

*PERMIT SITE DEVELOPMENT PLANS
FOR
COUNCIL ON AGING COMMUNITY CENTER*

LOCATED AT

8 ANDREW AVENUE

(ASSESSORS MAP 23: LOTS 052L, 052U, 052K & 052S)

LOCATED IN

WAYLAND, MASSACHUSETTS 01778

DATE: DECEMBER 7, 2022

REVISED: JANUARY 5, 2023

REVISED: JANUARY 16, 2023

OWNER/APPLICANT:

*TOWN OF WAYLAND
41 COCHITUATE ROAD
WAYLAND, MASSACHUSETTS 01778*

CIVIL ENGINEER:

MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
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<i>A 400</i>	<i>EXTERIOR ELEVATIONS</i>

ENDORSED BY WAYLAND PLANNING BOARD
IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR
AMENDING THE WAYLAND TOWN CENTER MIXED-USE
PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
AND SITE PLAN DECISION
_____, 2023



*NEIGHBORHOOD CONTEXTUAL
WITH AERIAL PHOTOGRAPH MAP*

1" = 500'

*FOR PERMITTING ONLY
NOT FOR CONSTRUCTION*

RECORD CONDITIONS PLAN:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY TOWN OF WAYLAND SURVEYOR.
- THE SUBJECT PROPERTY IS LOCATED IN THE LIMITED COMMERCIAL DISTRICT ZONE, THE AQUIFER PROTECTION OVERLAY DISTRICT AND THE MIXED-USE OVERLAY DISTRICT.
- THE MIXED-USE OVERLAY DISTRICT (MUOD) COMPRISING THE LAND AS SHOWN ON PLATE 23 OF THE ATLAS OF THE TOWN OF WAYLAND, MASSACHUSETTS, 2002, NUMBERED AS PARCELS 23-052, 23-052B, 23-052C, 23-052F, AND AS SHOWN ON THE PLAN ENTITLED "TOWN OF WAYLAND MIXED-USE OVERLAY DISTRICT," SURVEY DEPARTMENT, 41 COCHUITATE ROAD, WAYLAND, MA 01778, DATED SEPTEMBER 6, 2005, A COPY OF WHICH IS ON FILE IN THE OFFICE OF THE TOWN CLERK
- THE SUBJECT PROPERTY IS DEPICTED AS LOTS 052L, 052U, 052K AND 052S ON TOWN OF WAYLAND ASSESSOR'S MAP 23 FOR A TOTAL AREA OF APPROXIMATELY 181,520 SF (4.17 AC.)
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DERIVED FROM GPS OBSERVATIONS.
- PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS, PLANS OF RECORD AND AN ON THE GROUND INSTRUMENT SURVEY TO LOCATE PHYSICAL EVIDENCE OF PROPERTY BOUNDARIES. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES NOR FOR TITLE INSURANCE PURPOSES.

GENERAL NOTES:

- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND ENGINEER AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- LIMIT OF WORK SHALL BE SEDIMENT CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.
- ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
- FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
- ALL EXCAVATORS OR CONTRACTORS MUST REFER TO 520 CMR 14.00 TO OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH CONDITIONS THAT MAY BE PROMULGATED BY THE WAYLAND PLANNING BOARD, CONSERVATION COMMISSION AND MUNICIPAL AGENCIES.

LAYOUT NOTES:

- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- COORDINATE THE LOCATION OF ALL SITE LIGHTING STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.
- CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE ARCHITECT FOR RESOLUTION.
- DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

GRADING AND UTILITY NOTES:

- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.
- CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
- COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO EXISTING BUILDING AND SITE UTILITIES.
- CONTRACTOR TO COORDINATE WITH FILTER MEDIA MANUFACTURER TO SIZE THE FILTER MEDIA CHAMBER SYSTEM. SHOULD AN ALTERNATE DEVICE BE REQUESTED, IT MUST BE APPROVED BY THE DESIGN ENGINEER.
- A SEWER EJECTOR PUMP DETAIL HAS BEEN PROVIDED SHOULD IT BE REQUIRED. CONTRACTOR IS TO COORDINATE WITH THE MANUFACTURER FOR SIZING OF THE EJECTOR PUMP SYSTEM.

PLANTING NOTES:

- RESTORE ALL DISTURBED AREAS AS SHOWN ON PLANS UNLESS OTHERWISE INDICATED.
- DEGRADE STOCKPILE AREAS AFTER REMOVAL OF SURPLUS MATERIALS. SEED THE DISTURBED AREA UNLESS WITHIN EXISTING AGRICULTURAL ACCESS AREAS.
- PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE OWNER.
- IF CERTAIN OF THE SEEDED AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEEDED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS, WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.
- PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.
- REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.
- ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED PINE BARK MULCH TO A DEPTH OF THREE (3) INCHES. EXCEPTION: WITHIN 100 YEAR FLOOD PLAN, MAINTAIN EXISTING GRADES.
- CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNK/STEMS OF INSTALLED PLANT MATERIAL.
- PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.
- VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE.
- PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.
- TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE LANDSCAPE ARCHITECT, BE USED FOR PREPARATION OF PLANTING BEDS. IT SHOULD BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOD, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF FRIABLE CONSISTENCY AND SUITABLE FOR PLANT GROWTH.
- THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY--LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.
- THE LANDSCAPE CONTRACTOR SHALL CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.
- PLANT MATERIAL SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE THE PROJECT IS UNDERWAY.

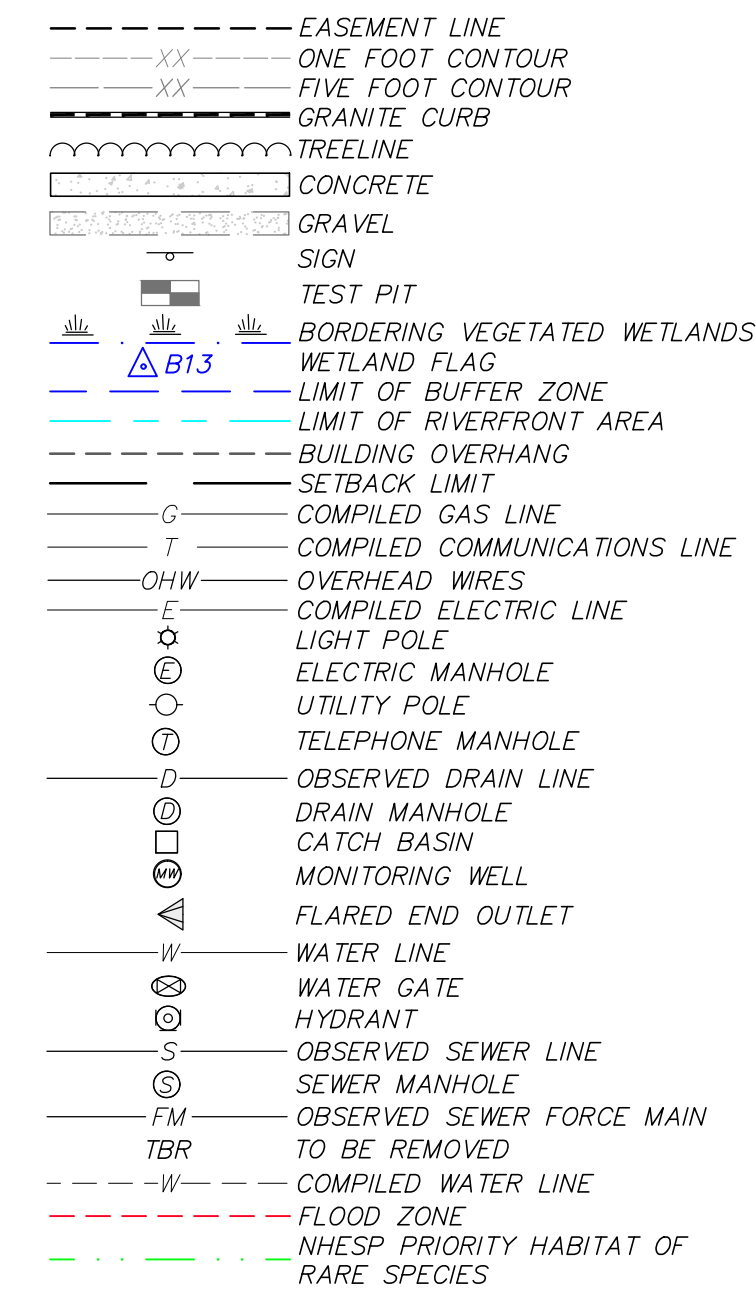
EROSION AND SEDIMENTATION CONTROL NOTES:

- SEDIMENT CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.
- ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
- ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF.
- PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.
- SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- DUST SHALL BE CONTROLLER BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CLEAN AND MAINTAIN SEDIMENT CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
- COMMON FILL (SITE GRADING AREAS) SHALL CONSIST OF MINERAL SOIL SUBSTANTIALLY FREE FROM ORGANIC MATERIALS, LOAM, WOOD TRASH AND OTHER OBJECTIONABLE MATERIALS WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE PROPERLY COMPACTED. SELECT COMMON FILL SHALL NOT CONTAIN STONES LARGER THAN 2-IN. IN LARGEST DIAMETER AND SHALL HAVE A MAXIMUM OF 75% PASSING THE NO. 40 SIEVE AND A MAXIMUM OF 20% PASSING THE NO. 200 SIEVE. SELECT COMMON FILL SHALL NOT CONTAIN GRANITE BLOCKS, BROKEN CONCRETE, MASONRY RUBBLE OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. SNOW, ICE AND FROZEN SOIL WILL NOT BE PERMITTED. SOIL EXCAVATED FROM THE STRUCTURE AREAS AND WHICH MEETS THE ABOVE REQUIREMENTS MAY BE USED.
- ORDINARY FILL SHALL BE WELL GRADED, NATURAL INORGANIC SOIL, FREE OF ORGANIC OR OTHER WEAK OR COMPRESSIBLE MATERIALS, FROZEN MATERIALS, AND OF STONES LARGER THAN TWO THIRDS (2/3) THE LIFT THICKNESS. IT SHALL BE OF SUCH NATURE AND CHARACTER THAT IT CAN BE COMPACTED TO THE SPECIFIED DENSITIES IN A REASONABLE LENGTH OF TIME. IT SHALL BE FREE OF PLASTIC CLAY, OF ALL MATERIALS SUBJECT TO DECAY, DECOMPOSITION, OR DISSOLUTION; AND OF CINDERS OR OTHER MATERIALS THAT WILL CORRODE PIPING OR OTHER METAL. IT SHALL HAVE A MINIMUM DRY DENSITY OF NOT LESS THAN 120 POUNDS PER CUBIC FOOT. MATERIAL FROM EXCAVATION ON THE SITE MAY BE USED AS ORDINARY FILL IF IT MEETS THE ABOVE REQUIREMENTS. ORDINARY FILL SHALL HAVE A MAXIMUM OF 60% PASSING THE #40 SIEVE, AND A MAXIMUM OF 20% PASSING THE #200 SIEVE. IT SHOULD NOT CONTAIN BROKEN CONCRETE, MASONRY RUBBLE OR OTHER SIMILAR MATERIALS, AND SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. SNOW, ICE AND FROZEN SOIL SHALL NOT BE PERMITTED.
- SELECT COMMON FILL (ROADWAY AREAS) SHALL BE PLACED IN LAYERS HAVING A MAXIMUM THICKNESS OF 8 IN. MEASURED BEFORE COMPACTION. EACH LAYER OF FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY DETERMINED BY THE ASTM D1557. COMPACTION OF STRUCTURAL FILL SHALL CONSIST OF FULLY LOADED TEN WHEEL TRUCKS, A TRACTOR DOZER WEIGHING AT LEAST 30,000 LBS AND OPERATED AT FULL SPEED, A HEAVY VIBRATORY ROLLER, OR OTHER METHOD ONLY AS APPROVED BY THE ENGINEER. COMPACTION OF SELECT COMMON FILL IN CONFINED AREAS ADJACENT TO STRUCTURES SHALL BE ACCOMPLISHED BY HAND OPERATED VIBRATORY EQUIPMENT OR MECHANICAL TAMPERS APPROVED BY THE ENGINEER. AS A MINIMUM, COMPACTION OF SELECT COMMON FILL SHALL CONSIST OF FOUR COVERAGES OF THE APPROVED EQUIPMENT.
- EROSION AND SEDIMENT CONTROL, BOTH DURING AND AFTER CONSTRUCTION, SHALL BE PROVIDED AS REQUIRED TO RETAIN SEDIMENT ONSITE, AND TO CONTROL EROSION OF EMBANKMENTS, TEMPORARY AND FINAL EXPOSED SLOPES, AND TEMPORARY MATERIAL STOCKPILE(S). SILT FENCES, CHECK DAMS, DRAINAGE DITCHES OR SWALES, TEMPORARY SEEDING, AND PRE-MANUFACTURED TEXTILES, GEOTUBES, GEORID, CELLULAR GEOWEB, ETC. SHALL BE UTILIZED AS APPROPRIATE. EROSION AND SETTLEMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL PERMITS AND CODES AND THIS SPECIFICATION. DURING THE EXCAVATION OF THE WORK AT THE SITE, OPERATIONS SHALL BE CONTINUOUSLY MONITORED TO AVOID THE CREATION OF CONDITIONS THAT COULD LEAD TO EXCESSIVE EROSION OF SOIL WITH SURFACE RUNOFF FROM THE WORK AREAS. CONTROLS SHALL BE PROVIDED TO PROTECT THE WATER QUALITY AND SHALL BE IN ACCORDANCE WITH PROJECT DOCUMENTS AND ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO REDUCE EROSION OF SLOPES AND SILTATION OF OFF-SITE OUTFALLS AND TRIBUTARIES.
- UPON SIGNS OF CONCENTRATED FLOW BY EVIDENCE OF GULLYING OR RILLING IN DISTURBED AREAS, HAYBALES AND/OR STONE CHECK DAMS SHALL BE PLACED IN THESE AREAS, SPACED EVERY 50' IN THE UPGRADIENT SLOPE.

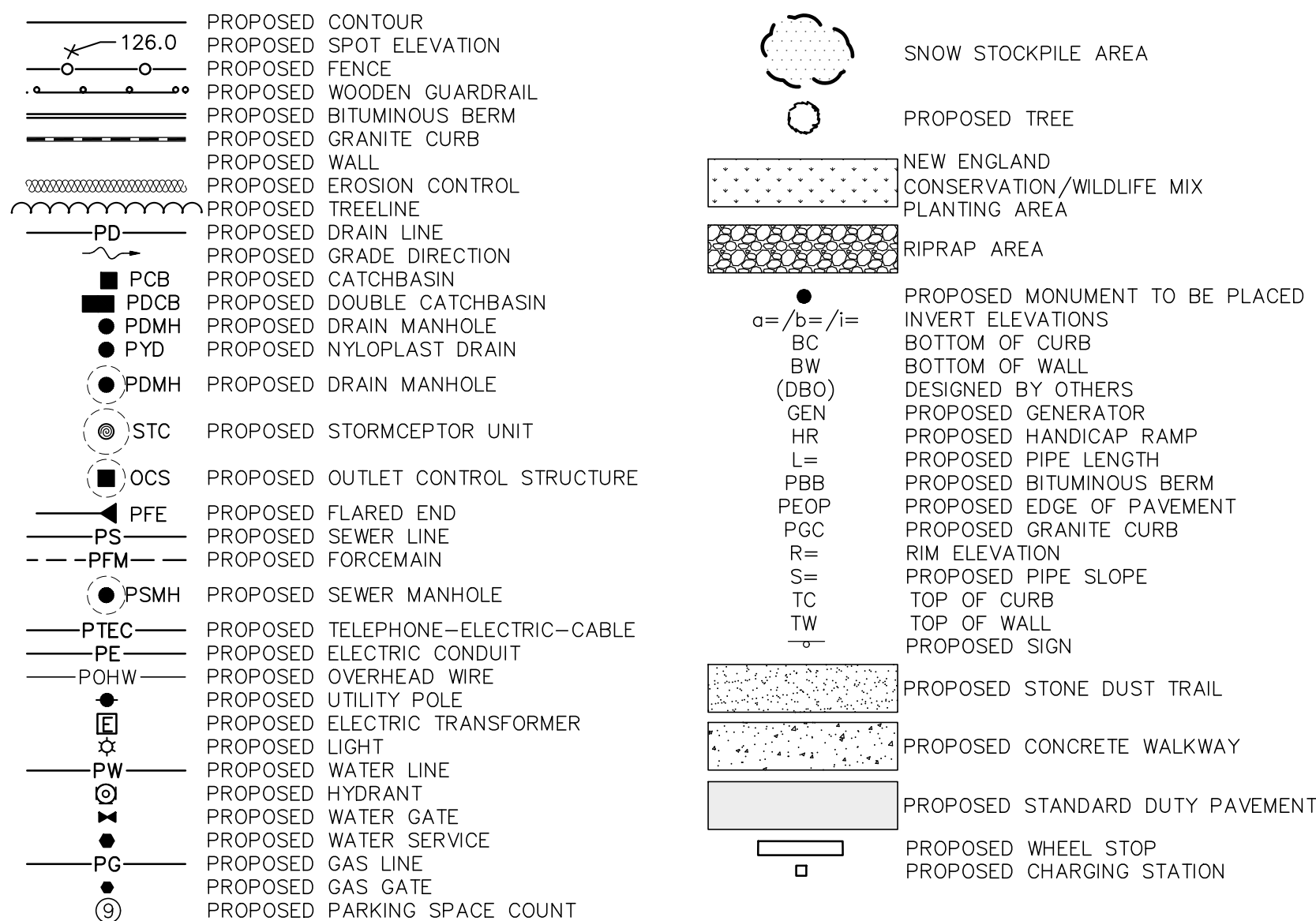
DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EXISTING WATER, SEWER, GAS, ELECTRICAL, AND COMMUNICATIONS SERVICES ONSITE WHICH SERVE THE TWO BUILDINGS THAT ARE BEING REMOVED. ALL UTILITIES THAT WILL BE ABANDONED SHALL BE REMOVED COMPLETELY. CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL WITH RESPECTIVE UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING STAIRS, WALKS, BULKHEADS, DECKS, CONC. PADS, OTHER HARDSCAPE FEATURES AND/OR BUILDING ACCESSORIES ASSOCIATED WITH THE TWO BUILDINGS THAT ARE BEING REMOVED.
- ALL ITEMS TO BE REMOVED, WHETHER SPECIFIED HERON OR NOT, SHALL BE PART OF THE SCOPE OF WORK.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE SECURITY AND PUBLIC SAFETY THROUGHOUT THE DURATION OF THE SITE WORK. ALL WORK AND SAFETY MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION SITE FENCING (6' TALL CHAIN LINK) AND EROSION CONTROL BARRIERS AROUND THE WORK AREA PRIOR TO BEGINNING ANY WORK. CONSTRUCTION FENCING AND ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE SITE WORK.
- CONTRACTOR SHALL INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS AS NECESSARY TO ENSURE ALL VEHICULAR TRAFFIC LEAVING THE SITE MUST CROSS A PAD. CONTRACTOR SHALL WASH VEHICLES IF NECESSARY TO PREVENT THE TRACKING OF DEBRIS ONTO PUBLIC WAYS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PUBLIC WAYS REMAIN CLEAN AND FREE OF DEBRIS RESULTING FROM THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE DUST ONSITE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

