

ENF for ALTA at River's Edge

Supplemental Alternatives Analysis Information

190 Unit Alternative

Summary of Project Size & Environmental Impacts	Existing	Change	Total
LAND			
Total site acreage	8.25 acres +/-		
New acres of land altered		8.25 acres +/-	
Acres of impervious area	1.24 acres +/-	2.94 acres +/-	4.18 acres +/-
Square feet of new bordering vegetated wetlands alteration		N/A	
Square feet of new other wetland alteration		N/A	
Acres of new non-water dependent use of tidelands or waterways		N/A	
STRUCTURES			
Gross square footage	11,000+/- S.F.	303,345+/- S.F.	314,345+/- S.F.
Number of housing units	N/A	190 Units	190 Units
Maximum height (feet)	1 Story at 21' +/-	3 Stories at 31.49' +/-	4 Stories at 52.48' +/-
TRANSPORTATION			
Vehicle trips per day	34	+ 920	954
Parking spaces	15	+ 291	306
WASTEWATER			
Water Use (Gallons per day)	0	+39,600	39,600
Water withdrawal (GPD)	0	0	0
Wastewater generation/treatment (GPD)	0	+33,000	33,000
Length of water mains (miles)	0	0.38	0.38
Length of sewer mains (miles)	0	0.06	0.06

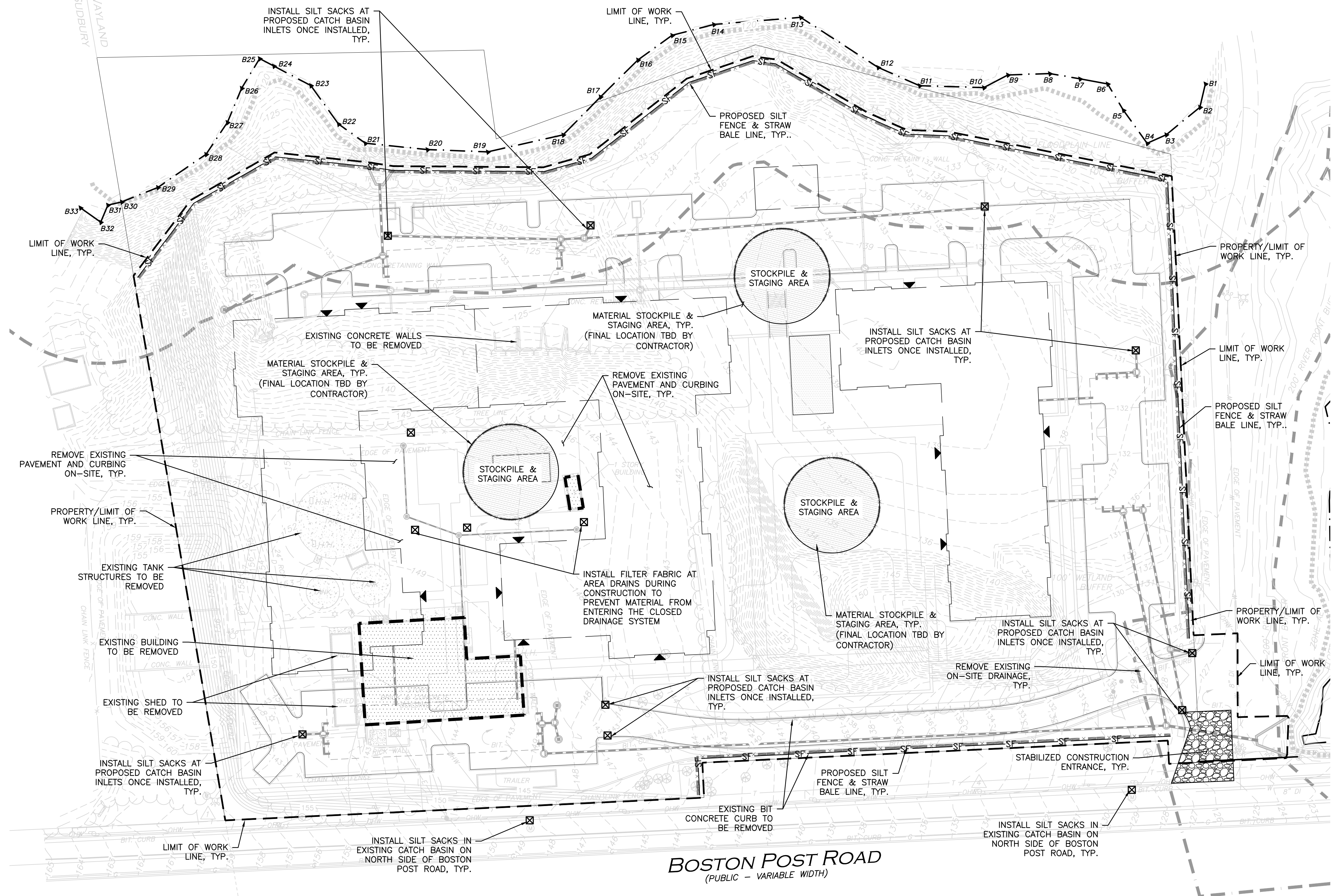
The 190-unit alternative would include 155 surface parking spaces and 151 garage parking spaces for a total of 306 spaces. Please see attached conceptual plans for further detail.

