

**Windsor Place LLC**  
73 Pelham Island Road  
Wayland, MA 01778

December 22, 2022

Wayland Conservation Commission  
41 Cochituate Road  
Wayland, MA 01778

RE: 24 School Street - Revised 40B Project

Dear Members of the Commission,

For the past year, I have been corroborating with the former Town Planner (Sarkis Sarkisian) on a scaled down residential proposal for the subject property. The Z.B.A. and Board of Health have approved a 12 unit residential project. I am proposing a 7 unit residential project for your review. By scaling down the project, we were able to accomplish the following:

- Increase the side and rear setbacks to conform with the Residence Zone 20,000 square feet
- Increase the distance between the proposed buildings and the delineated wetlands
- Increase the amount of Open Space
- Reduce the Building Coverage
- Reduce the Impervious Area
- Reduce the Building Height
- Reduce the Number of Stories
- Reduce the Floor Area Ratio
- Reduce the Number of Bedrooms
- Reduce the Units per Acre
- Reduce the Number of Parking Spaces
- Eliminate the Retaining Wall and Fill on the Westerly portion of the lot
- Preserve three significant trees along the Southerly portion of the lot
- Preserve the trees and plantings on the School Street/East Plain Street corner of the lot
- Preserve two trees on the Northeast corner of the lot

Included with this letter are photos of the Site, illustrating the trees and plantings that will be preserved, Existing Conditions Plan, 12-Unit Townhouse Plan, Proposed 7-Unit Plan, Wayland Fire Department Comment Letter, and Three Oaks Environmental Letter.. For the reasons outlined in this letter, I am requesting that the Conservation Commission support this scaled down 7 unit residential proposal.

Thank you for your time and consideration with respect to this matter.

Regards,



Chris D'Antonio



Wayland, Massachusetts  
Google  
Street View - Jul 2022



Wayland, Massachusetts  
Google  
Street View - Jul 2022



Image capture: Jul 2022 © 2022 Google

d Middle School





22 School St

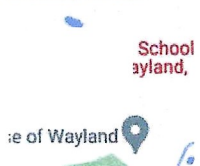


Google Maps 24 School St



Image capture: Jul 2022 © 2022 Google

d Middle School





# NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 52, LOT 189. RECORD FILE FROM BOOK 8900, PAGE 384.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS OF DISCREPANCY-INDICATORS, METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THIS SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 220170052P, BEARING AN EFFECTIVE DATE OF JULY 7, 2014.

## BENCHMARKS

ELEVATIONS SHOWN ON THIS PLAN REFER TO RM 11 (ELEV=163.84'). A CHISELED SQUARE IN THE NORTH HEADING OF THE CURVE UNDER COMMONWEALTH ROAD FOR SNAKE BROOK N.G.V.D. 1928.)

T.B.M. DESCRIPTION	ELEVATION
C DIN SET IN 14" BLACK LOCUST	161.89'
D DIN SET IN 10" NORWAY MAPLE	168.74'



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

## ZONING

RESIDENCE ZONE 20,000 - 120' FRONT

MINIMUM LOT AREA= 20,000 S.F.  
MINIMUM LOT COVERAGE= 20%  
MINIMUM FRONTAGE= 200 FT.  
SETBACKS:  
FRONT LOT LINE= 30' FT.  
FRONT ROW CENTER LINE= 55 FT.  
SIDE YARD= 15' FT.  
REAR YARD= 20' FT.  
MAX. HEIGHT= 35 FT./2.5 STORIES