EXISTING LEGEND



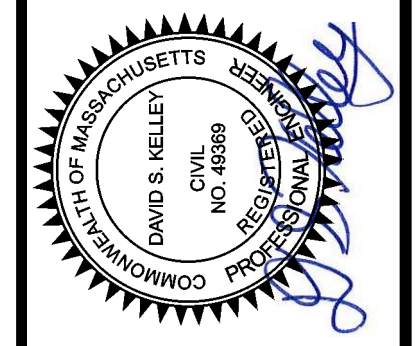
PROPOSED LEGEND



ENDORSED BY WAYLAND PLANNING BOARD

IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR AMENDING THE WAYLAND TOWN CENTER MIXED-USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN DECISION _____ 2023

REVISIONS	DATE	DESCRIPTION
	01/16/23 <td>SITE PLAN APPLICATION</td>	SITE PLAN APPLICATION
	01/05/23 <td>CON. COMMISSION COMMENTS</td>	CON. COMMISSION COMMENTS



8 ANDREW AVENUE
 COUNCIL ON AGING COMMUNITY CENTER
 GENERAL NOTES & LEGEND
 LOCATED IN
 WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
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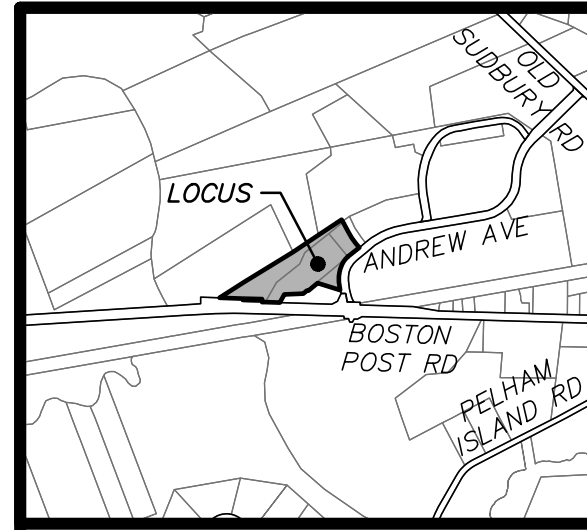
MERIDIAN ASSOCIATES
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 TELEPHONE: (978) 294-0447
 WWW.MERIDIANASSOC.COM

DESIGNED BY: CAR
 CHECKED BY: DSK

DATE:	DECEMBER 7, 2022
SCALE:	AS NOTED
SHEET No.	LG 1.0
PROJECT No.	6452

P:\6452_10 ANDREW AVE. WAYLAND, MA\CAD\CIVIL 3D\6452-SITE.DWG

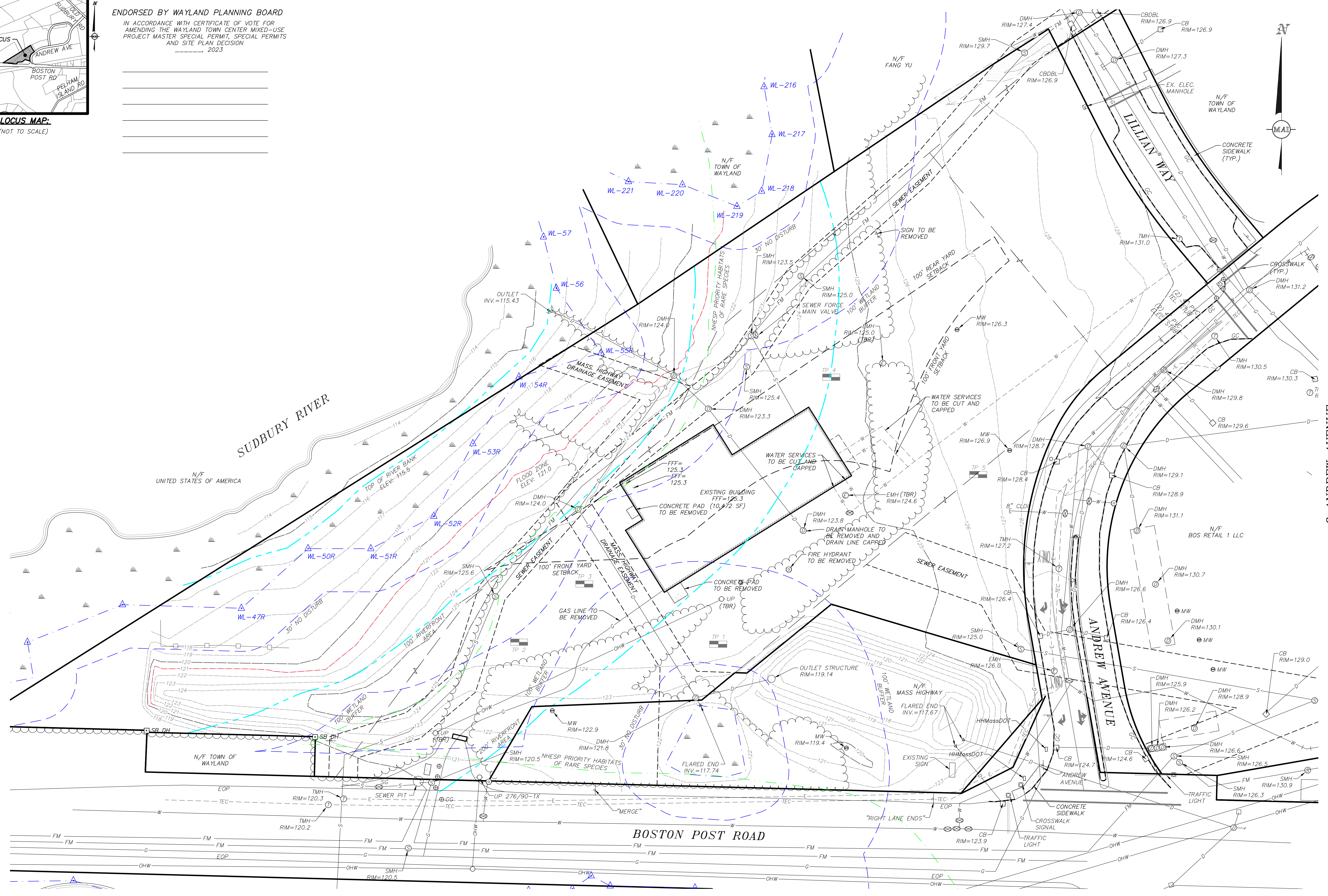
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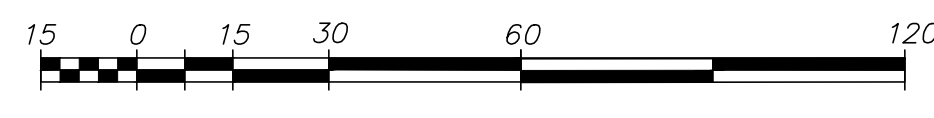
LOCUS MAP:
(NOT TO SCALE)

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PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
AND SITE PLAN DECISION
2023



GRAPHIC SCALE
SCALE: 1" = 30'

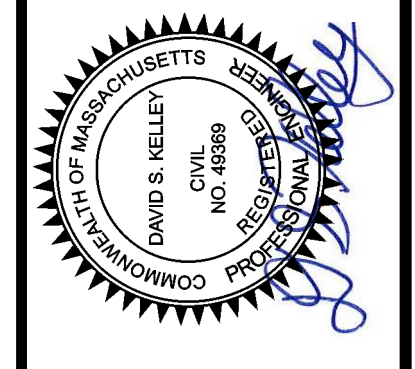


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REFER TO SHEET LG 1.0 FOR
GENERAL NOTES & LEGEND

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD
INFORMATION RECOVERED THROUGH RESEARCH WITHOUT
SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION

REVISIONS	DATE	DESCRIPTION



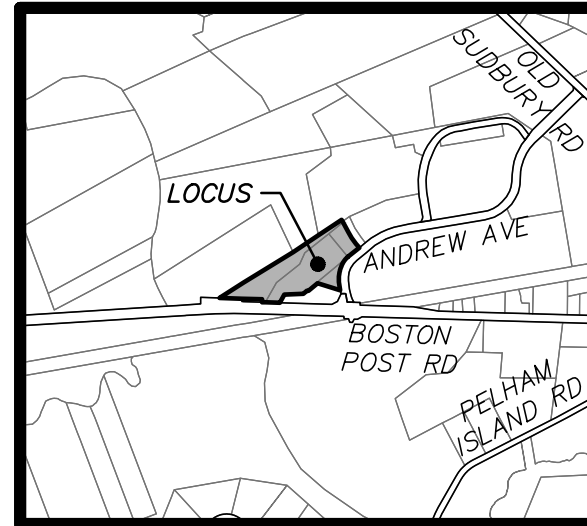
COUNCIL ON AGING COMMUNITY CENTER
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DATE: DECEMBER 7, 2022
SCALE: 1" = 30'
SHEET No. **C 1.0**
PROJECT No. **6452**

DESIGNED BY: CAR
CHECKED BY: DSK



ENDORSED BY WAYLAND PLANNING BOARD
 IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR AMENDING THE WAYLAND TOWN CENTER MIXED-USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN DECISION
 _____, 2023

LOCUS MAP:
 (NOT TO SCALE)

REQUIREMENT	REQUIRED	EXISTING	PROPOSED
FRONT YARD:	100 FT.	121.0 ± FT.	120.6 ± FT.
SIDE YARD:	100 FT.	68.5 ± FT.*	48.7 ± FT.*
REAR YARD:	100 FT.	98.5 ± FT.*	98.5 ± FT.
MAXIMUM LOT COVERAGE:	20%	5.8 ± %	34.2 ± %**
MAXIMUM HEIGHT:	35 FT.	<35 FT.	<35 FT.

**SECTION 19B ATTACHMENT 1:
 TOWN OF WAYLAND TABLE OF DIMENSIONAL REQUIREMENTS**

ZONING DISTRICT: LIMITED COMMERCIAL DISTRICT ZONE

REQUIREMENT	REQUIRED	EXISTING	PROPOSED
FRONT YARD:	100 FT.	121.0 ± FT.	120.6 ± FT.
SIDE YARD:	100 FT.	68.5 ± FT.*	48.7 ± FT.*
REAR YARD:	100 FT.	98.5 ± FT.*	98.5 ± FT.
MAXIMUM LOT COVERAGE:	20%	5.8 ± %	34.2 ± %**
MAXIMUM HEIGHT:	35 FT.	<35 FT.	<35 FT.

* THIS TABLE IS SHOWN ONLY TO DEPICT THE DIMENSIONAL REQUIREMENTS SET FORTH IN THE UNDERLYING LIMITED COMMERCIAL ZONING DISTRICT. THE TABLE B DIMENSIONAL REQUIREMENTS, BELOW, SUPERCEDE THE DIMENSIONAL REQUIREMENTS SET FORTH IN THE ABOVE TABLE 1.

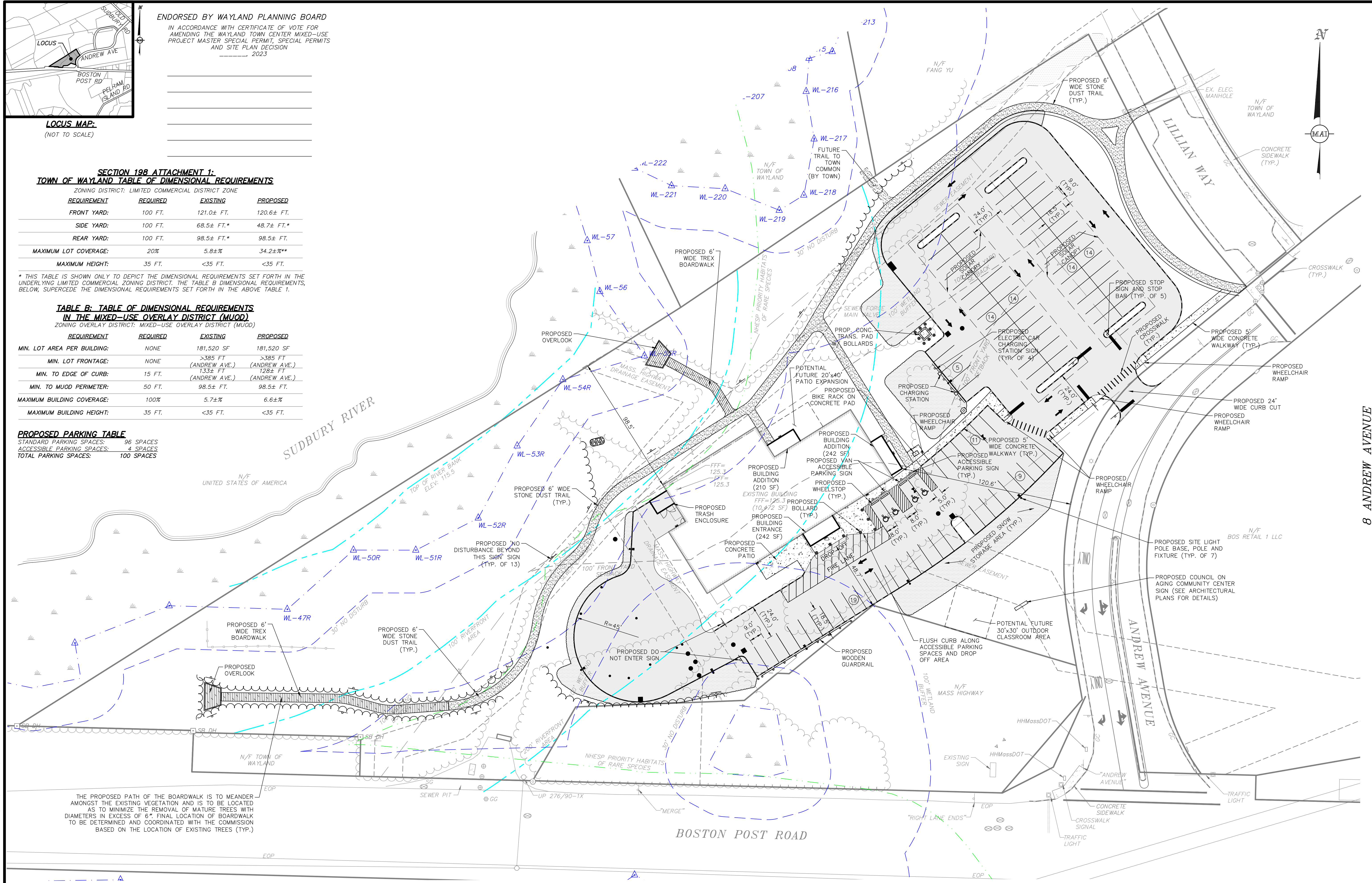
**TABLE B: TABLE OF DIMENSIONAL REQUIREMENTS
 IN THE MIXED-USE OVERLAY DISTRICT (MUOD)**

ZONING OVERLAY DISTRICT: MIXED-USE OVERLAY DISTRICT (MUOD)

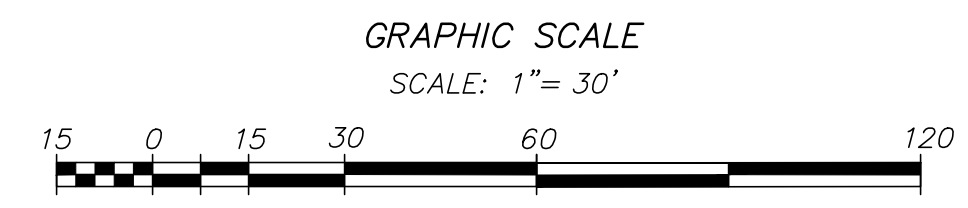
REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA PER BUILDING:	NONE	181,520 SF	181,520 SF
MIN. LOT FRONTAGE:	NONE	>385 FT. (ANDREW AVE.)	>385 FT. (ANDREW AVE.)
MIN. TO EDGE OF CURB:	15 FT. (ANDREW AVE.)	133 ± FT. (ANDREW AVE.)	128 ± FT. (ANDREW AVE.)
MIN. TO MUOD PERIMETER:	50 FT.	98.5 ± FT.	98.5 ± FT.
MAXIMUM BUILDING COVERAGE:	100%	5.7 ± %	6.6 ± %
MAXIMUM BUILDING HEIGHT:	35 FT.	<35 FT.	<35 FT.