Single Family Home Alternative

Summary of Project Size & Environmental Impacts	Existing	Change	Total
LAND			
Total site acreage	8.25 acres +/-		
New acres of land altered		8.25 acres +/- Subdivided	0.90 acres +/- Roadway 1.05 acres +/- Per lot (7 lots = 7.35 acres)
Acres of impervious area	1.24 acres +/-	+0.85 acres +/-	0.62 ac. +/- Roadway 0.21 ac. +/- Per lot (7 lots = 1.47 acres) 2.09 acres Total
Square feet of new bordering vegetated wetlands alteration		N/A	
Square feet of new other wetland alteration		N/A	
Acres of new non-water dependent use of tidelands or waterways		N/A	
STRUCTURES			
Gross square footage	11,000+/- S.F.	+10,000+/- S.F.	4,000+/- S.F. Per lot (7 lots = 21,000 S.F.)
Number of housing units	N/A	+7 Units	7 Units
Maximum height (feet)	1 Story at 21' +/-	+1 Stories at 14' +/-	2 Stories at 35' +/-
TRANSPORTATION			
Vehicle trips per day	34	+ 32	66
Parking spaces	15	+ 6	21
WASTEWATER			
Water Use (Gallons per day)	0	+2,112	2,112
Water withdrawal (GPD)	0	0	0
Wastewater generation/treatment (GPD)	0	+1,760	1,760
Length of water mains (miles)	0	+0.13	0.13
Length of sewer mains (miles)	0	N/A	N/A (Septic Systems)

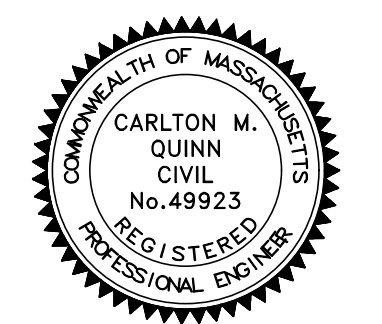
The single family home alternative would require the subdivision of the existing lot. Lot size assumptions were based on the underlying zone of Residential 40 (R40), requiring proposed lots to be a minimum of 40,000 s.f. with a frontage of 180 feet. Based on the existing lot square footage and the requirement for a subdivision roadway, with assumed right of way width of 50 feet, a total of seven lots was assumed. Impervious area for the lots was calculated by assuming the maximum lot coverage for an R40 lot of 20%. Impervious area for the roadway was calculated by assuming a 24’ wide roadway with 5’ wide walkways.

