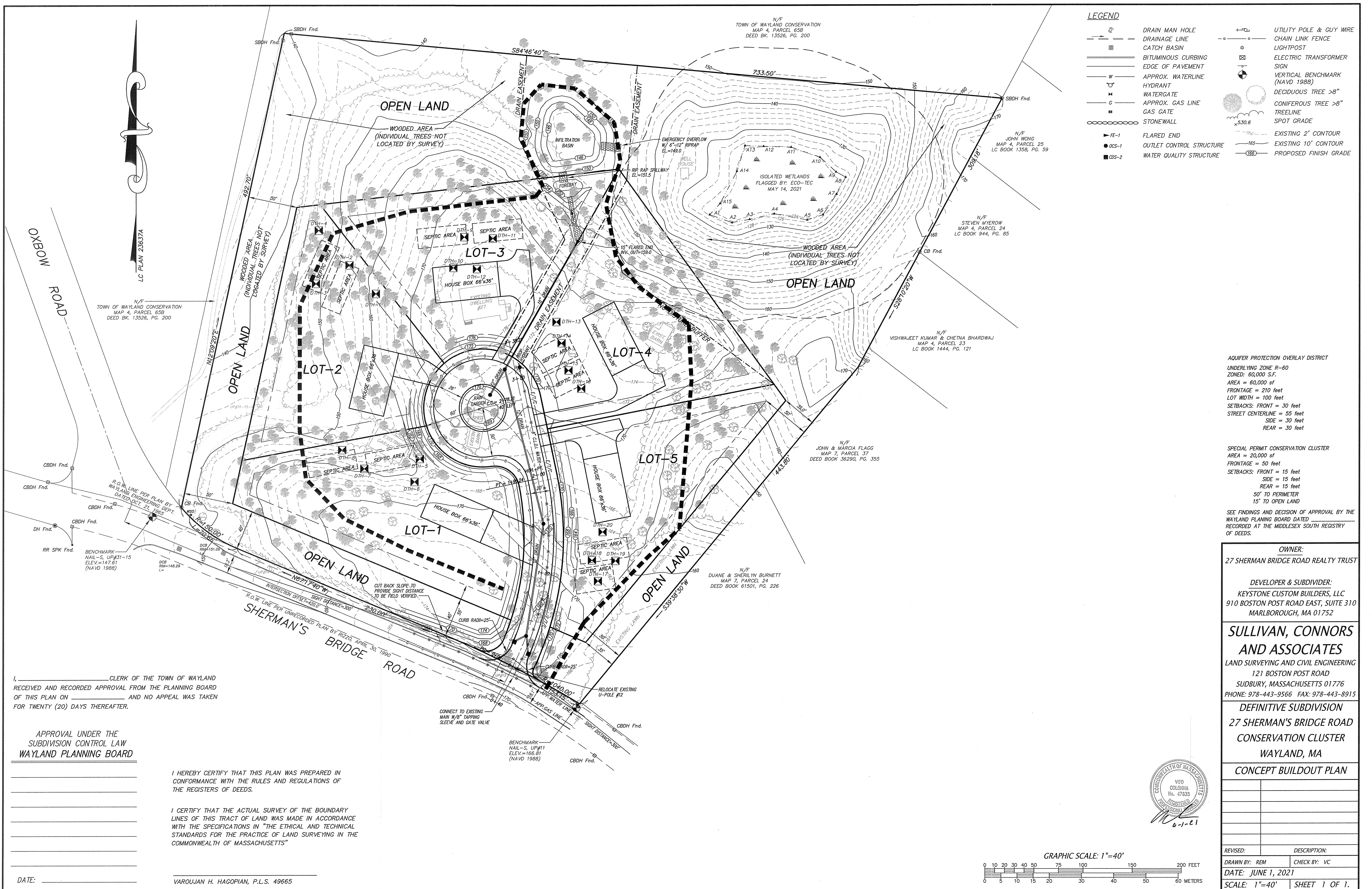
**SULLIVAN, CONNORS
AND ASSOCIATES**

LAND SURVEYING AND CIVIL ENGINEERING
121 BOSTON POST ROAD
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566 FAX: 978-443-8915

*DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA*

LAND PLAN

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: JUNE 1, 2021	
SCALE: 1"=40'	SHEET 1 OF 1.



UNDERLYING ZONE R-60
ZONED: 60,000 S.F.
AREA = 60,000 sf
FRONTAGE = 210 feet
LOT WIDTH = 100 feet
SETBACKS: FRONT = 30 feet
STREET CENTERLINE = 55 feet
SIDE = 30 feet
REAR = 30 feet

AREA = 20,000 sf
FRONTAGE = 50 feet
SETBACKS: FRONT = 15 feet
 SIDE = 15 feet
 REAR = 15 feet
50' TO PERIMETER
15' TO OPEN LAND

SEE FINDINGS AND DECISION OF APPROVAL BY THE
WAYLAND PLANING BOARD DATED _____
RECORDED AT THE MIDDLESEX SOUTH REGISTRY
OF DEEDS.

OWNER:
27 SHERMAN BRIDGE ROAD REALTY TRUST

DEVELOPER & SUBDIVIDER:
KEYSTONE CUSTOM BUILDERS, LLC
910 BOSTON POST ROAD EAST, SUITE 310
MARLBOROUGH, MA 01752

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*DEFINITIVE SUBDIVISION
27 SHERMAN'S BRIDGE ROAD
CONSERVATION CLUSTER
WAYLAND, MA*

CONCEPT BUILDOUT PLAN

REVISED:	DESCRIPTION:	
DRAWN BY: REM		CHECK BY: VC
DATE: JUNE 1, 2021		
SCALE: 1"=40'		SHEET 1 OF 1.