PROPOSED PARKING TABLE

STANDARD PARKING SPACES: 96 SPACES
 ACCESSIBLE PARKING SPACES: 4 SPACES
 TOTAL PARKING SPACES: 100 SPACES



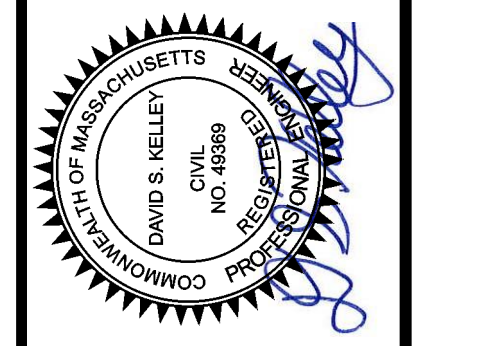
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 INFORMATION RECOVERED THROUGH RESEARCH WITHOUT
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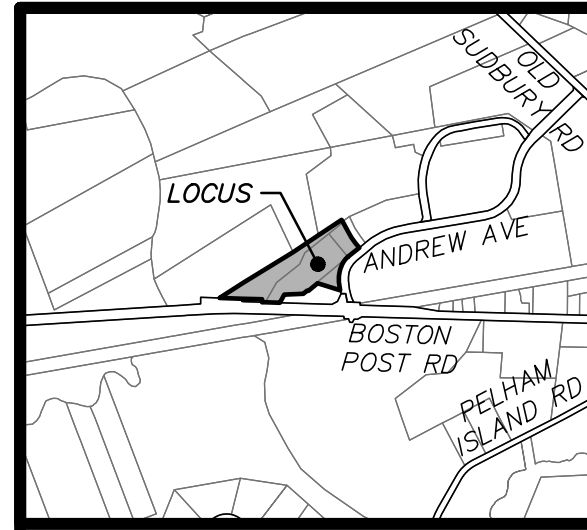
REVISIONS	DATE	DESCRIPTION	BY
	01/16/23	SITE PLAN APPLICATION	DSK
	07/05/23	CON. COMMISSION COMMENTS	DSK



COUNCIL ON AGING COMMUNITY CENTER
 LAYOUT & MATERIALS PLAN
 LOCATED IN
 WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
 TOWN OF WAYLAND

AMERICANS
 ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 299-9447
 WWW.ASSOCIATESASSOC.COM
 DESIGNED BY: GAR
 CHECKED BY: DSK

DATE: DECEMBER 7, 2022
 SCALE: 1" = 30'
 SHEET No. C 2.0
 PROJECT No. 6452



LOCUS MAP:
(NOT TO SCALE)

ENDORSED BY WAYLAND PLANNING BOARD
IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR
AMENDING THE WAYLAND TOWN CENTER MIXED-USE
PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
AND SITE PLAN DECISION
DATE: 01/16/23

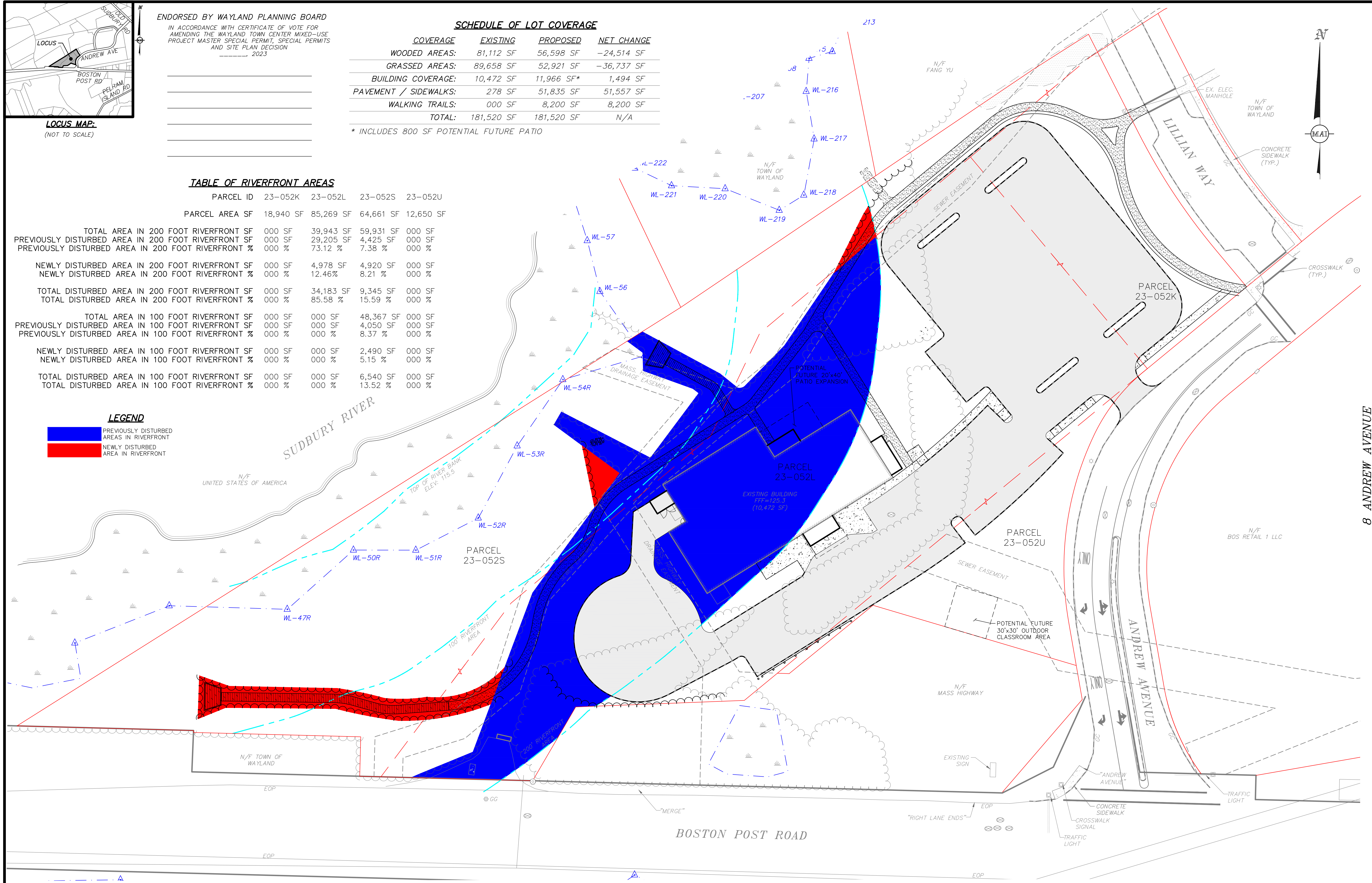
COVERAGE	EXISTING	PROPOSED	NET CHANGE
WOODED AREAS:	81,112 SF	56,598 SF	-24,514 SF
GRASSED AREAS:	89,658 SF	52,921 SF	-36,737 SF
BUILDING COVERAGE:	10,472 SF	11,966 SF*	1,494 SF
PAVEMENT / SIDEWALKS:	278 SF	51,835 SF	51,557 SF
WALKING TRAILS:	000 SF	8,200 SF	8,200 SF
TOTAL:	181,520 SF	181,520 SF	N/A

* INCLUDES 800 SF POTENTIAL FUTURE PATIO

TABLE OF RIVERFRONT AREAS

PARCEL ID	23-052K	23-052L	23-052S	23-052U
PARCEL AREA SF	18,940 SF	85,269 SF	64,661 SF	12,650 SF
TOTAL AREA IN 200 FOOT RIVERFRONT SF	000 SF	39,943 SF	59,931 SF	000 SF
PREVIOUSLY DISTURBED AREA IN 200 FOOT RIVERFRONT SF	000 SF	29,205 SF	4,425 SF	000 SF
PREVIOUSLY DISTURBED AREA IN 200 FOOT RIVERFRONT %	000 %	73.12 %	7.38 %	000 %
NEWLY DISTURBED AREA IN 200 FOOT RIVERFRONT SF	000 SF	4,978 SF	4,920 SF	000 SF
NEWLY DISTURBED AREA IN 200 FOOT RIVERFRONT %	000 %	12.46 %	8.21 %	000 %
TOTAL DISTURBED AREA IN 200 FOOT RIVERFRONT SF	000 SF	34,183 SF	9,345 SF	000 SF
TOTAL DISTURBED AREA IN 200 FOOT RIVERFRONT %	000 %	85.58 %	15.59 %	000 %
TOTAL AREA IN 100 FOOT RIVERFRONT SF	000 SF	000 SF	48,367 SF	000 SF
PREVIOUSLY DISTURBED AREA IN 100 FOOT RIVERFRONT SF	000 SF	000 SF	4,050 SF	000 SF
PREVIOUSLY DISTURBED AREA IN 100 FOOT RIVERFRONT %	000 %	000 %	8.37 %	000 %
NEWLY DISTURBED AREA IN 100 FOOT RIVERFRONT SF	000 SF	000 SF	2,490 SF	000 SF
NEWLY DISTURBED AREA IN 100 FOOT RIVERFRONT %	000 %	000 %	5.15 %	000 %
TOTAL DISTURBED AREA IN 100 FOOT RIVERFRONT SF	000 SF	000 SF	6,540 SF	000 SF
TOTAL DISTURBED AREA IN 100 FOOT RIVERFRONT %	000 %	000 %	13.52 %	000 %

LEGEND
 PREVIOUSLY DISTURBED AREAS IN RIVERFRONT
 NEWLY DISTURBED AREA IN RIVERFRONT



GRAPHIC SCALE
SCALE: 1" = 30'

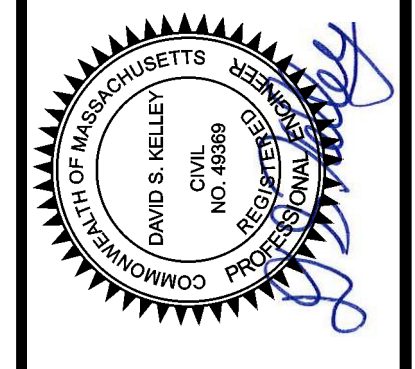


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REVISIONS	DATE	DESCRIPTION

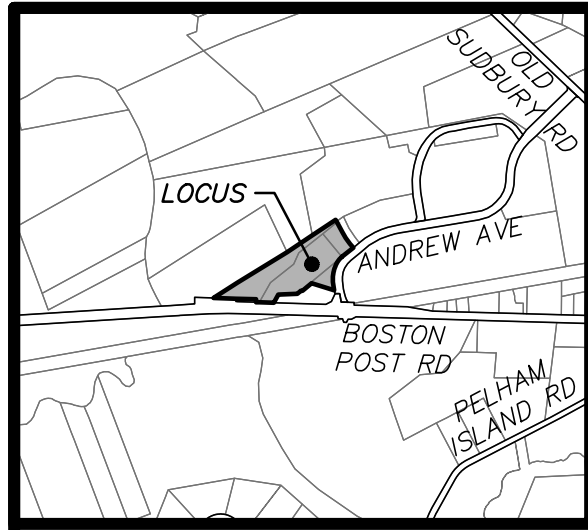


COUNCIL ON AGING COMMUNITY CENTER
LAYOUT & AREA CALCULATIONS PLAN
LOCATED IN
WAYLAND, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
TOWN OF WAYLAND

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 294-0447
WWW.MERIDIANASSOC.COM

DATE: DECEMBER 7, 2022
SCALE: 1" = 30'
SHEET No. C 2.1
PROJECT No. 6452

P:\6452_10 ANDREW AVE. WAYLAND, MA\CAD\CIVIL 3D\6452_SITE.DWG



LOCUS MAP (NOT TO SCALE)

ENDORSED BY WAYLAND PLANNING BOARD

IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR AMENDING THE WAYLAND TOWN CENTER MIXED-USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN DESIGN 2023

TEST PIT TP-1 ELEV.=124.23 ASSUMED E.S.H.G.W. ELEV.=117.5 0'-20" Ap LAYER: LOAMY SAND & GRAVEL 20'-31" Bw LAYER: LOAMY SAND & GRAVEL 31'-41" C1 LAYER: LOAMY SAND 41'-51" C2 LAYER: LOAMY SAND 51'-85" C3 LAYER: SANDY LOAM

BOTTOM OF HOLE @ 85" ESHGW @ 81" NO REDOX NO WEEPING

TEST PIT TP-2 ELEV.=124.24 ASSUMED E.S.H.G.W. ELEV.=117.0 0'-10" Ap LAYER: SANDY LOAM 10'-25" Bw LAYER: SANDY LOAM 25'-87" C1 LAYER: SAND & GRAVEL

BOTTOM OF HOLE @ 87" ESHGW @ 87" NO REDOX NO WEEPING

TEST PIT TP-3 ELEV.=124.42 ASSUMED E.S.H.G.W. ELEV.=116.7 0'-14" Ap LAYER: SANDY LOAM 14'-26" Bw LAYER: SANDY LOAM 26'-39" C1 LAYER: SAND & GRAVEL 39'-92" C2 LAYER: SAND & GRAVEL

BOTTOM OF HOLE @ 92" ESHGW @ 92" NO REDOX NO WEEPING

UNOFFICIAL SOILS INFORMATION DATE: OCTOBER 6, 2022 CONDUCTED BY: DAVID S. KELLEY, PE LICENSED SOIL EVALUATOR NO.: 14557

TEST PIT TP-4 ELEV.=124.51 ASSUMED E.S.H.G.W. ELEV.=120.6 0'-8" Ap LAYER: SANDY LOAM 8'-17" Bw LAYER: SANDY LOAM 17'-47" C1 LAYER: SAND & GRAVEL 47'-80" C2 LAYER: FINE SILT LOAM

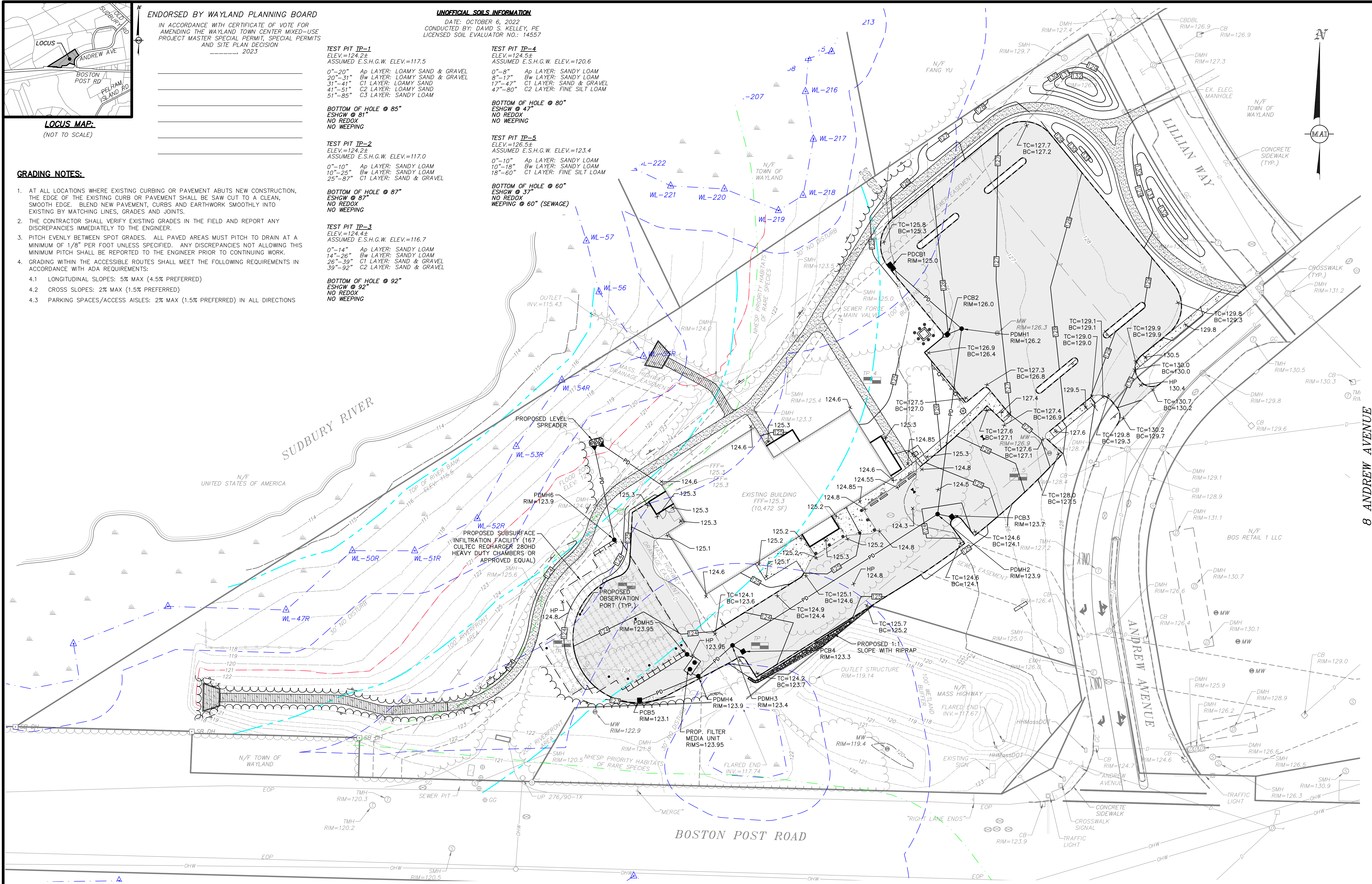
BOTTOM OF HOLE @ 80" ESHGW @ 47" NO REDOX NO WEEPING

TEST PIT TP-5 ELEV.=124.52 ASSUMED E.S.H.G.W. ELEV.=123.4 0'-10" Ap LAYER: SANDY LOAM 10'-18" Bw LAYER: SANDY LOAM 18'-60" C1 LAYER: FINE SILT LOAM

BOTTOM OF HOLE @ 60" ESHGW @ 37" NO REDOX WEEPING @ 60" (SEWAGE)

GRADING NOTES:

- 1. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION... 2. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD... 3. PITCH EVENLY BETWEEN SPOT GRADES... 4. GRADING WITHIN THE ACCESSIBLE ROUTES SHALL MEET THE FOLLOWING REQUIREMENTS: 4.1 LONGITUDINAL SLOPES: 5% MAX (4.5% PREFERRED) 4.2 CROSS SLOPES: 2% MAX (1.5% PREFERRED) 4.3 PARKING SPACES/ACCESS AISLES: 2% MAX (1.5% PREFERRED) IN ALL DIRECTIONS



GRAPHIC SCALE SCALE: 1"=30'

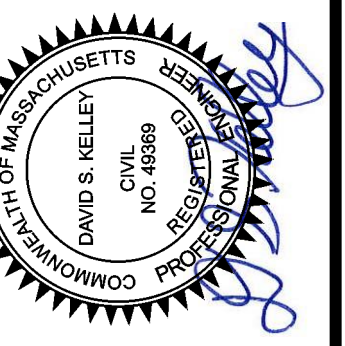


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REVISIONS table with columns for DATE, DESCRIPTION, and BY.