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LEGEND

- SILT FENCE — SF —
- TUBULAR BARRIER — X — X —
- EROSION CONTROL FABRIC — [Pattern] —
- CATCH BASIN FILTER — [Symbol] —
- STONE CHECK DAM — [Pattern] —
- STABILIZED ENTRANCE — [Pattern] —
- TURBIDITY CURTAIN — TC —
- STOCKPILE/STAGING AREA — [Pattern] —



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE
LEXINGTON, MA 02421

PROJECT:
ALTA AT RIVER'S EDGE
490 BOSTON POST ROAD
WAYLAND, MA

PROJECT NO. 1670-09A DATE: 06-20-2019

SCALE: 1" = 40' DWG. NAME: 1670-09A

DESIGNED BY: SJL CHECKED BY: CMQ

PREPARED BY:



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environmental consulting • landscape architecture
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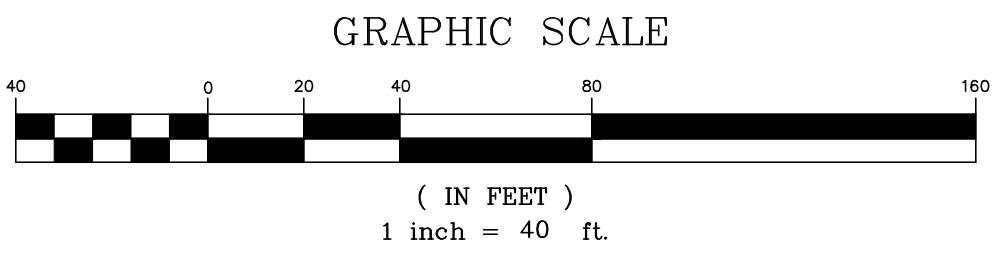
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DEMOLITION & EROSION CONTROL PLAN C-101

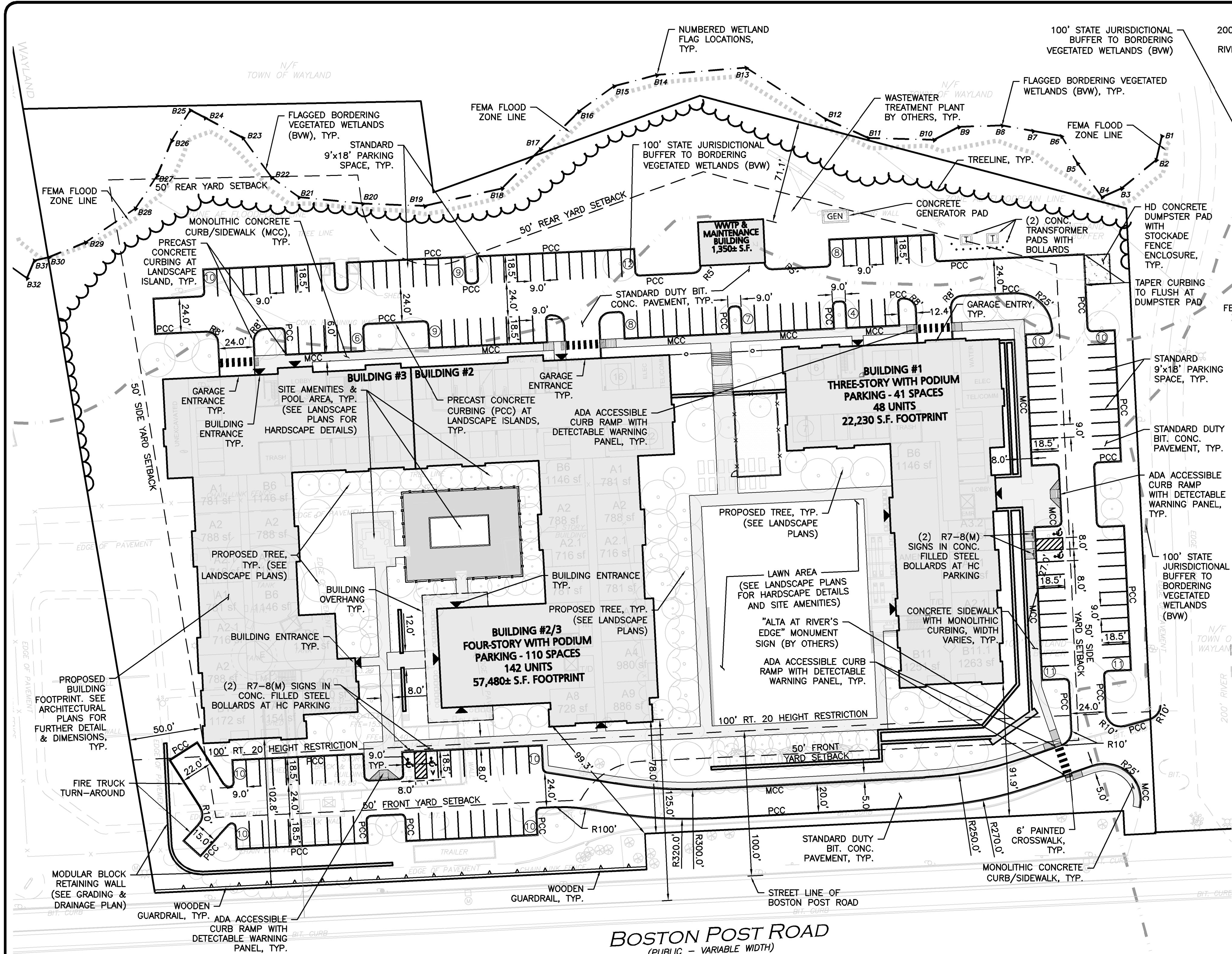
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LEGEND