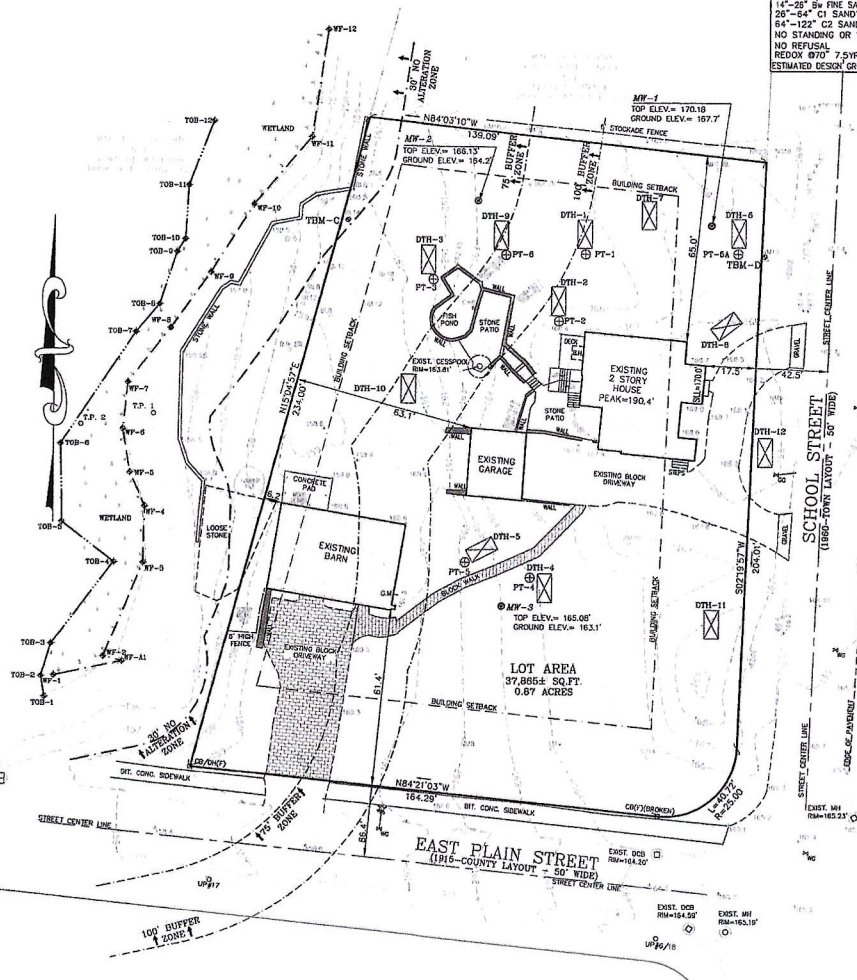
- IF §198-702 SHALL REQUIRE A GREATER SETBACK OR PERMIT A LESSER SETBACK, THE PROVISIONS OF SAID §198-702 SHALL PREVAIL OVER THIS TABLE.
- SIDE YARDS SHALL MEET THE REQUIREMENTS OF §198-702.4 AND 703.2, AND THE REQUIRED MINIMUM SIDE YARD MAY BE REDUCED IN ACCORDANCE WITH PROVISIONS OF §198-703.2
- MINIMUM FRONT YARD WIDTH SHALL BE CALCULATED IN ACCORDANCE WITH THE REQUIREMENTS OF §198-703.1 OF THE ZONING BYLAW.

## EXISTING TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BL#	BLACK LOCUST
CA#	CRAB APPLE
HA#	HICKORY
LJ#	LINDEN
NA#	NORWAY MAPLE
NS#	NORWAY SPRUCE
RD#	RED MAPLE
SY#	STAMORE

## LEGEND

DCB	DRAIN CATCH BASIN
HM	MANHOLE
WG	WATER GATE
GG	GAS GATE
HY	HYDRANT
UP	UTILITY POST
DH	DRILL HOLE
CB	CONCRETE BOUND
SB	STONE BOUND
WF	WETLAND FLAG
EM	ELECTRIC METER
GM	GAS METER
N/P	NOT PREVIOUSLY
	EXISTING SPOT GRADE
	EXISTING GRADING
	EXISTING OVERHEAD WIRE