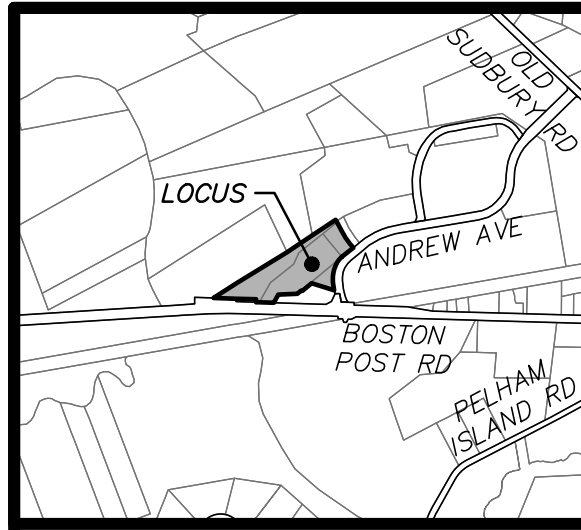


COUNCIL ON AGING COMMUNITY CENTER GRADING & DRAINAGE PLAN LOCATED IN WAYLAND, MASSACHUSETTS (MIDDLESEX COUNTY) PREPARED FOR TOWN OF WAYLAND

MERIDIAN ASSOCIATES 500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915 TELEPHONE: (978) 294-0447 WWW.MERIDIANASSOC.COM

DATE: DECEMBER 7, 2022 SCALE: 1"=30' SHEET No. C 3.0 PROJECT No. 6452

DESIGNED BY: CAR CHECKED BY: DSK



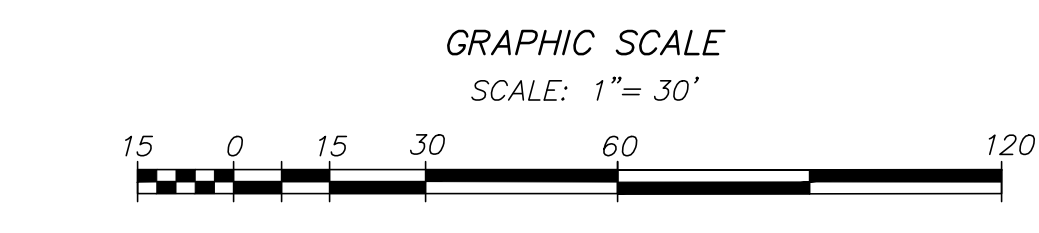
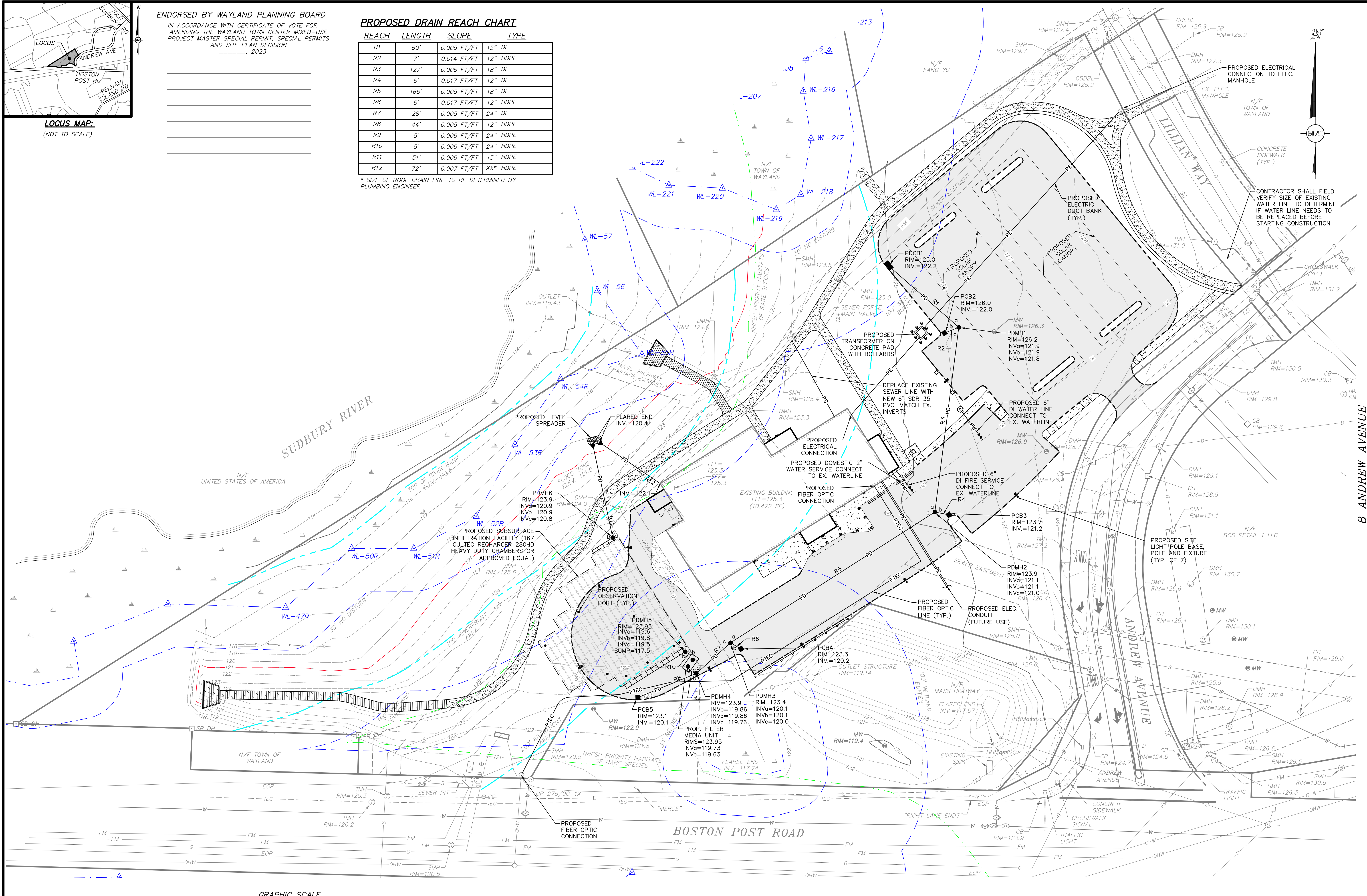
LOCUS MAP:
(NOT TO SCALE)

ENDORSED BY WAYLAND PLANNING BOARD
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AMENDING THE WAYLAND TOWN CENTER MIXED-USE
PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
AND SITE PLAN DECISION
2023

PROPOSED DRAIN REACH CHART

REACH	LENGTH	SLOPE	TYPE
R1	60'	0.005 FT/FT	15" DI
R2	7'	0.014 FT/FT	12" HDPE
R3	127'	0.006 FT/FT	18" DI
R4	6'	0.017 FT/FT	12" DI
R5	166'	0.005 FT/FT	18" DI
R6	6'	0.017 FT/FT	12" HDPE
R7	28"	0.005 FT/FT	24" DI
R8	44'	0.005 FT/FT	12" HDPE
R9	5'	0.006 FT/FT	24" HDPE
R10	5'	0.006 FT/FT	24" HDPE
R11	51'	0.006 FT/FT	15" HDPE
R12	72'	0.007 FT/FT	XX" HDPE

* SIZE OF ROOF DRAIN LINE TO BE DETERMINED BY PLUMBING ENGINEER

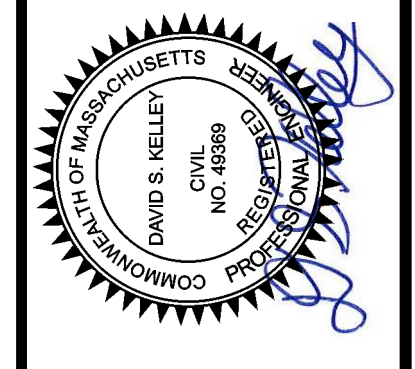


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REVISIONS	DATE	DESCRIPTION



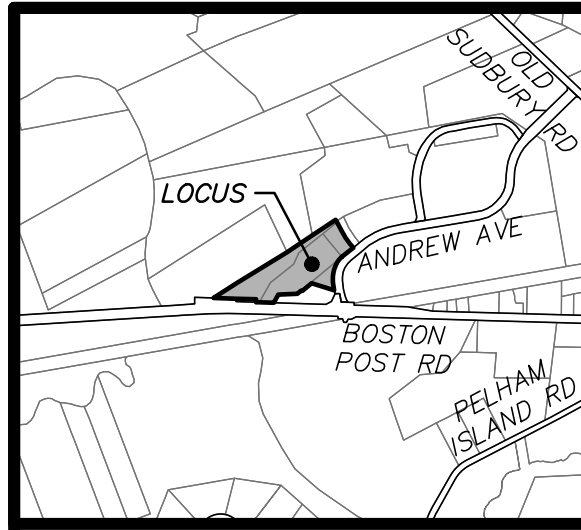
COUNCIL ON AGING COMMUNITY CENTER
UTILITY PLAN
LOCATED IN
WAYLAND, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
TOWN OF WAYLAND

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 500
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 294-0447
WWW.MERIDIANASSOC.COM

DATE: DECEMBER 7, 2022
SCALE: 1"=30'
SHEET No. C 4.0
PROJECT No. 6452

P:\6452_10 ANDREW AVE. WAYLAND, MA\CAD\CIVIL 3D\6452_SITE.DWG

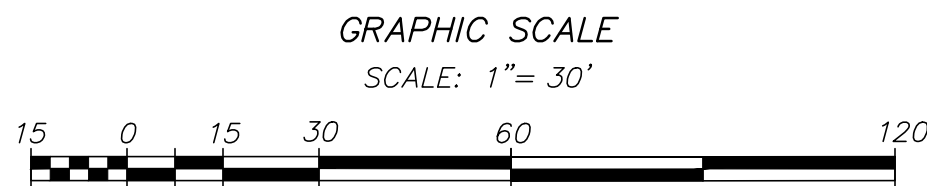
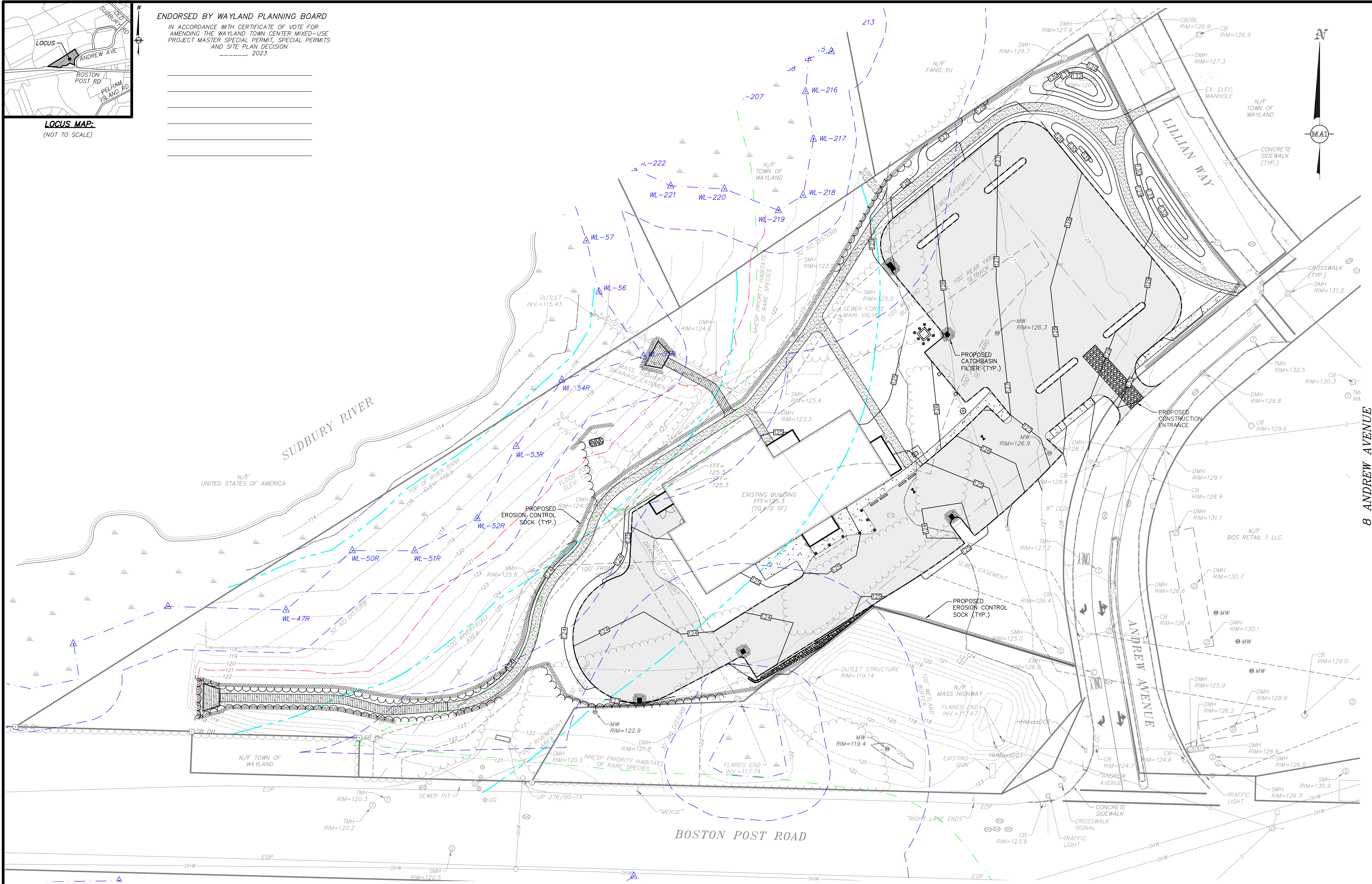
DESIGNED BY: GCR
CHECKED BY: DSK



LOCUS MAP:
(NOT TO SCALE)

ENDORSED BY WAYLAND PLANNING BOARD
IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR
AMENDING THE WAYLAND TOWN CENTER MIXED-USE
PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
AND SITE PLAN DECISION

2023



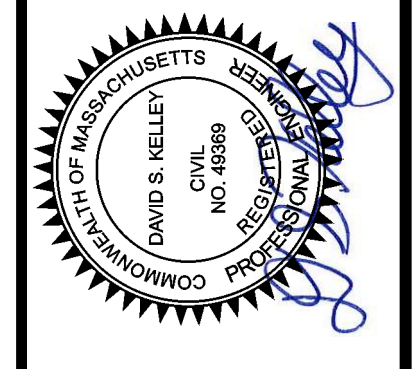
GRAPHIC SCALE
SCALE: 1" = 30'

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REVISIONS	DATE	DESCRIPTION



**COUNCIL ON AGING COMMUNITY CENTER
EROSION & SEDIMENTATION CONTROL PLAN**
 LOCATED IN
WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
TOWN OF WAYLAND

MERIDIANS ASSOCIATES
 500 CUMMINGS CENTER, SUITE 950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 294-0447
 WWW.MERIDIANSASSOC.COM

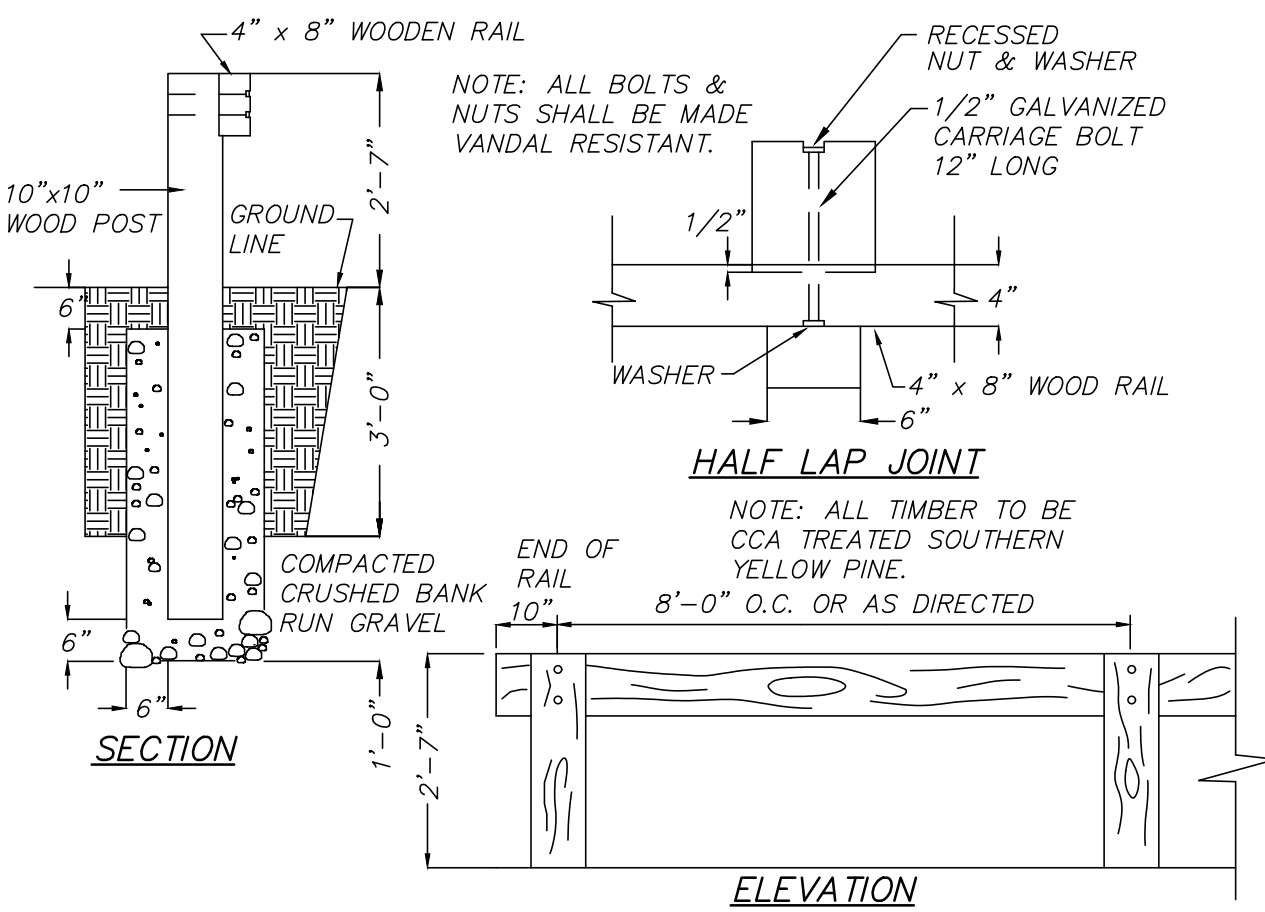
DATE: DECEMBER 7, 2022
 SCALE: 1" = 30'
 SHEET No. **C 5.0**
 PROJECT No. **6452**