PROP. PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Symbol]
BUILDING ARCHITECTURE	[Symbol]
CURB	[Symbol]
RETAINING WALL	[Symbol]
PARKING STRIPING	[Symbol]
TRAFFIC ARROWS	[Symbol]
HEAVY DUTY CONCRETE	[Symbol]
SIDEWALK	[Symbol]
ADA ACCESSIBLE RAMP	[Symbol]
ADA DET. WARNING SURFACE	[Symbol]
SETBACK LINE	[Symbol]
PARKING COUNT	[Symbol]
TREE LINE	[Symbol]
TRANSFORMER	[Symbol]
MONOLITHIC CURBING	MONO.
PRECAST CONC. CURB	PCC

- ### NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF WAYLAND DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
WAYLAND DEPT. OF PUBLIC WORKS: (508) 358-3672
 - SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 - ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED. ALL RADII AND DIMENSIONS MEASURED AT FACE OF CURB.
 - ALL ADA RAMPS ARE TO BE CONCRETE UNLESS SPECIFIED OTHERWISE.
 - EXISTING CONDITIONS BASE PLAN TAKEN FROM AN EXISTING CONDITIONS BASE PLAN ENTITLED "EXISTING CONDITIONS", PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., ORIGINAL SCALE 1"=40', DATED MAY 8, 2019.
 - RIVERFRONT FLAGGINGS (RA SERIES) AND A&B SERIES WETLANDS FLAGGINGS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS SURVEY - 484-490 BOSTON POST ROAD - WAYLAND, MASSACHUSETTS," PREPARED BY WSP SELLS DATED JULY 16, 2015, SCALE 1"=60'.
 - ALL ELEVATIONS REFER TO NAVD88 DATUM.

PARKING SUMMARY CHART

USE: RIVER'S EDGE HOUSING OVERLAY DISTRICT (REHOD)

PARKING SPACES SHALL BE PROVIDED AT A MINIMUM RATIO OF 1.25 PARKING SPACES PER DWELLING UNIT⁽¹⁾

(190 UNITS TOTAL) * (1.25 SPACES/UNITS)	=238 SPACES
TOTAL OFF-STREET PARKING REQUIREMENT	=238 SPACES

THEREFORE, 238 PARKING SPACES ARE REQUIRED AT A MINIMUM RATIO OF 1.25 SPACES PER 1 DWELLING UNIT.

306 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, INCLUDING 151 SPACES WITHIN THE PODIUM PARKING AREAS AND 155 SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.61 SPACES PER 1 DWELLING UNIT.