## SOIL LOGS SOIL TEST RESULTS

DTH-1 ELEV=165.7'	DTH-2 ELEV=165.9'	DTH-3 ELEV=161.7'	DTH-4 ELEV=164.1'	DTH-5 ELEV=162.6'
0'-10" Ap FINE SANDY LOAM 10YR3/3 10'-24" Bw FINE SANDY LOAM 10YR5/6 24'-32" C1 SANDY LOAM 2.5Y5/3 32'-42" C2 SANDY LOAM 2.5Y5/4 42'-52" C2 SANDY LOAM 2.5Y5/4 52'-62" C2 SANDY LOAM 2.5Y5/4 62'-72" C2 SANDY LOAM 2.5Y5/4 72'-82" C2 SANDY LOAM 2.5Y5/4 82'-92" C2 SANDY LOAM 2.5Y5/4 92'-102" C2 SANDY LOAM 2.5Y5/4 102'-112" C2 SANDY LOAM 2.5Y5/4 112'-122" C2 SANDY LOAM 2.5Y5/4 122'-132" C2 SANDY LOAM 2.5Y5/4 132'-142" C2 SANDY LOAM 2.5Y5/4 142'-152" C2 SANDY LOAM 2.5Y5/4 152'-162" C2 SANDY LOAM 2.5Y5/4 162'-172" C2 SANDY LOAM 2.5Y5/4 172'-182" C2 SANDY LOAM 2.5Y5/4 182'-192" C2 SANDY LOAM 2.5Y5/4 192'-202" C2 SANDY LOAM 2.5Y5/4 202'-212" C2 SANDY LOAM 2.5Y5/4 212'-222" C2 SANDY LOAM 2.5Y5/4 222'-232" C2 SANDY LOAM 2.5Y5/4 232'-242" C2 SANDY LOAM 2.5Y5/4 242'-252" C2 SANDY LOAM 2.5Y5/4 252'-262" C2 SANDY LOAM 2.5Y5/4 262'-272" C2 SANDY LOAM 2.5Y5/4 272'-282" C2 SANDY LOAM 2.5Y5/4 282'-292" C2 SANDY LOAM 2.5Y5/4 292'-302" C2 SANDY LOAM 2.5Y5/4 302'-312" C2 SANDY LOAM 2.5Y5/4 312'-322" C2 SANDY 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## NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 52, LOT 180, RECORD TITLE FROM BOOK 69050, PAGE 394.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DISCREPANCY INDICATORS, METROWEST ENGINEERING, INC. PERSONNEL DO NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25017C0528F, BEARING AN EFFECTIVE DATE OF JULY 7, 2014.

## BENCHMARKS

ELEVATIONS SHOWN ON THIS PLAN REFER TO RM 11 (ELEV. 163.84'), A CHISELED SQUARE IN THE NORTH HEADWALL OF THE CULVERT UNDER COMMONWEALTH ROAD FOR SHAKA BROWN (N.G.D., 1929.3).

T.B.M. DESCRIPTION	ELEVATION
C DNN SET IN 14" BLACK LOCUST	161.89'
D DNN SET IN 10" NORWAY MAPLE	168.74'



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG BIT.

## ZONING:

### RESIDENCE ZONE 20,000

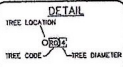
MINIMUM LOT AREA= 20,000 S.F.  
MINIMUM LOT COVERAGE= 20%  
MINIMUM FRONTAGE= 200 FT.

SETBACKS:  
FRONT LOT LINE= 30'± FT.  
FRONT ROW COVER LINE= 35 FT.  
SIDE YARD= 15'± FT.  
REAR YARD= 30 FT.  
MAX. HEIGHT = 35 FT./2 1/2 STORIES

- IF §198-702 SHALL REQUIRE A GREATER SETBACK OR PERMIT A LESSER SETBACK, THE PROVISIONS OF SAID §198-702 SHALL PREVAIL OVER THIS TABLE.
- SIDE YARDS SHALL MEET THE REQUIREMENTS OF §198-702.4 AND 703.2, AND THE REQUIRED MINIMUM SIDE YARD MAY BE REDUCED IN ACCORDANCE WITH PROVISIONS OF §198-703.2
- MINIMUM FRONT YARD WIDTH SHALL BE CALCULATED IN ACCORDANCE WITH THE REQUIREMENTS OF §198-705.1 OF THE ZONING BYLAW.

## EXISTING TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BL#	BLACK LOCUST
CA#	CRAB APPLE
HA#	HEMLOCK
LI#	LINDEN
NM#	NORWAY MAPLE
NS#	NORWAY SPRUCE
RM#	RED MAPLE
SY#	SYCAMORE



## LEGEND

DCB	DRAIN CATCH BASIN
HM	MANHOLE
WGS	WATER GATE
OGS	OAS GATE
HY	HYDRANT
U.P.	UTILITY POST
DH	DRILL HOLE
(F)	FOUND
CR	CONCRETE SOUND
SB	STONE SOUND
WF	WETLAND FLAG
E.M.	ELECTRIC METER
G.M.	GAS METER
N/F	NOW OR FORMERLY
+	EXISTING SPOT GRADE
-	EXISTING GRADING
---	EXISTING OVERHEAD WIRE