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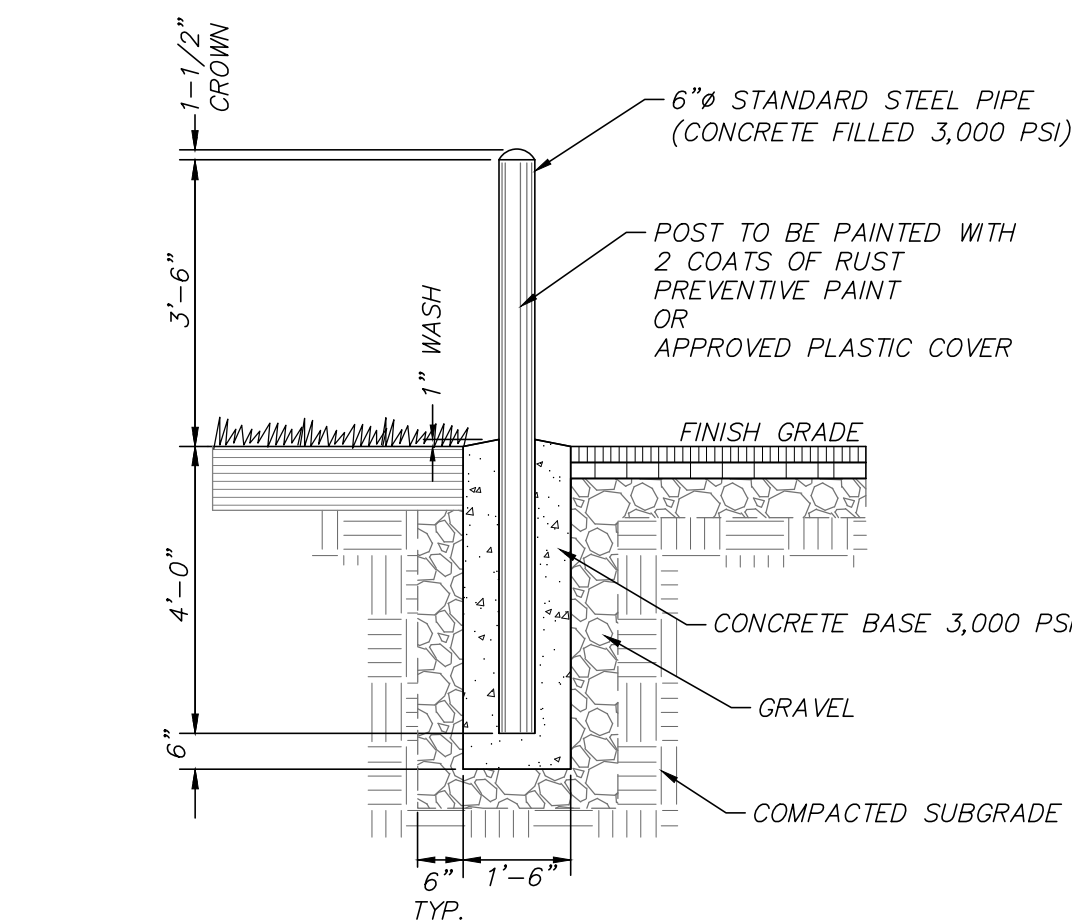
DESIGNED BY: CAR CHECKED BY: DSK

ENDORSED BY WAYLAND PLANNING BOARD

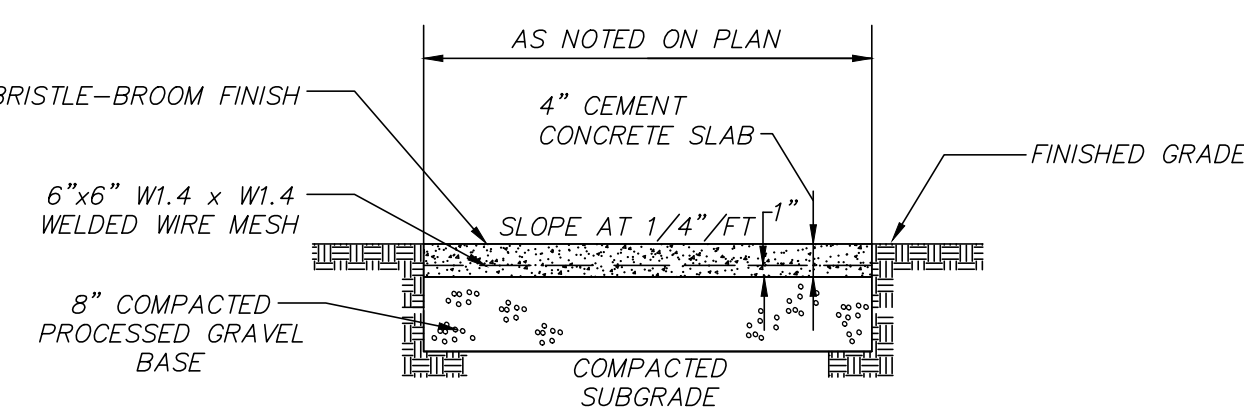
IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR AMENDING THE WAYLAND TOWN CENTER MIXED-USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN DECISION _____ 2023



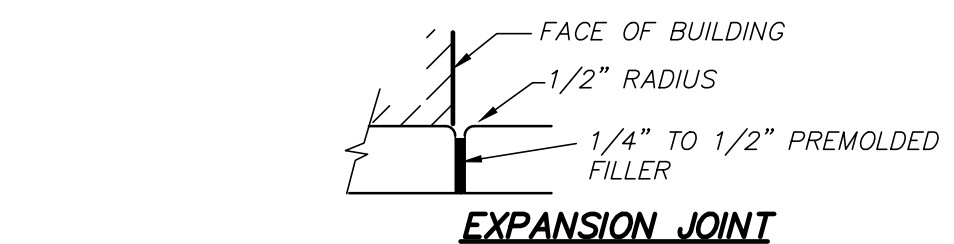
WOODEN GUARD RAIL
(NOT TO SCALE)



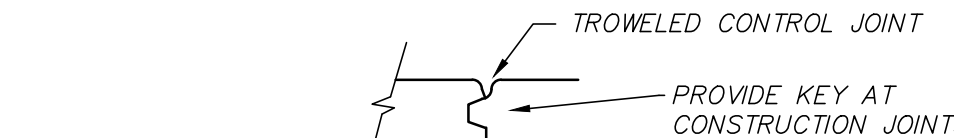
BOLLARD DETAIL
(NOT TO SCALE)



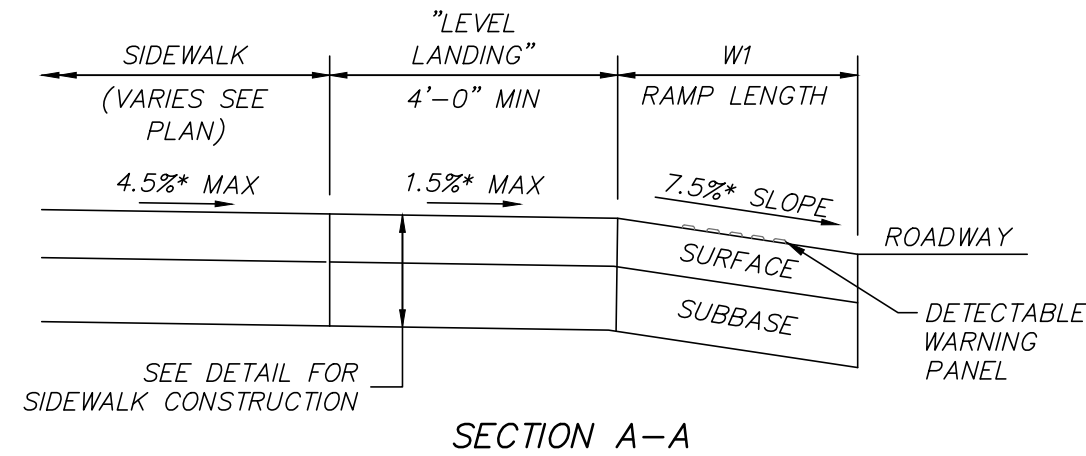
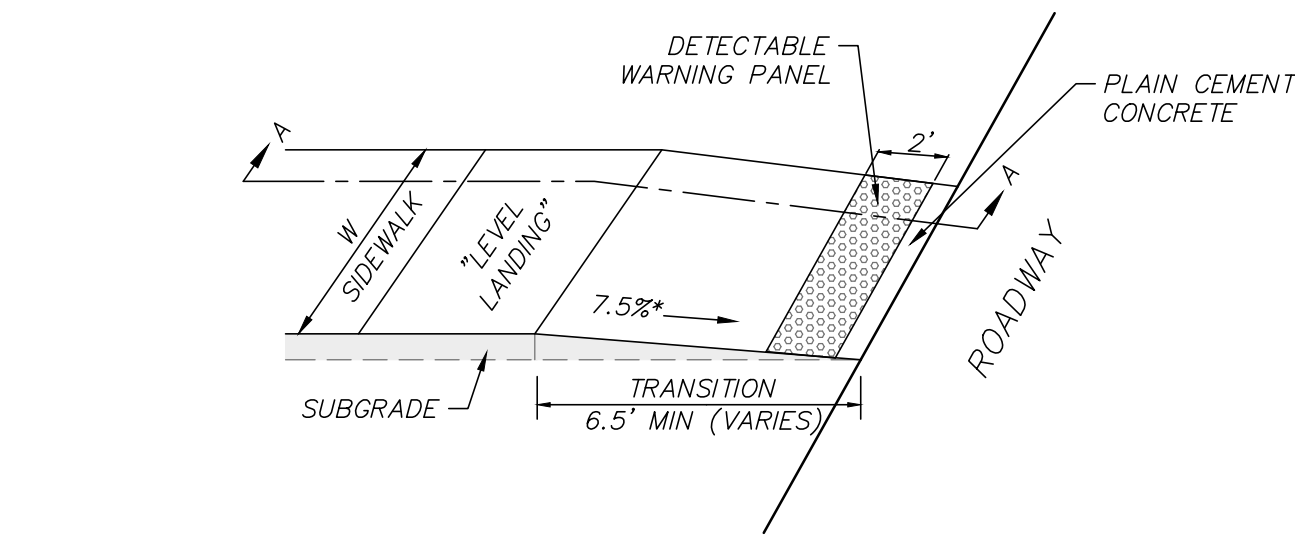
CONCRETE WALKWAY
(NOT TO SCALE)



EXPANSION JOINT



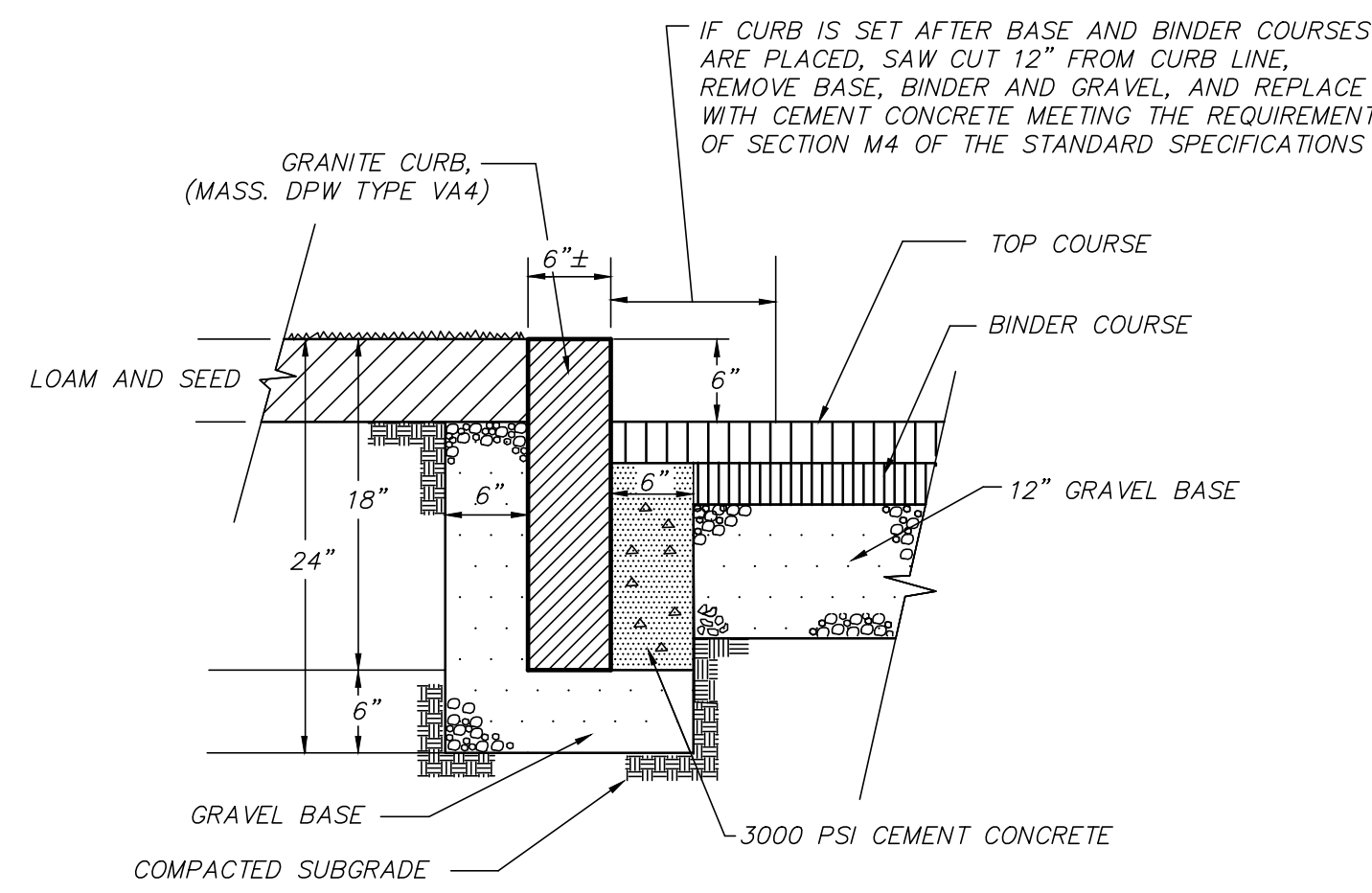
CONSTRUCTION CONTROL JOINT
NOTE: TYPICAL EXPANSION JOINT SPACING EVERY 20' O.C. TYPICAL CONTROL JOINT SPACING EVERY 5' O.C.



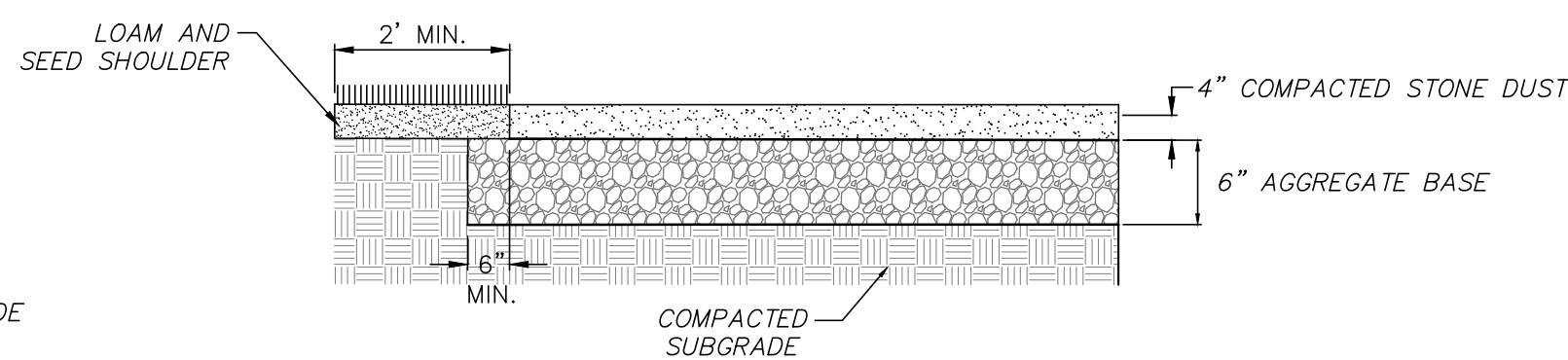
LEGEND:
W = SIDEWALK WIDTH
W1 = PERPENDICULAR RAMP LENGTH, 6.5' (MIN.)
* = TOLERANCE FOR CONSTRUCTION ±0.5%
USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"

- NOTES:**
1. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT REGULATION OF THE ARCHITECTURAL ACCESS BOARD, THE AMERICANS WITH DISABILITIES ACT AND CURRENT MASSDOT CONSTRUCTION STANDARDS.
 2. DETECTABLE WARNING PANELS SHALL BE INSTALLED IN ACCORDANCE WITH MASSDOT CONSTRUCTION STANDARD E 107.6.5.