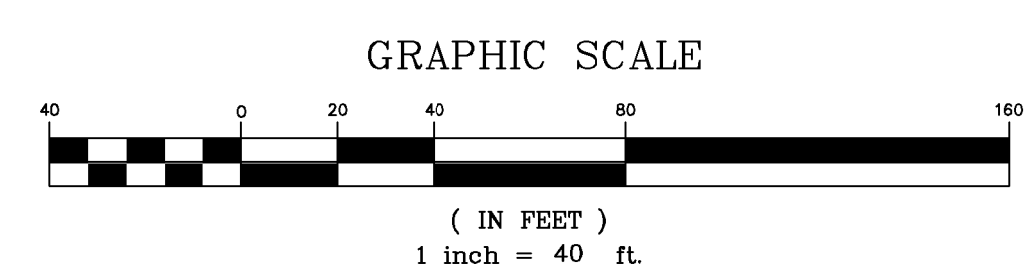
1.61 > 1.25, THEREFORE PROPOSED PARKING COUNT MEETS/EXCEEDS MINIMUM REQUIRED.

ADA REQUIRED: THERE ARE BETWEEN 301 AND 400 TOTAL PARKING SPACES REQUIRING 8 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED: 8 ADA ACCESSIBLE SPACES, 2 OF WHICH SHALL BE VAN ACCESSIBLE

SURFACE PARKING		STRUCTURED PARKING		TOTAL PARKING	
STANDARD SPACES	ACCESSIBLE SPACES	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL PROVIDED	TOTAL REQUIRED
151	4	147	4 ⁽²⁾	306	238

- ### PARKING NOTES:
- ...AND MAXIMUM OF 15 PARKING SPACES FOR ANY ACCESSORY CAFE OR DINER IN ADDITION TO SAID DWELLING UNIT PARKING SPACES. IF OVER 50% OF THE TOTAL NUMBER OF DWELLING UNITS ARE AGE RESTRICTED AS SET FORTH IN § 19B-2506.6 BELOW, PARKING MAY BE PROVIDED AT A MINIMUM OF 0.50 PARKING SPACE PER AGE-RESTRICTED DWELLING UNIT.
 - INCLUDES 2 VAN ACCESSIBLE PARKING STALLS WITHIN STRUCTURED PODIUM PARKING.



LAND USAGE TABLE - RESIDENTIAL ZONE (R40) & REFUSE DISPOSAL DISTRICT (REF) WITH RIVER'S EDGE HOUSING OVERLAY DISTRICT (REHOD)

ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
MINIMUM LOT AREA	359,286± S.F.	359,286± S.F.	40,000 S.F.
MAXIMUM LOT COVERAGE ⁽¹⁾	3.8% ±	23.5%± ⁽⁴⁾	20%
MINIMUM FRONTAGE	691.2± FT	691.2± FT	180 FEET
MINIMUM FRONT LOT LINE SETBACK	12.1± FT	78.0± FT	50 FT ⁽²⁾
MINIMUM ROW CENTER LINE SETBACK	84.7 FT	125.0 FT	55 FT
MINIMUM REAR SETBACK	23.7± FT	71.1± FT	50 FT ⁽²⁾
MINIMUM SIDE SETBACK	87.9± FT	50.0± FT	50 FT ⁽²⁾
MAXIMUM BUILDING HEIGHT	21± FT	41'-9.75"	45 FT ⁽³⁾
MAXIMUM BUILDING HEIGHT	21± FT	52'-5.75"	58 FT ⁽³⁾
MAXIMUM STORIES	2 STORIES	3/4 STORIES	2 1/2
MAXIMUM BUILDING SIZE	13,757± GSF	179,610± GSF ⁽⁴⁾	150,000 GSF