## PROPOSED BUILDING HEIGHTS:

BUILDING A:  
MAXIMUM ROOF ELEVATION = 203.3-Feet  
PROPOSED GRADE PLANE ELEVATION = 197.6-Feet  
MAXIMUM BUILDING HEIGHT = 37.7-Feet

BUILDING B:  
MAXIMUM ROOF ELEVATION = 205.3-Feet  
PROPOSED GRADE PLANE ELEVATION = 168.1-Feet  
MAXIMUM BUILDING HEIGHT = 39.2-Feet

## LOCAL WAIVERS REQUESTED:

### ZONING BYLAW:

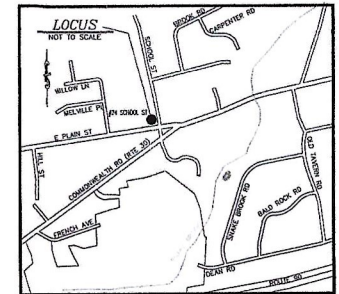
- 198-501 - SIGN (SPECIAL PERMIT REQUIRED)
- 198-502 - SIGN (SPECIAL PERMIT REQUIRED FOR TWO SIGNS)
- 198-504 - EARTH MOVEMENT - 500 CUBIC YARDS MAXIMUM ALLOWED (100 CUBIC YARDS CUT, 4,571 CUBIC YARDS FILL REQUESTED)
- 198-508 - MULTI-FAMILY USE REQUESTED
- 198-701 - BUILDING HEIGHT 35' MAXIMUM (37.7-Feet AND 39.2-Feet REQUESTED)
- 198-702 - BUILDING HEIGHT 2.5 STORIES REQUIRED (3 STORIES REQUESTED)
- 198-702 - FRONT SETBACK 30-Feet REQUIRED (16.3 AND 23.7-Feet REQUESTED)
- 198-702 - SIDE SETBACK 15.0-Feet REQUIRED (10.0-Feet REQUESTED FOR BUILDING)
- 198-702 - SIDE SETBACK 15.0-Feet REQUIRED (10.0-Feet REQUESTED FOR RETAINING WALL)
- 198-802 - MULTI-FAMILY USE SPECIAL PERMIT REQUIRED (WAIVED)
- 198-1001 - MULTI-FAMILY USE SPECIAL PERMIT REQUIRED (WAIVED)
- 198-1002 - MULTI-FAMILY USE SPECIAL PERMIT REQUIRED (WAIVED)

### BOARD OF HEALTH REGULATIONS:

- IL.C.1 - DESIGN FLOW 165 G.P.D. REQUIRED (110 G.P.D. REQUESTED)
- IL.C.3 - DISTANCE BETWEEN PRIMARY TRENCHES 10-Feet REQUIRED (6-Feet REQUESTED)
- IL.C.1 - OFFSET TO WETLANDS 100-Feet REQUIRED (62.6-Feet REQUESTED)

### WETLAND AND WATER RESOURCES BYLAW

- SECTION 194-A.3 - LAND SUBJECT TO FLOODING (TO THE EXTENT IN EXCESS OF FEMA DESIGNATION)
- STREAM DESIGNATION (TO THE EXTENT) IN EXCESS OF 31R 58.00