STRAIGHT WHEELCHAIR RAMP (TYPE B)
(NOT TO SCALE)

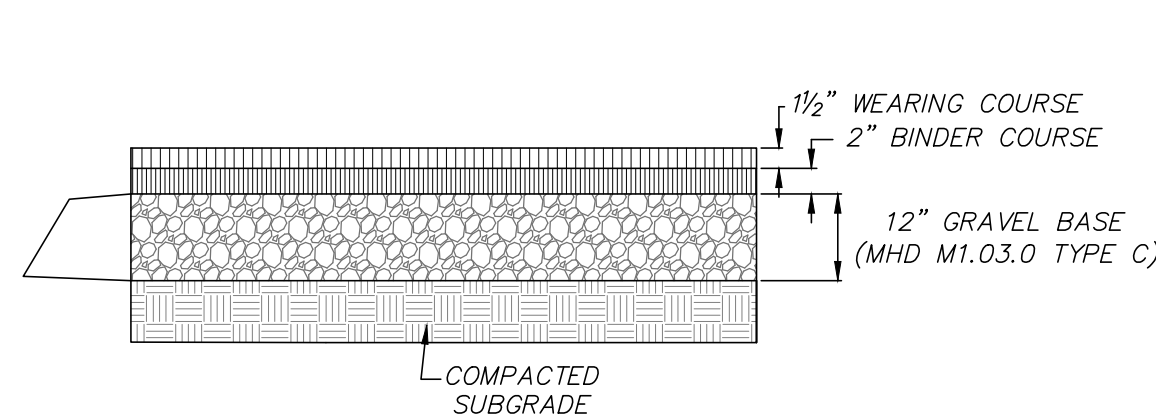


GRANITE CURB DETAIL
(NOT TO SCALE)



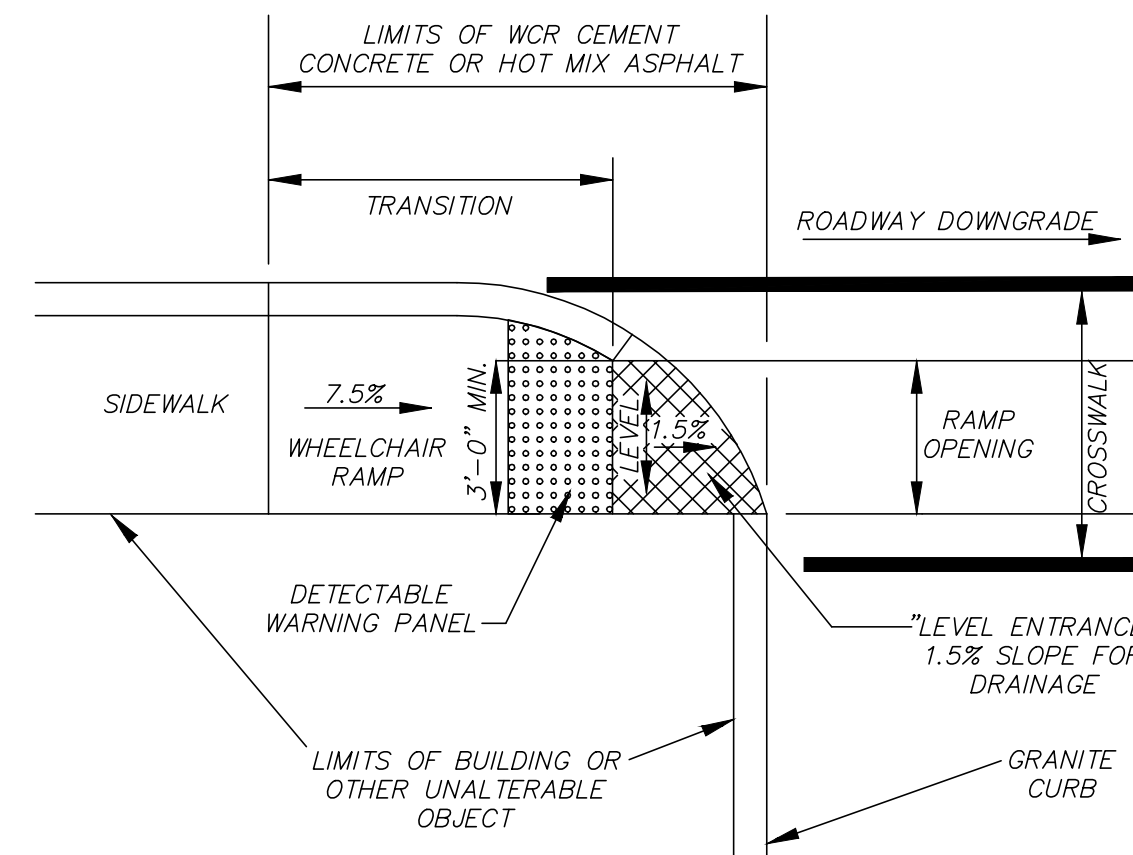
STONE DUST TRAIL SECTION
(NOT TO SCALE)

NOTE: EDGE CONDITION VARIES, REFER TO PLANS.



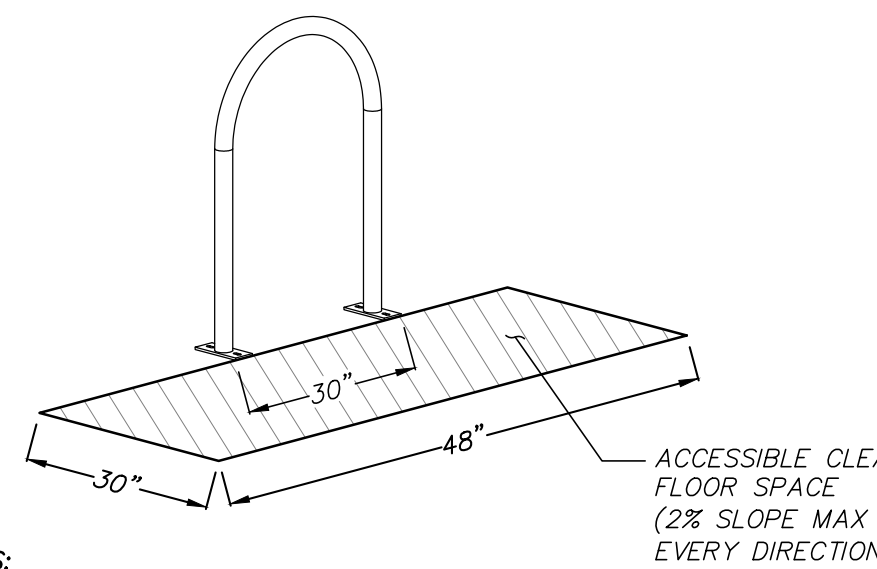
BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)

NOTE: THE WEARING AND BINDER COURSES SHALL CONSIST OF CLASS 1 TYPE I-1 BITUMINOUS CONCRETE (HOT MIX ASPHALT)



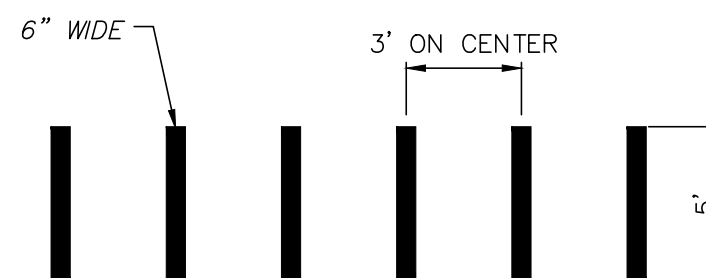
- NOTES:**
1. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT REGULATION OF THE ARCHITECTURAL ACCESS BOARD, THE AMERICANS WITH DISABILITIES ACT AND CURRENT MASSDOT CONSTRUCTION STANDARDS.
 2. DETECTABLE WARNING PANELS SHALL BE INSTALLED IN ACCORDANCE WITH MASSDOT CONSTRUCTION STANDARD E 107.6.5.

WHEELCHAIR RAMP FOR ONE CONTINUOUS DIRECTION OF PEDESTRIAN TRAVEL (TYPE D)
(NOT TO SCALE)



- NOTES:**
1. THE PURPOSE OF THIS DETAIL IS TO DEPICT THE REQUIRED ACCESSIBLE AREA IN FRONT OF THE PROPOSED BIKE RACK.

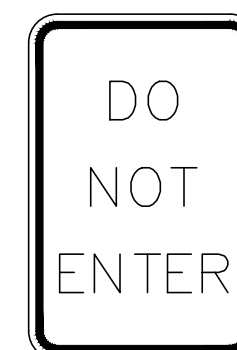
BIKE RACK
(NOT TO SCALE)



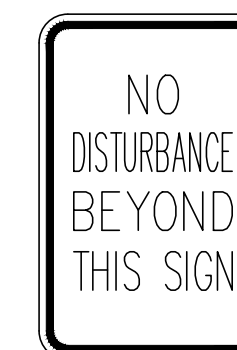
CROSSWALK DETAIL
(NOT TO SCALE)

- NOTES:**
1. PAINT IS TO BE WHITE THERMOPLASTIC WITH DIMENSIONS AS NOTED ABOVE.

STOP BAR DETAIL
(NOT TO SCALE)



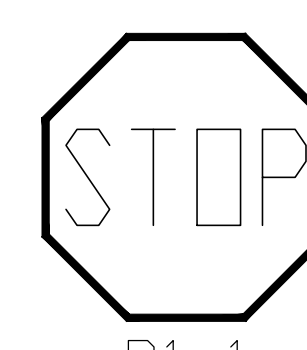
R10-1
12x18



CUSTOM
12x18

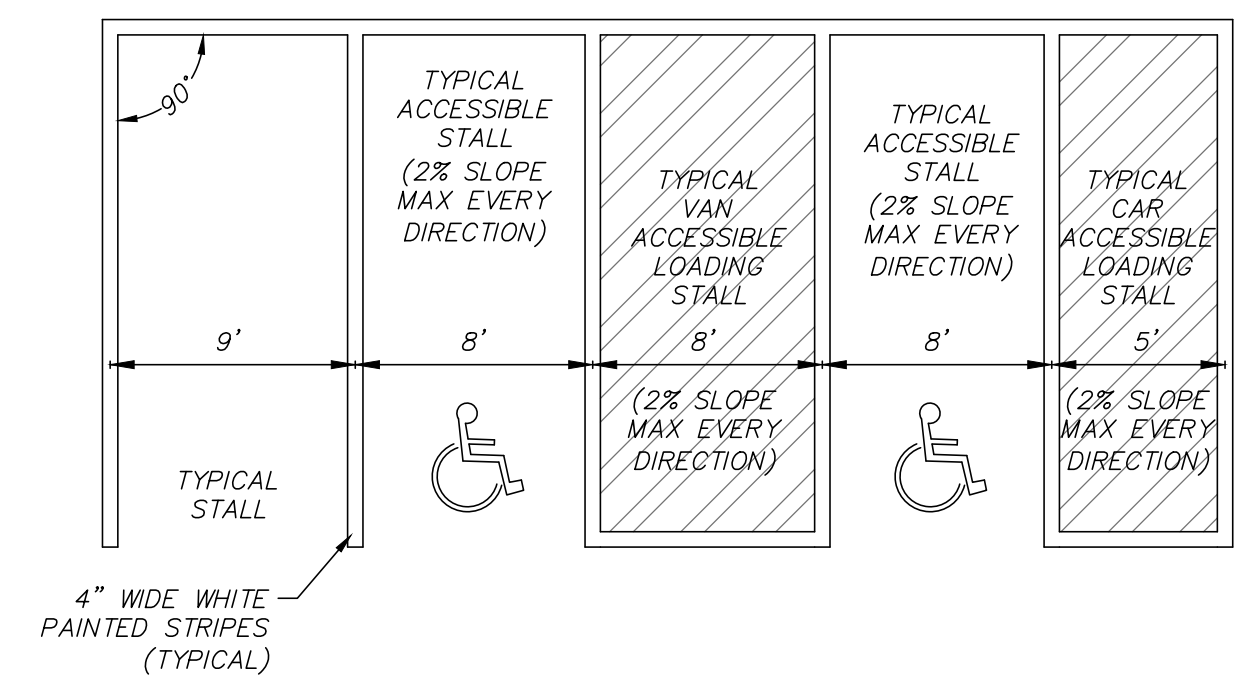


CUSTOM
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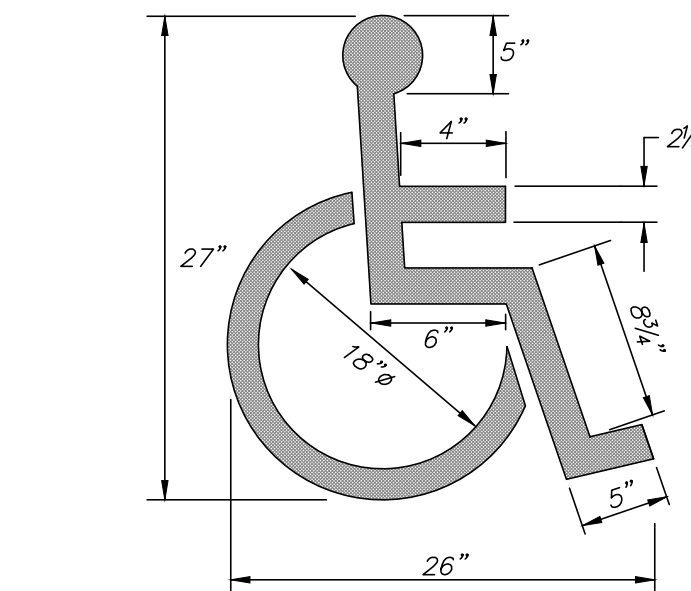


R1-1
30x30

MUTCD SIGNAGE
(NOT TO SCALE)

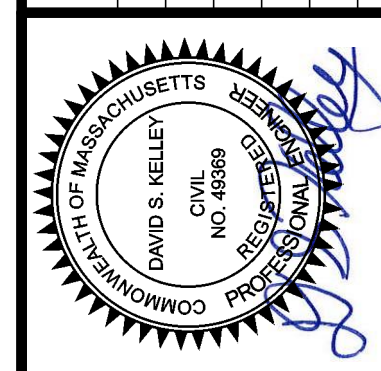


ACCESSIBLE PARKING SIGN
(NOT TO SCALE)



ACCESSIBLE PAVEMENT MARKING
(NOT TO SCALE)

REVISIONS	DATE	DESCRIPTION



COUNCIL ON AGING COMMUNITY CENTER
SITE CONSTRUCTION DETAILS
LOCATED IN
WAYLAND, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
TOWN OF WAYLAND


MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 294-0447
WWW.MERIDIANASSOC.COM



DESIGNED BY: CAR
CHECKED BY: DSK
DATE: DECEMBER 7, 2022
SCALE: AS NOTED
SHEET No. C 6.0
PROJECT No. 6452

ENDORSED BY WAYLAND PLANNING BOARD
 IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR
 AMENDING THE WAYLAND TOWN CENTER MIXED-USE
 PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
 AND SITE PLAN DECISION
 ----- 2023

D-Series Size 1 LED Area Luminaire



Specifications

EPAI:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.3mm)
Width:	14.26" (36.2mm)
Height H1:	7.88" (20.0mm)
Height H2:	2.73" (6.9mm)
Weight:	34 lbs (15.4kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CR1 T3M VOLT SPA NL1AIR2 PIRNH DDBXD

Series	LED	LEDs	Color Temperature	Color Rendering Index	Distribution	TM	Type	Mounting	Shipped included
DSX1 LED	Forward optics	(this section 70CR only)							
P1	P6	30K	3000K	70CR1	T15	Type I Short	VOLT	(220-277V)	SPA
P2	P7	40K	4000K	70CR1	T2M	Type II Medium	VOLT	(277V-480V)	SPA
P3	P8	50K	5000K	70CR1	T3M	Type III Medium	VOLT	(277V-480V)	SPA
P4	P9	(this section 80CR only)			T4C	Type IV Long	VOLT	(277V-480V)	SPA
P5	P9	(this section 80CR only)			T4M	Type IV Medium	VOLT	(277V-480V)	SPA
P10*	P12*	27K	2700K	80CR1	T4C	Type IV Long	VOLT	(277V-480V)	SPA
P11*	P13*	35K	3500K	80CR1	T4M	Type IV Medium	VOLT	(277V-480V)	SPA
		44K	4000K	80CR1	T4M	Type IV Medium	VOLT	(277V-480V)	SPA
		50K	5000K	80CR1	T4M	Type IV Medium	VOLT	(277V-480V)	SPA

Control options: NL1AIR2 PIRNH, PIR, PER, PERS

Shipped installed: NL1AIR2 PIRNH, PIR, PER, PERS

Shipped separately: PERS

Accessories: PL D78, PL D79

LITHONIA LIGHTING SSS QS

FEATURES & SPECIFICATIONS
 INTENDED USE — Only customers in USA are eligible for this program.
 Square Straight Steel is a general purpose light pole for up to 25 foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION
 Pole shaft: The pole shaft is of uniform diameter and wall thickness and is made of a weldable grade, hot-rolled, commercial quality steel complying with minimum yield of 45,000 PSI (310 MPa). The shaft is 12" in diameter and 12' in length. The pole is finished with a full length longitudinal high frequency electrocoat finish. Uniformly applied on one side with flat finish, small corner radii and excellent tensile qualities. Available in 12' and 15'.