- ### LAND USAGE TABLE NOTES:
- 704.4 - IN ALL ZONING DISTRICTS, THE PERCENTAGE OF A LOT THAT MAY BE COVERED BY ANY BUILDING OR STRUCTURE SHALL MEET THE REQUIREMENTS IN §19B-801, TABLE OF DIMENSIONAL REQUIREMENTS.
 - 2505.1 - MINIMUM BUILDING SETBACK FROM THE RIVER'S EDGE HOUSING OVERLAY DEVELOPMENT (REHOD) PERIMETER BOUNDARY SHALL BE 50 FEET.
 - 2505.2 - MAXIMUM BUILDING HEIGHT OF ANY BUILDING OR PORTION THEREOF LOCATED LESS THAN 100 FEET FROM A PUBLIC WAY BOSTON POST ROAD/ROUTE 20 SHALL NOT EXCEED 35 FEET IN HEIGHT. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 45 FEET FOR THE REMAINDER OF THE SITE, WITH THE EXCEPTION THAT THE MAXIMUM HEIGHT FOR THE NORTHWEST QUADRANT OF THE SITE SHALL BE 58 FEET IN HEIGHT FOR THIS QUADRANT ONLY. HEIGHT SHALL BE AS DEFINED IN §19B-701.1.2. HEIGHT SHALL BE MEASURED FROM THE AVERAGE GRADE OF THE LAND WHERE AVERAGE GRADE SHALL BE DETERMINED BY THE GRADE OF THE LAND IMMEDIATELY ADJACENT TO THE THREE SIDES OF THE BUILDING WHICH DO NOT FACE NORTH. TO REDUCE GRADING ON THE NORTH-FACING SIDES NEAR WETLANDS, AND TO ENCOURAGE UNDERGROUND PARKING IN THESE AREAS, ON THESE NORTH-FACING FACADES ONLY, NOT MORE THAN SIX FEET OF A PARKING LEVEL MAY BE EXPOSED AND ALLOW NATURAL VENTILATION AS LONG AS THIS FACADE AREA IS SCREENED AND BUFFERED WITH LANDSCAPE.
 - RELIEF FROM TOWN OF WAYLAND ZONING BYLAWS REQUIRED.

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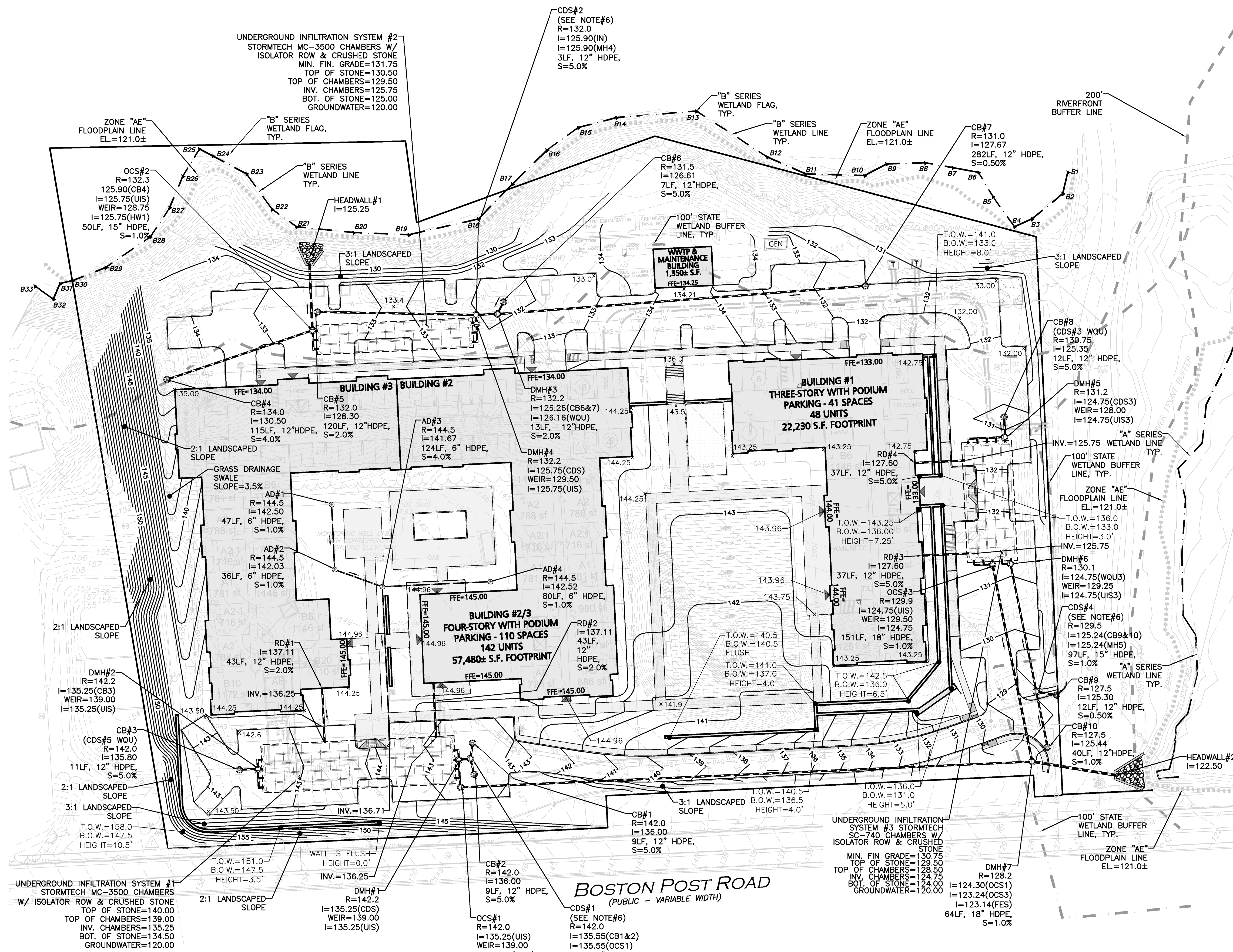
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DRAWING TITLE: **LAYOUT & MATERIALS PLAN** SHEET No. **C-102**