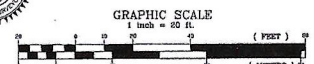


ZONING TABLE			
RESIDENCE ZONE, 20,000 SQUARE FEET			
AREA	REQUIRED	EXISTING	PROPOSED
FRONTAGE	120 FEET	204.01 FEET	204.01 FEET
SETBACKS			
FRONT YARD	30 FEET*	17.5 FEET	19.8 FEET
SIDE YARD	15 FEET	N.A.	N.A.
REAR YARD	30 FEET	6.2 FEET	10.8 FEET
BUILDING COVERAGE	20% MAXIMUM	0.092 (9.2%)	0.139 (13.9%)
LOT COVERAGE	20% MAXIMUM	0.092 (9.2%)	0.139 (13.9%)
IMPERVIOUS AREA	N.A.	8,808 S.F. (23.5%)	19,958 S.F. (52.7%)
BUILDING COVERAGE	7,573 S.F.	3,493 S.F. (9.2%)	7,572 S.F. (19.9%)
OTHER IMPERV. AREA	N.A.	3,410 S.F. (9.4%)	12,386 S.F. (32.2%)
OPEN SPACE	35 FEET	28,957 S.F. (75.5%)	17,909 S.F. (47.3%)
BUILDING HEIGHT	35 FEET	28.1 FEET	39.2 FEET
NUMBER OF STORIES	2.5 STORIES	2 STORIES	3 STORIES
BUILDING TYPE	N.A.	2-STORY W.F.	3-STORY W.F.
FLOOR AREA RATIO	N.A.	0.092 (9.2%)	0.139 (13.9%)
NUMBER OF BEDROOMS	N.A.	4 BEDROOMS	26 BEDROOMS
UNITS PER ACRE	N.A.	0.9	13.8
UNITS PER BUILDABLE ACRE	N.A.	0.9	13.9
# PARKING SPACES PER UNIT	N.A.	N.A.	0.002
# PARKING SPACES PER SQUARE FOOT	N.A.	N.A.	0.002
# PARKING SPACES	N.A.	4	30*

\* INCLUDES GARAGE PARKING



FOR METROWEST ENGINEERING, INC.  
ROBERT A. GEMMA, P.E. (CIVIL) # 31967  
P.L.S. # 37046



## PROPOSED LAYOUT PLAN

#24 SCHOOL STREET  
IN  
WAYLAND, MASS  
(MIDDLESEX COUNTY)

PREPARED FOR: WINDSOR PLACE LLC  
73 PELHAM ISLAND ROAD  
WAYLAND, MA 01778

PROPERTY OF: WINDSOR PLACE LLC  
73 PELHAM ISLAND ROAD  
WAYLAND, MA 01778

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
WAYLAND, MA 01702  
TEL: (508) 628-0063  
FAX: (508) 675-6440

SHEET 1 OF 5 DATE: NOVEMBER 16, 2020  
CALC'D BY: BTN FIELD BK: 621 CAD FILE: PROP\_SP\_2020.dwg  
DRAFTER: BTN PROJECT: NY\_SCH DWG FILE: SP111020.dwg



# NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 52, LOT 186. RECORD TITLE FROM BOOK 31865, PAGE 55.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS, METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25017C0528F, BEARING AN EFFECTIVE DATE OF JULY 7, 2014.

## BENCHMARKS

ELEVATIONS SHOWN ON THIS PLAN REFER TO RM 11 (ELEV.=163.84'), A CHISELED SQUARE IN THE NORTH HEADWALL OF THE CULVERT UNDER COMMONWEALTH ROAD FOR SNAKE BROOK N.C.V.D. 1925.)

T.B.M. DESCRIPTION	ELEVATION
C D.H.N. SET IN 14" BLACK LOCUST	161.89'
D D.H.N. SET IN 10" NORWAY MAPLE	168.74'



## ZONING: 2

**RESIDENCE ZONE 20,000 - 120**  
 MINIMUM LOT AREA= 20,000 S.F.  
 MINIMUM LOT COVERAGE= 20%  
 MINIMUM FRONTAGE= 200 FT.  
 SETBACKS:  
 FRONT LOT LINE= 30 FT.  
 FRONT ROW CENTER LINE= 55 FT.  
 SIDE YARD= 15 FT.  
 REAR YARD= 30 FT.  
 MAX. HEIGHT = 35 FT./2 1/2 STORIES

2) IF §198-702 SHALL REQUIRE A GREATER SETBACK OR PERMIT A LESSER SETBACK, THE PROVISIONS OF SAID §198-702 SHALL PREVAIL OVER THIS TABLE.

3) SIDE YARDS SHALL MEET THE REQUIREMENTS OF §198-702.4 AND 703.2, AND THE REQUIRED MINIMUM SIDE YARD MAY BE REDUCED IN ACCORDANCE WITH PROVISIONS OF §198-703.2

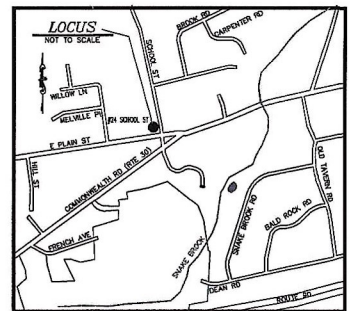
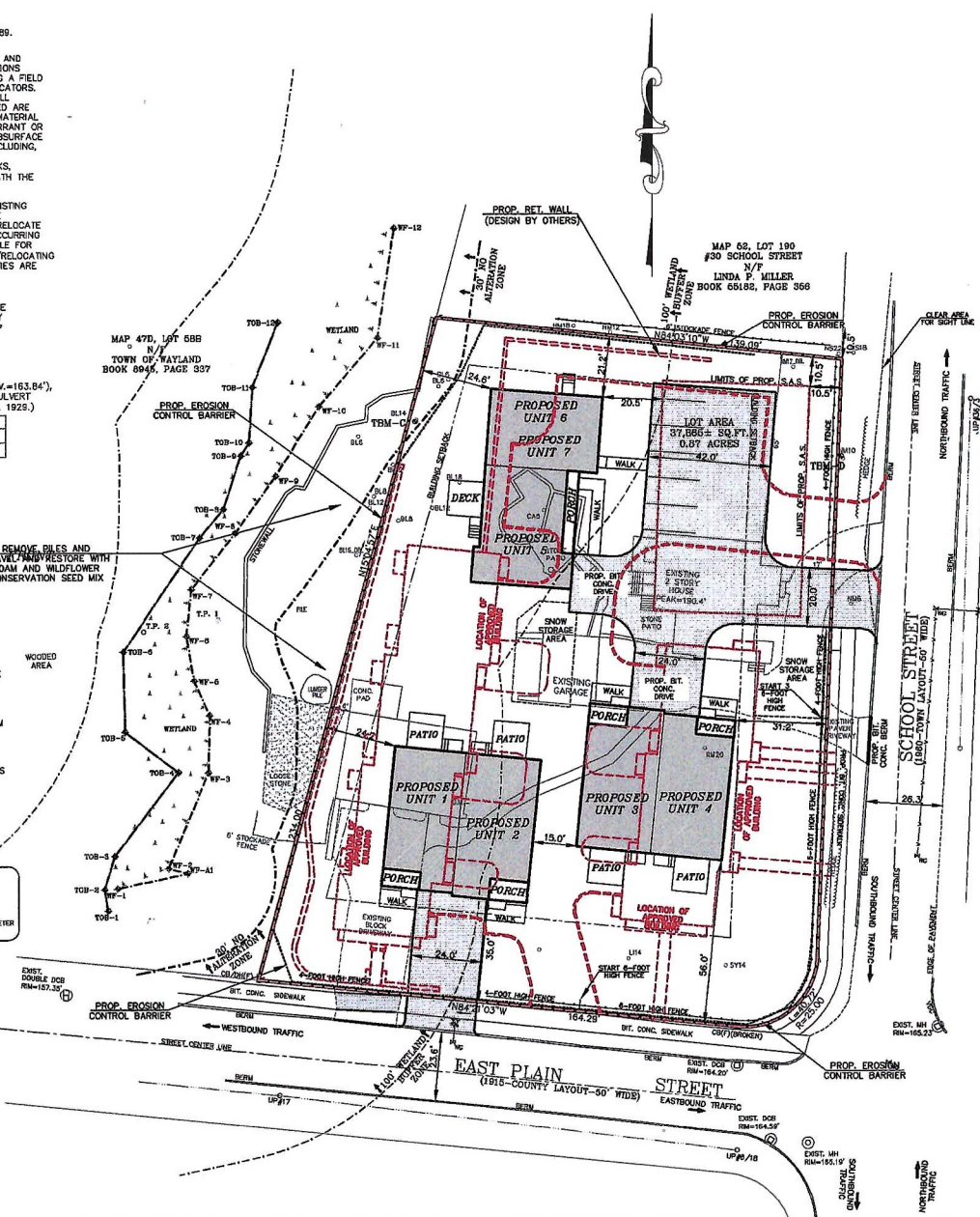
15) MINIMUM FRONT YARD WIDTH SHALL BE CALCULATED IN ACCORDANCE WITH THE REQUIREMENTS OF §198-705.1 OF THE ZONING BYLAW.