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LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- DRAIN MANHOLE W/ WEIR
- AREA DRAIN
- CLEANOUT
- SPOT GRADE
- DRAIN LINE
- 5' CONTOUR
- 1' CONTOUR
- INFILTRATION SYSTEM
- INFILTRATION CHAMBERS
- ISOLATOR ROW

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 - PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES. DIGSAFE: 1-888-344-7233
 - ANY ROOF DRAINAGE PIPE LOCATED WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE CAST IRON PIPE PER MA PLUMBING CODE.
 - ALL "CDS" STRUCTURES HAVE BEEN SIZED USING THE WATER QUALITY FLOW RATE PER MASS STORMWATER HANDBOOK AND SHALL BE CONTECH CDS2015-4-C OR APPROVED EQUIVALENT.



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 LEXINGTON, MA 02421

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 490 BOSTON POST ROAD
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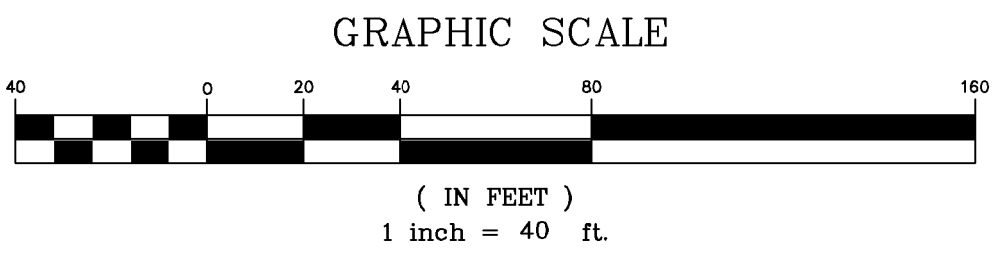