## EXISTING TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BL#	BALCO LOCUST
CA#	CRAPE APPLE
HA#	HEMLOCK
LI#	LINDEN
MA#	NORWAY MAPLE
NS#	NORWAY SPRUCE
RM#	RED MAPLE
SY#	SYCAMORE

## LEGEND

DCB	DRAIN CATCH BASIN
HM	MAN-HOLE
WQ	WATER GATE
GS	GAS GATE
HY	HYDRANT
UP	UTILITY POST
DH	DRILL HOLE
(F)	FOUND
CB	CONCRETE BOUND
SB	STONE BOUND
WF	WETLAND FLAG
E.M.	ELECTRIC METER
G.M.	GAS METER
N/F	NOW OR FORMERLY
+200.0	EXISTING SPOT GRADE
---	EXISTING GRADING
---	EXISTING OVERHEAD WIRE

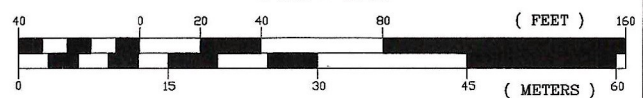


ZONING TABLE			
RESIDENCE ZONE, 20,000 SQUARE FEET			
AREA	REQUIRED	EXISTING	PROPOSED
FRONTAGE	120 FEET	37.865 S.F.	204.01 FEET
SETBACKS:			
FRONT YARD	30 FEET	17.5 FEET	20.2 FEET
REAR YARD	15 FEET	N.A.	N.A.
SIDE YARD	15 FEET	N.A.	N.A.
BUILDING COVERAGE	20% MAXIMUM	0.082 (18.2%)	0.204 (20.3%)
LOT COVERAGE	20% MAXIMUM	0.082 (18.2%)	0.204 (20.3%)
BUILDING HEIGHT	35 FEET	28- FEET	33.0 FEET
NUMBER OF STORIES	2.5 STORIES	2 STORIES	3 STORIES
FLOOR AREA RATIO	N.A.	0.080 (9.0%)	0.533 (53.3%)
UNITS PER BUILDING ACRE	N.A.	N.A.	13.9
# PARKING SPACES PER UNIT	N.A.	N.A.	2.5
# PARKING SPACES PER SQUARE FOOT	N.A.	N.A.	0.002
# PARKING SPACES	N.A.	4	30*

\* - INCLUDES GARAGE PARKING

FOR METROWEST ENGINEERING, INC. DATE  
 ROBERT A. CEMMA, P.E.(CIVIL) # 31967  
 P.L.S. # 37046

## GRAPHIC SCALE



## PROPOSED LAYOUT PLAN

#24 SCHOOL STREET  
 IN  
 WAYLAND, MASS  
 (MIDDLESEX COUNTY)

PREPARED FOR: CHADWICK HOMES  
 73 PELHAM ISLAND ROAD  
 WAYLAND, MA 01778

PROPERTY OF: LINDA C. KNOWLES &  
 GARY W. RIDGE  
 24 SCHOOL STREET  
 WAYLAND, MA 01778

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
 75 FRANKLIN STREET  
 WAYLAND, MA 01778  
 TEL: (508)826-0083  
 FAX: (508)875-8440

SHEET 1 OF 3 DATE: SEPTEMBER 6, 2017

CALC'D BY: BTN FIELD BK: 001 CAD FILE: PROP\_SITE\_3\_R12.dwg  
 DRAFTER: BTN PROJECT: WY\_SCH DWG FILE: SP060817\_R4.dwg





NEIL W. MCPHERSON  
*Chief of Department*

## *Wayland Fire Department*

38 Cochituate Road • Wayland, MA 01778

Business Phone: 508.358.7951

Chief's Phone: 508.358.6914

[nmcpherson@wayland.ma.us](mailto:nmcpherson@wayland.ma.us)

November 22, 2021

Mr D'Antonio,

After review of your proposed site plan for a residential development on the corner of East Plain and School Street, we have the following recommendations:

The School St entrance, which services two of the three proposed buildings, should be increased in width to a minimum of 20' and have radiused corners on the entrance to permit safe entering and exiting of fire apparatus. (as designated on revised sketch).

The shared driveway for the School Street entrance should maintain a clear travel path of at least 20'.  
(as designated on revised sketch).

Any designated parking spots should be no larger than 9' x 18' and should not impede the travel or turn-around of fire apparatus. (as designated on revised sketch).

The East Plain shared driveway should be a minimum of 18' in width and maintain a minimum of 18" from the roadway as "undesignated parking spots" to provide appropriate access for responders.

Snow Storage should be designated locations that are not in the travel path or turn-around access.

The Duplex living units should comply with all Smoke and Carbon monoxide requirements for 1 and 2 family homes as described by MGL Chapter 148, section 26f ½.

The three living unit structure should comply with all Smoke and Carbon monoxide requirements for 1 and 2 family homes as described by MGL Chapter 148, section 26f ½.

Additionally, the three living unit structure shall be protected by a fixed suppression system as described in NPFA 13r.

Existing hydrants shall be maintained (as designated on revised sketch).





NEIL W. McPHERSON  
*Chief of Department*

## *Wayland Fire Department*

38 Cochituate Road • Wayland, MA 01778

Business Phone: 508.358.7951

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[nmcpherson@wayland.ma.us](mailto:nmcpherson@wayland.ma.us)

November 22, 2021 (Cont.)

As we have not seen any of the specific plans for the structures proposed for this project, our recommendations are predominantly relative to the site access to the proposed structures.

The Fire department will review the plans for the structures when they are submitted.

If you have any further questions, please contact me directly.

Regards,

A handwritten signature in black ink, appearing to read "Richard Ripley", is written over the word "Regards,".

Asst. Chief Richard Ripley  
Wayland Fire Department  
38 Cochituate Rd  
Wayland, MA 01778  
(508)358-6909 office  
(508)314-6816 cell



## Three Oaks Environmental

P.O. Box 404 Hubbardston, MA 01452  
(978) 855-3180

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December 21, 2022

To Whom It May Concern:

Re: Multiple Filing, 24 School, Wayland, MA

I have read the conservation permitting history for the referenced project which is summarized in the following:

There are two NOIs filed for the subject property. The first NOI was filed in 2017 (referred to hereafter as NOI, DEP File #322-0897). This NOI was denied by the Wayland Conservation Commission on July 16, 2019. The denial was appealed to DEP and then to the Mass DEP's Office of Appeals and Dispute Resolution. The case was assigned docket number WET2019025. A pre-hearing conference was held in DEP Northeastern Region Office in September of 2019. All involved parties attended the meeting including MA DEP, Wayland Conservation Commission, and the applicant team. On October 17, 2019, Presiding Officer Timothy Jones allowed an unopposed motion to stay the appeal proceedings so that the Applicant could submit a new NOI to the Commission. This new NOI will address the concerns raised in the Commission's and MassDEP's denial Orders of Conditions by providing additional information to the Commission. Both the Applicant and the Commission agreed to keep the appeal pending active, to allow a second NOI (new NOI) to be filed. The second NOI is for the same project (same scope of work) but includes a more detailed supportive groundwater mounding analysis using MODFLOW. According to the DEP Policy 88-3, the property holds multiple filings.

During the review of the new filing, the Commission opined that the resources delineation shall be reevaluated while the resource area delineation was approved and has been effective with the first NOI filing which is still in active appeal pending with DEP Adjudicatory hearing.

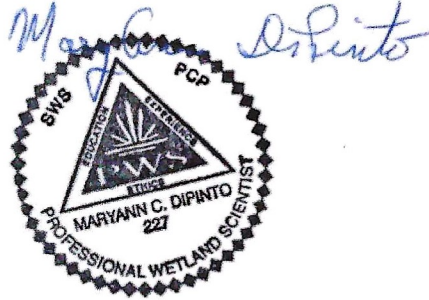
Worked in MA DEP for more than 30 years in dealing with numerous appeal cases to DEP in similar context, based on what I reviewed the details of this case as summarized above, it is my professional opinion that per 310 CMR 10.05 (4) (g), "**No Notice of Intent shall be deemed expired under 310 CMR 10.05 when an adjudicatory hearing is pending and when the applicant has provided all information necessary to continue with the prosecution of the case.**" the 2017 NOI is still considered active and all the information including resources area delineations shall be considered valid and not expired as the delineation was not disputed then and could not be changed at this stage for the pending and active case with DEP.



If you have any questions regarding this report, please feel free to contact me.

MaryAnn DiPinto, PWS #0227

Three Oaks Environmental  
threeoaksenvironmental@gmail.com



Cc:

Chris D'Antoio  
Michelle O'Brien  
Desheng Wang, Creative Land & Water Engineering, LLC