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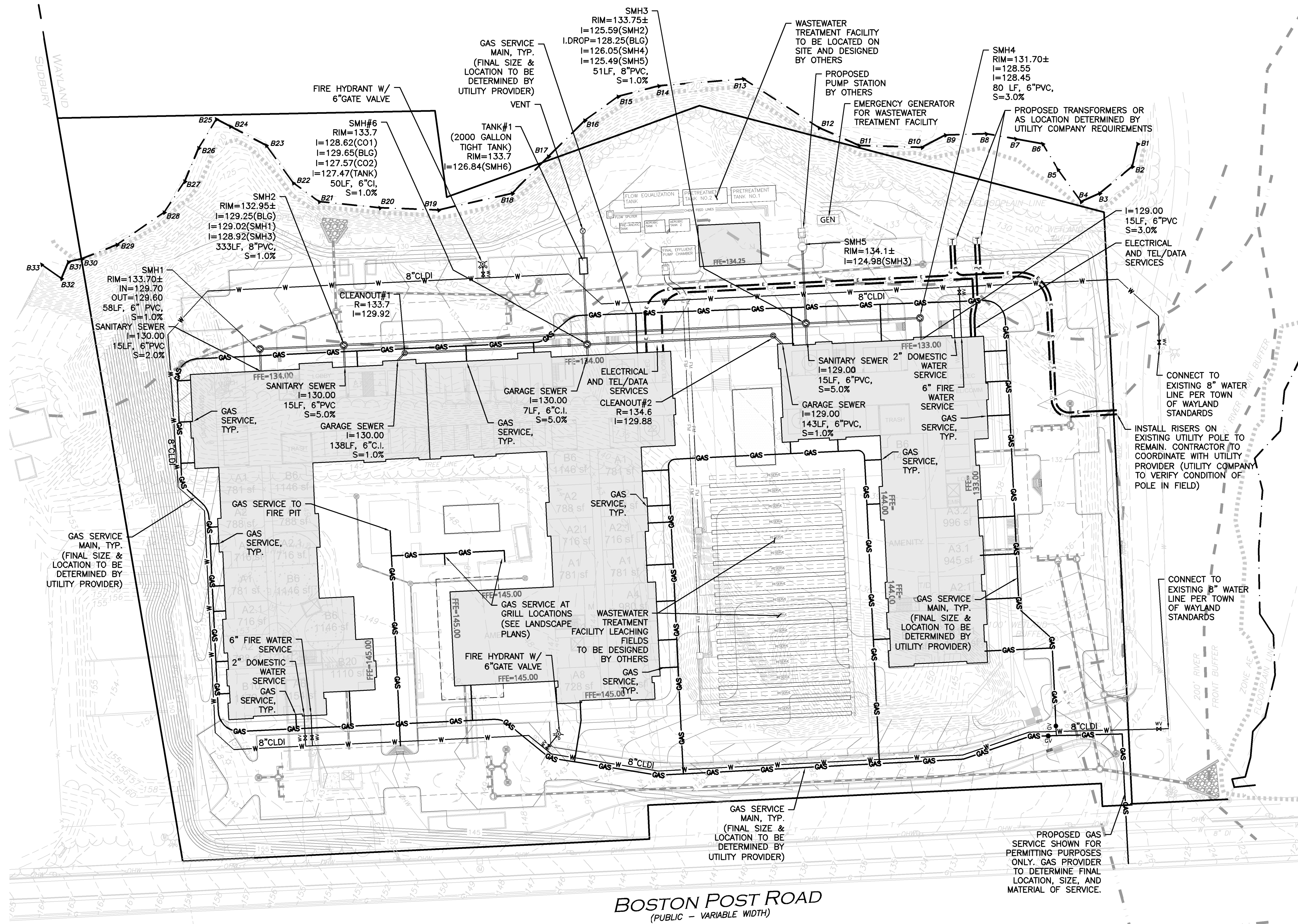
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LEGEND

SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
SEWER VENT	⊙
SEWER LINE	—
WATER LINE	— W —
WATER VALVE	⊕
HYDRANT	⊕
WATER LINE REDUCER	▶
GAS LINE	— GAS —
GAS VALVE	⊕
OVER HEAD WIRE	— OHW —
UTILITY POLE	⊕
HAND HOLE	⊕
ELECTRICAL CONDUIT	— E —

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 3. ALL C.L.D.I. WATER PIPE SHALL BE CLASS 52.
 4. GAS AND ELECTRIC SERVICE SIZE AND LOCATION SHALL BE DETERMINED BY SERVICE PROVIDER.
 5. FIRE & DOMESTIC WATER SERVICE SIZE TO BE CONFIRMED BY MEP ENGINEER.
 6. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF WAYLAND DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
- DIGSAFE: 1-888-344-7233
 WAYLAND DEPT. OF PUBLIC WORKS: 508-358-3672



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