Base Cap: Color matched durable ABS plastic two-piece full cover cap, provided with each pole assembly.

Anchor Base/Bracket: Anchor base is fabricated from steel that meets ASTM A36 standards. Anchor bolts are manufactured to ASTM F1554 standards grade 55, 5/8" diameter yield strength and tensile strength of 75-95 KSI. Top threaded portion limited to 12" in the upper portion per ASTM A 153.

FINISH: All structural components are high strength galvanized carbon steel. All non-structural components are enhanced or coated carbon steel or stainless steel.

INSTALLATION: Do not erect poles without having fixtures installed. Factory supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates. Poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

WARRANTY: — 1 year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.aullbrands.com/support/customer/brochures_and_conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

ORDERING INFORMATION

EXAMPLE: SSS QS 05 20 4C DM19AS DDBXD


Series	QS	Pole Length (FT)	Nominal shaft size/wall thickness	Mounting*	Finish	Options
SSS	QS	10' 10'	4C 4" / 11 Gauge	Socket mounting	DDRD Dark bronze	LRS Less anchor bolts (include when anchor bolts are not provided)
		12' 12'	4C 4" / 7 Gauge	PT Open top (includes top cap)	DBLD Black	
		14' 14'	5C 5" / 11 Gauge	T20 2-3/8" O.D. (2" NPS)	DHAD Natural aluminum	
		16' 16'	5C 5" / 7 Gauge	Socket mounting		
		18' 18'		Socket mounting		
		20' 20'		Socket mounting		
		25' 25'		Socket mounting		

Accessories: PL D78, PL D79

PROGRAM RULES:
 1. Only options listed in the ordering tree are valid for the Quick Ship program.
 2. Intermediate must include "QS" after "SS" to be qualified for Quick Ship.
 Example: SSS QS 20 4C DM19AS DDBXD
 3. Final end quantity cannot exceed 10 poles.
 4. Anchor bolts will be shipped separately.
 5. Quick Ship orders cannot have "Top Before Base" or "Stop Base".
 6. Quick Ship orders cannot have limited pole lines.
 7. All pole orders must include "Call Before Number" to avoid delays.

NOTES:
 1. Wall thickness will be specified with a "C" (11 Gauge) or a "7" (7 Gauge) in nomenclature. "C" - 5.12" / "7" - 0.18".
 2. PT open top poles include top cap. When ordering tower mounting and drill mounting for the same pole, follow the nomenclature: DDBXD. The construction includes a required extra handle.
 3. Refer to the backsheet for details for the correct drilling template pattern and orientation compatibility.
 4. See page 10 of the backsheet.

WEDGE LED Architectural Wall Sconce Precision Refractive Optic



Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight:	13.5 lbs (without options)

Introduction
 The WEDGE LED family is designed to meet specifiers' every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true size-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WEDGE LED Family Overview

Luminaire	Optic	Standard EM, 0°C	Cold EM, 20°C	Smart	P0	P1	P2	P3	P4	P5	P6
WEDGE2 LED	Visual Comfort	4W	—	—	750	1,200	2,000	—	—	—	—
WEDGE2 LED	Visual Comfort	10W	18W	Stand Alone / Night	—	1,200	2,000	3,000	4,500	6,000	—
WEDGE2 LED	Precision Refractive	10W	18W	Stand Alone / Night	700	1,200	2,000	3,200	4,200	—	—
WEDGE2 LED	Precision Refractive	15W	18W	Stand Alone / Night	—	2,500	8,500	10,000	12,000	—	—
WEDGE4 LED	Precision Refractive	—	—	Stand Alone / Night	—	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CR VF VMOULT SRM DDBXD

Series	Package	Color Temperature	LEDs	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WEDGE2 LED	P3	40K	3000K	80CR1	T3M	Type III Medium	VOLT	(220-277V)
	P4*	40K	4000K	80CR1	T3M	Type III Medium	VOLT	(277V-480V)
	P5*	50K	5000K	80CR1	T3M	Type III Medium	VOLT	(277V-480V)
	P6*	AMP	Amber	80CR1	T3M	Type III Medium	VOLT	(277V-480V)

System: PIR, PER, PERS

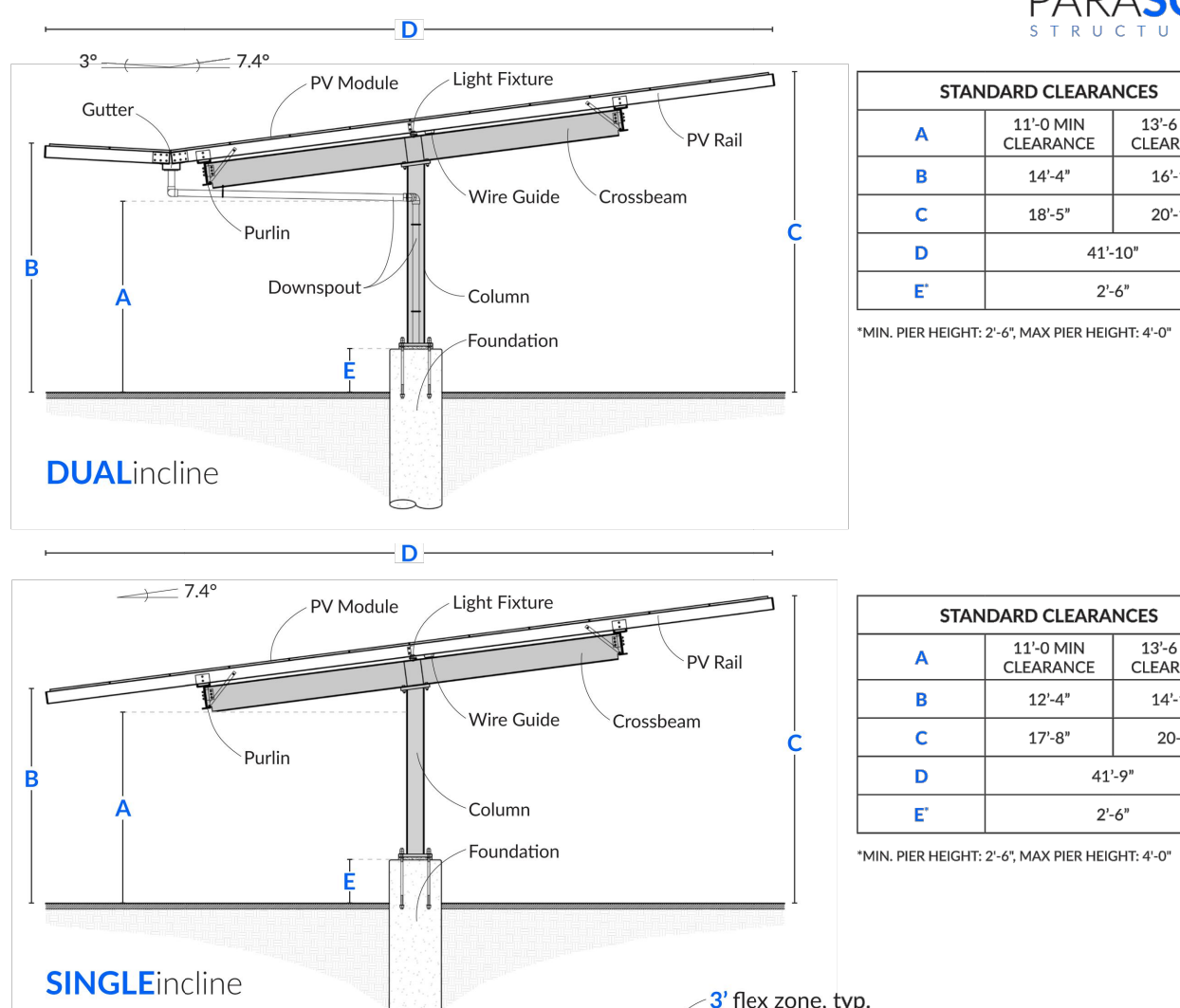
Standard Sensors/Controls: PIR, PIRNH, PIRHFCV, PIRHTECV

Networked Sensors/Controls: NL1AIR2 PIR, NL1AIR2 PIRH

Accessories: PL D78, PL D79

SITE LIGHTING DETAILS (NOT TO SCALE)

PARASOL STRUCTURES



DUAL Incline

Standard Clearances	A	11'-0" MIN CLEARANCE	13'-6" MIN CLEARANCE
B	14'-4"	16'-10"	17'-6"
C	18'-5"	20'-11"	21'-2"
D	41'-10"	—	—
E	2'-6"	—	—

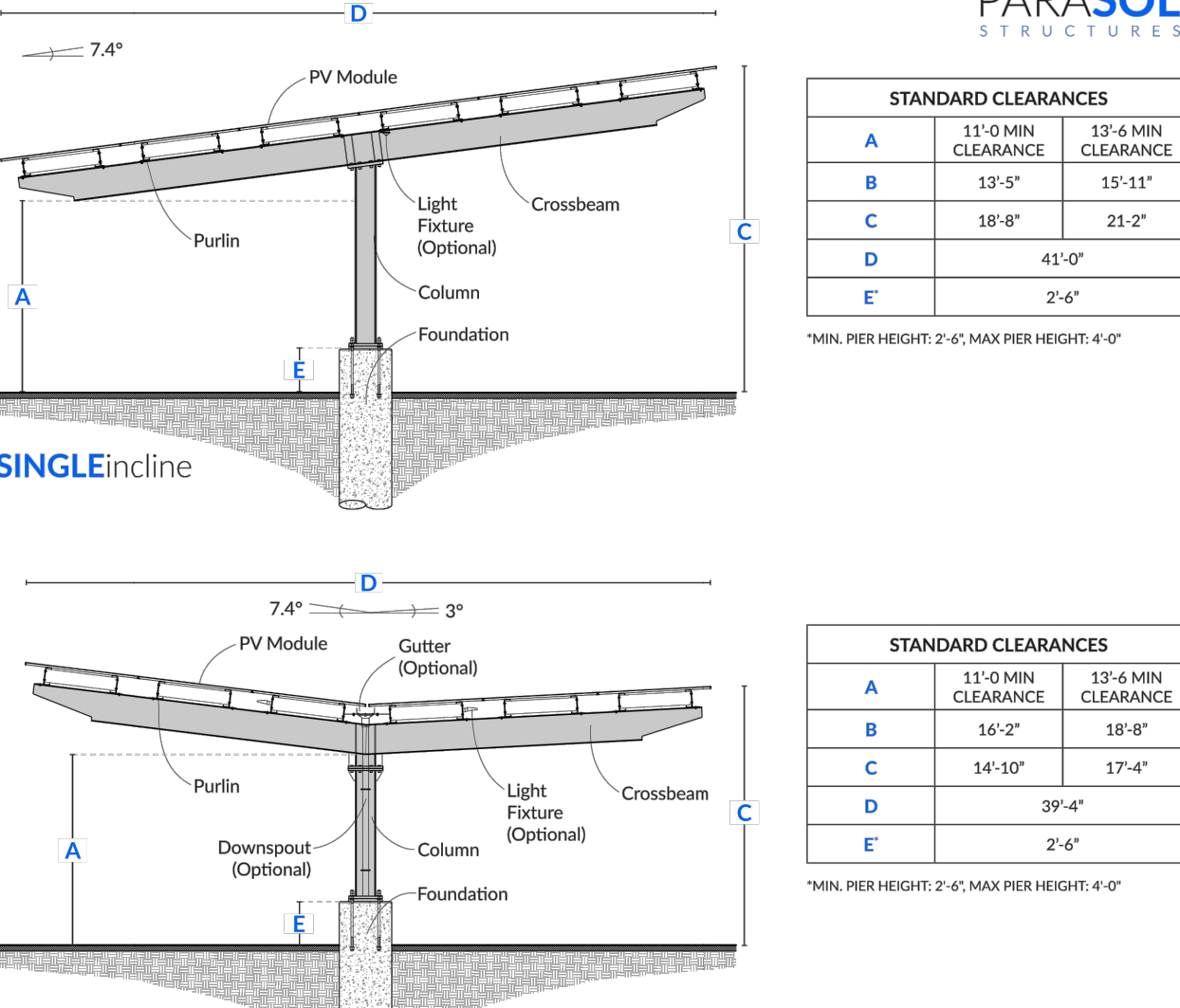
SINGLE Incline

Standard Clearances	A	11'-0" MIN CLEARANCE	13'-6" MIN CLEARANCE
B	12'-4"	14'-10"	15'-11"
C	17'-8"	20'-2"	21'-2"
D	41'-9"	—	—
E	2'-6"	—	—

PLAN - flex column spacing

3" flex zone, typ. Variable column spacing provides maximum flexibility in the field when unexpected site conditions

PARASOL STRUCTURES



DUAL Incline

Standard Clearances	A	11'-0" MIN CLEARANCE	13'-6" MIN CLEARANCE
B	13'-5"	15'-11"	17'-6"
C	18'-8"	21'-2"	21'-2"
D	41'-0"	—	—
E	2'-6"	—	—

SINGLE Incline

Standard Clearances	A	11'-0" MIN CLEARANCE	13'-6" MIN CLEARANCE
B	16'-2"	18'-8"	19'-4"
C	14'-10"	17'-4"	17'-4"
D	39'-4"	—	—
E	2'-6"	—	—

DUAL Incline

Standard Clearances	A	11'-0" MIN CLEARANCE	13'-6" MIN CLEARANCE
B	14'-2"	16'-18"	17'-6"
C	18'-5"	20'-11"	21'-2"
D	41'-3"	—	—
E	2'-6"	—	—

NOTES:
 ACTUAL DETAILS FOR SOLAR CANOPIES ARE TO BE PROVIDED BY THE MANUFACTURER.
SOLAR CANOPIES DETAILS (NOT TO SCALE)

PARASOL STRUCTURES TEE Carport



40 Collective Years of Experience
250 MW Completed Carports
21 States

Efficient & Economical
 Panel Agnostic
 Structural Efficiency

Tilt Angle Options
 Single & Dual Tilts
 Symmetrical & "Check Mark"

Optional Features
 Water & Snow Management
 Multiple Finish Options
 LED Lighting

P:\6452_10 ANDREW AVE. WAYLAND, MA\CAD\CIVIL 3D\6452_SITE.DWG

FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION

REVISIONS
 NO. DATE DESCRIPTION
 01/16/23 SITE PLAN APPLICATION DSK
 01/05/23 CON. COMMISSION COMMENTS DSK
 DATE

8 ANDREW AVENUE
COUNCIL ON AGING COMMUNITY CENTER
SITE CONSTRUCTION DETAILS
 LOCATED IN
WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
TOWN OF WAYLAND

MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 294-0447
 WWW.MERIDIANASSOC.COM

CHECKED BY: DSK
 DESIGNED BY: CAR

DATE: DECEMBER 7, 2022
 SCALE: AS NOTED
 SHEET No. C 7.0
 PROJECT No. 6452

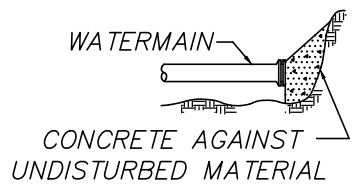
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ENDORSED BY WAYLAND PLANNING BOARD

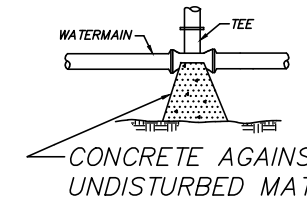
IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR AMENDING THE WAYLAND TOWN CENTER MIXED-USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN DECISION
----- 2023



BEND-PLAN



PLUG ELEVATION



TEE-PLAN

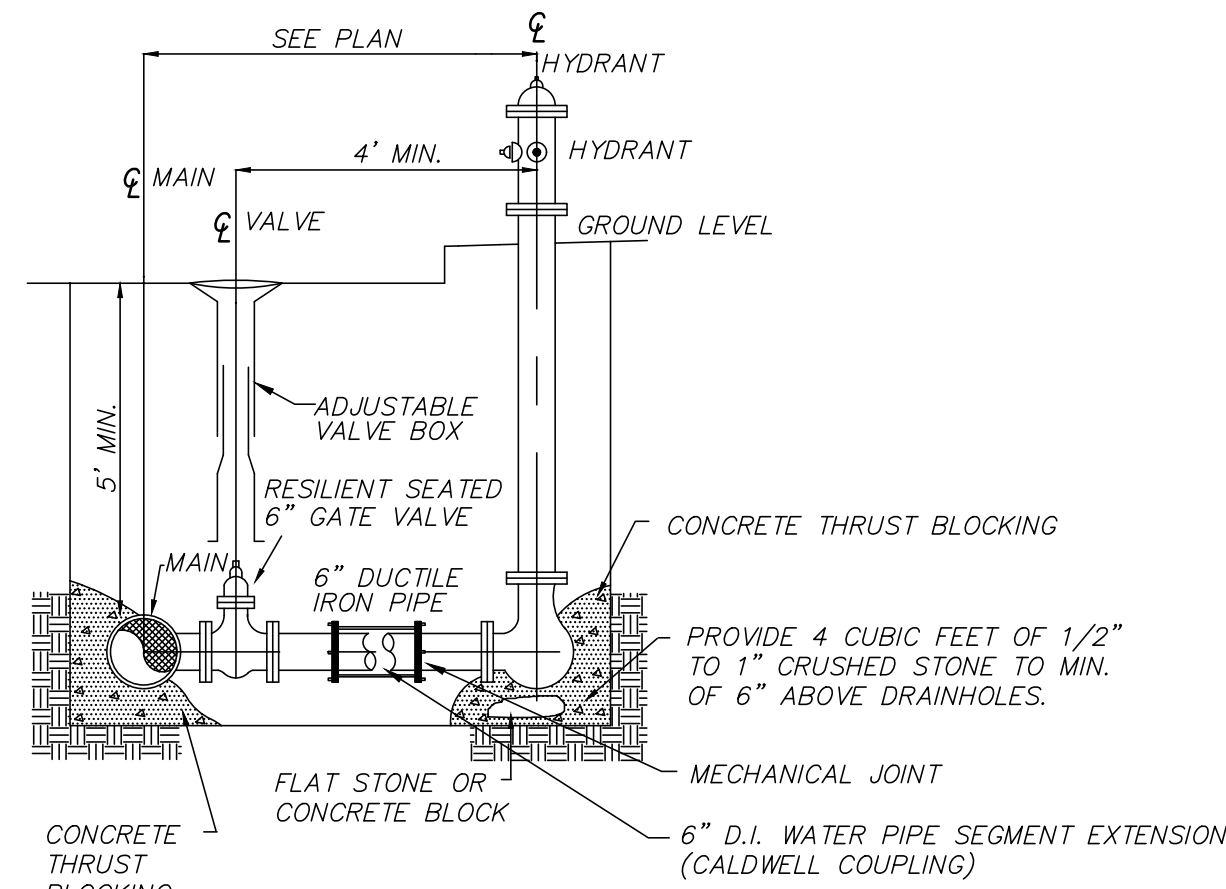
NOTE:

- 1) CONCRETE FOR THRUST BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS
- 2) THRUST BLOCK BEARING AREAS TO BE IN ACCORDANCE WITH TABLE BELOW, UNLESS DETERMINED OTHERWISE BY THE ENGINEER BECAUSE OF SOIL CONDITIONS

TABLE OF BEARING AREAS (S.F.), AGAINST APPROVED UNDISTURBED NATURAL MATERIAL (MIN. OF 4 S.F.)					
DIAMETER MAIN (IN.)	TEE	90° BEND	45° BEND	PLUG	
4	4	4	4	4	4
6	4	4	4	4	4
8	4	6	4	6	6
10	6	8	6	8	8
12	8	12	6	12	12

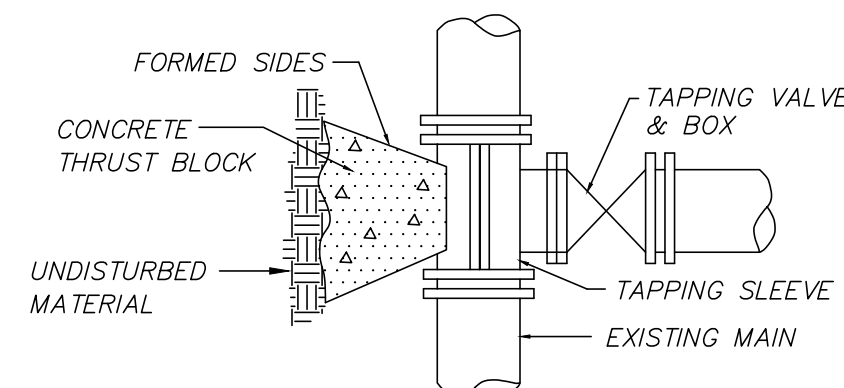
THRUST BLOCK DETAIL

(NOT TO SCALE)



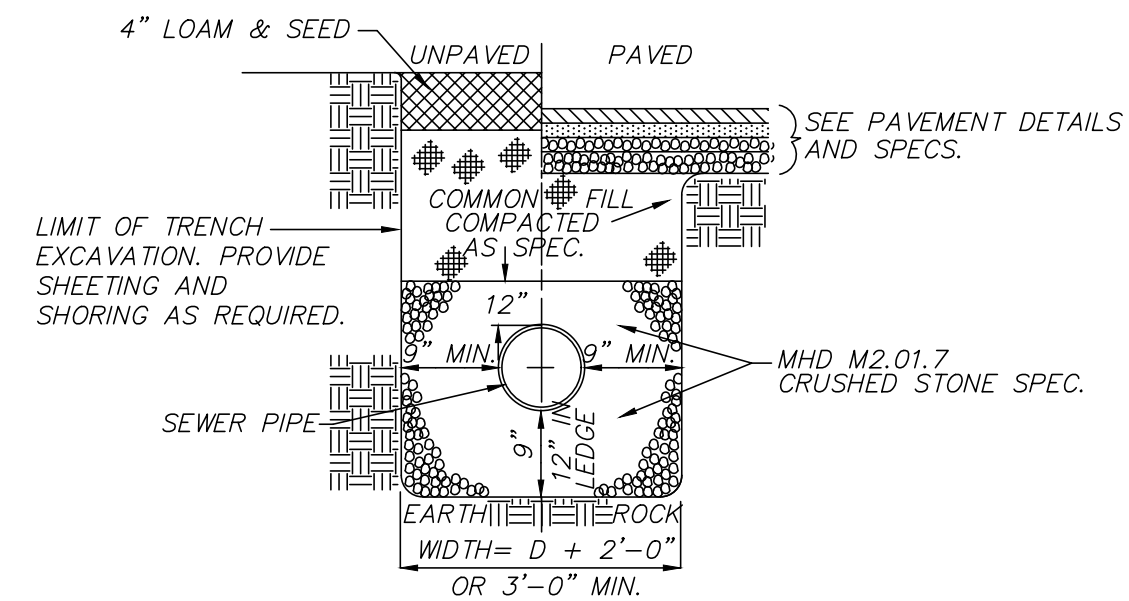
FIRE HYDRANT

(NOT TO SCALE)



TAPPING VALVE AND SLEEVE:

(NOT TO SCALE)

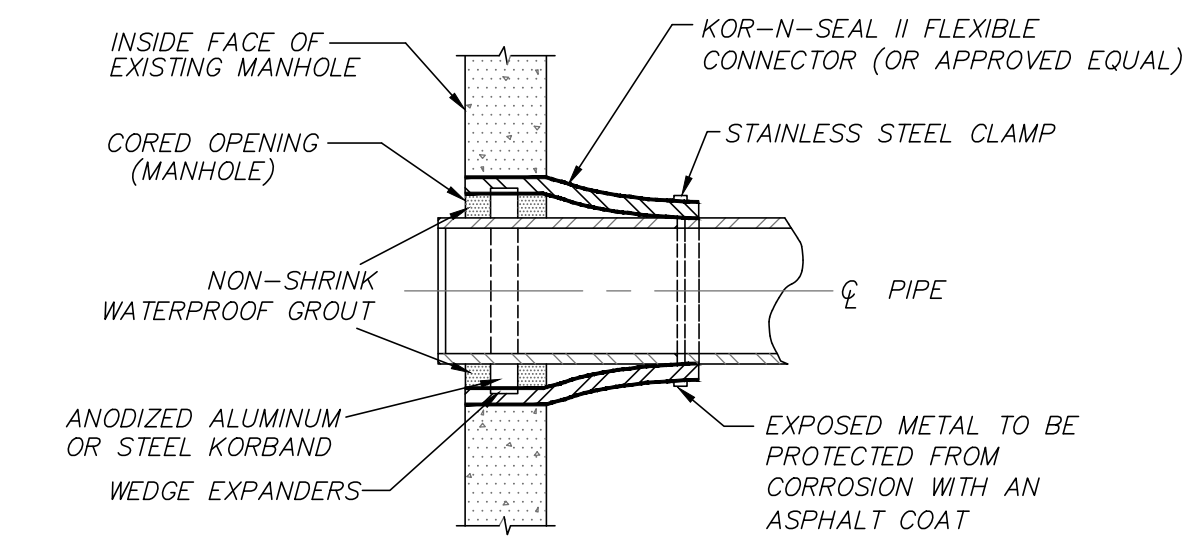


NOTES:

1. INSTALL BEDDING AND COMMON FILL IN 6 INCH LIFTS AND COMPACT TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
2. NON-METALLIC WARNING TAPE SHALL BE INSTALLED NO LESS THAN 24" ABOVE THE CROWN OF THE PIPE.

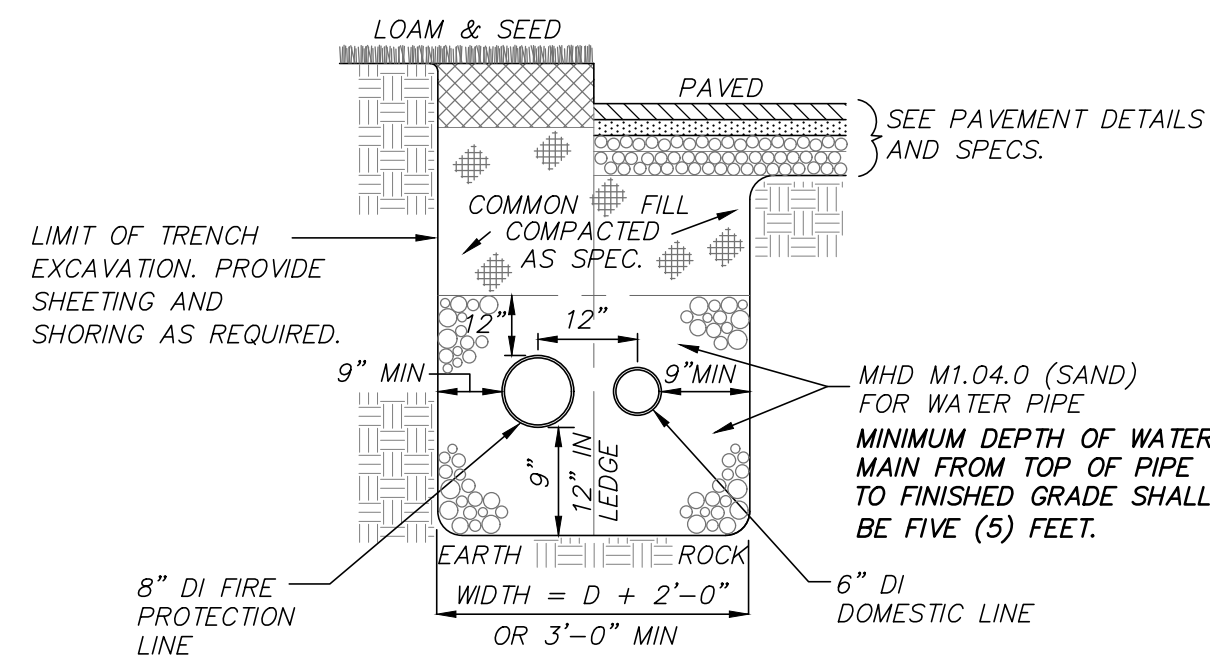
SEWER TRENCH DETAIL

(NOT TO SCALE)



KOR-N-SEAL CONNECTION DETAIL

(NOT TO SCALE)

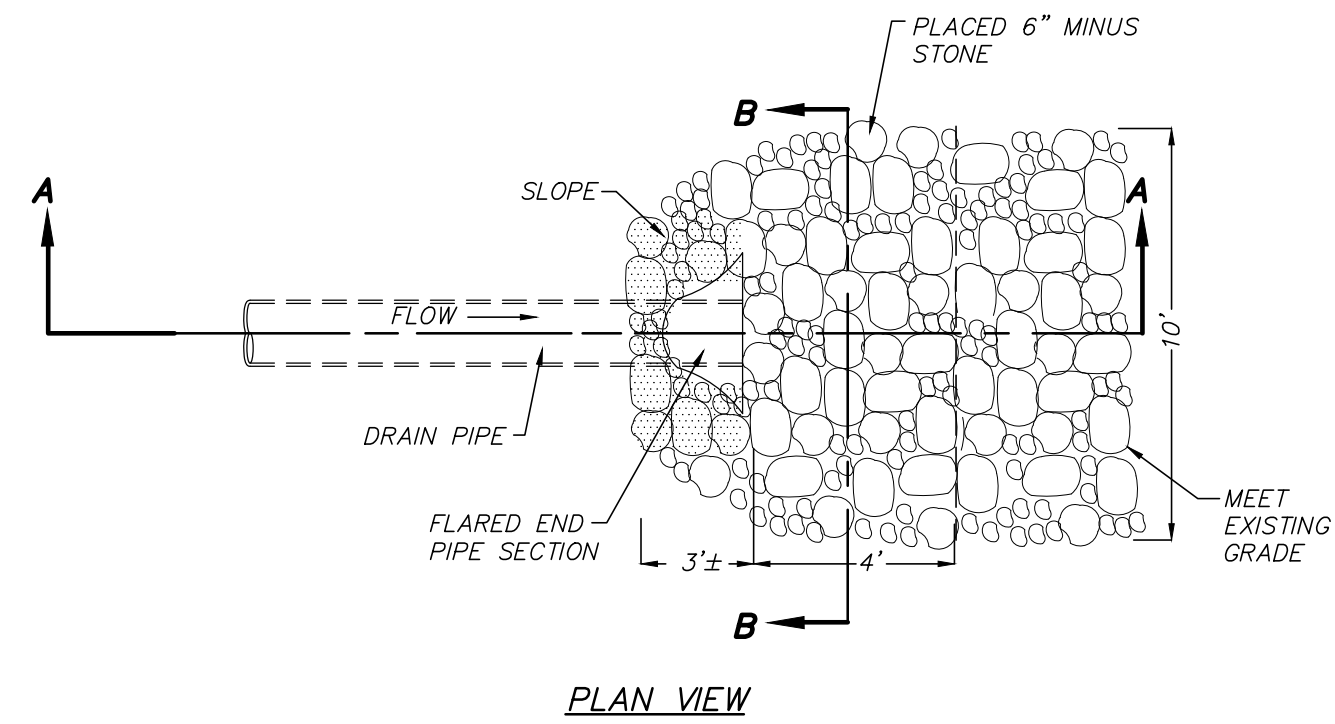


NOTES:

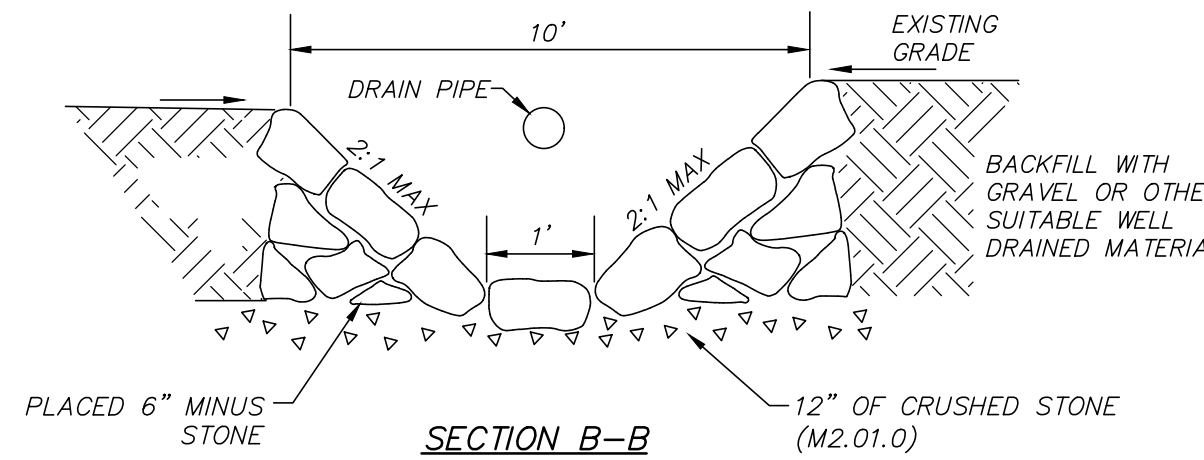
1. INSTALL BEDDING AND COMMON FILL IN 6 INCH LIFTS AND COMPACT TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
2. NON-METALLIC WARNING TAPE SHALL BE INSTALLED NO LESS THAN 24" ABOVE THE CROWN OF THE PIPE.

WATER SERVICE TRENCH

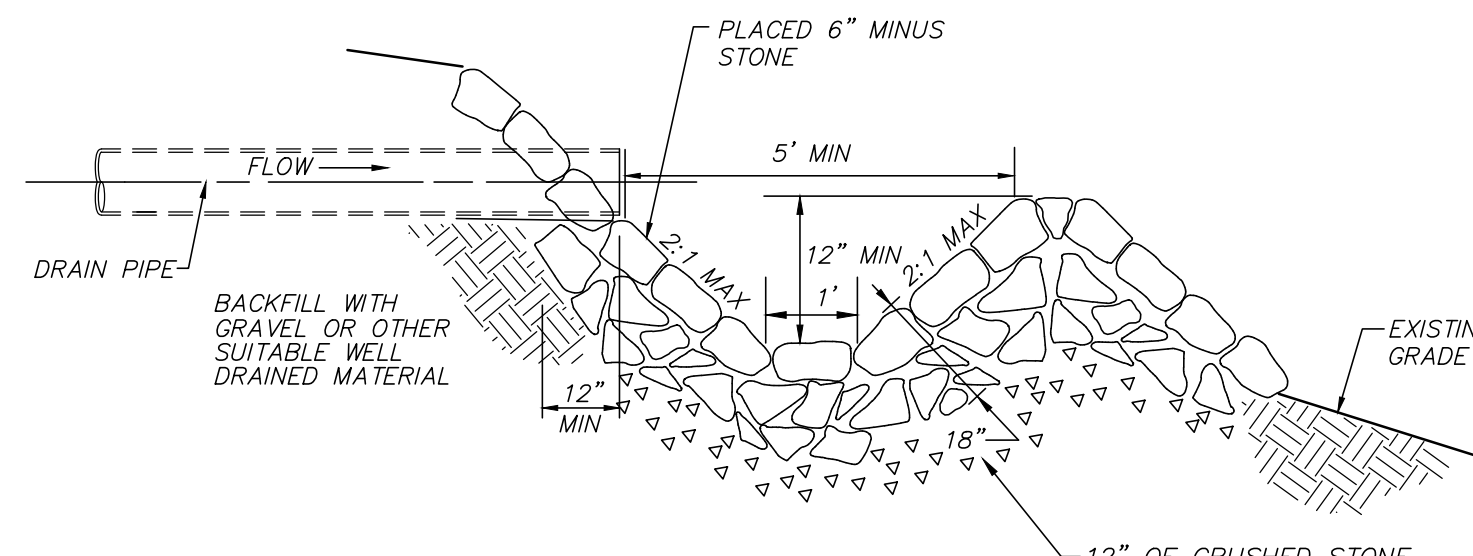
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PLAN VIEW

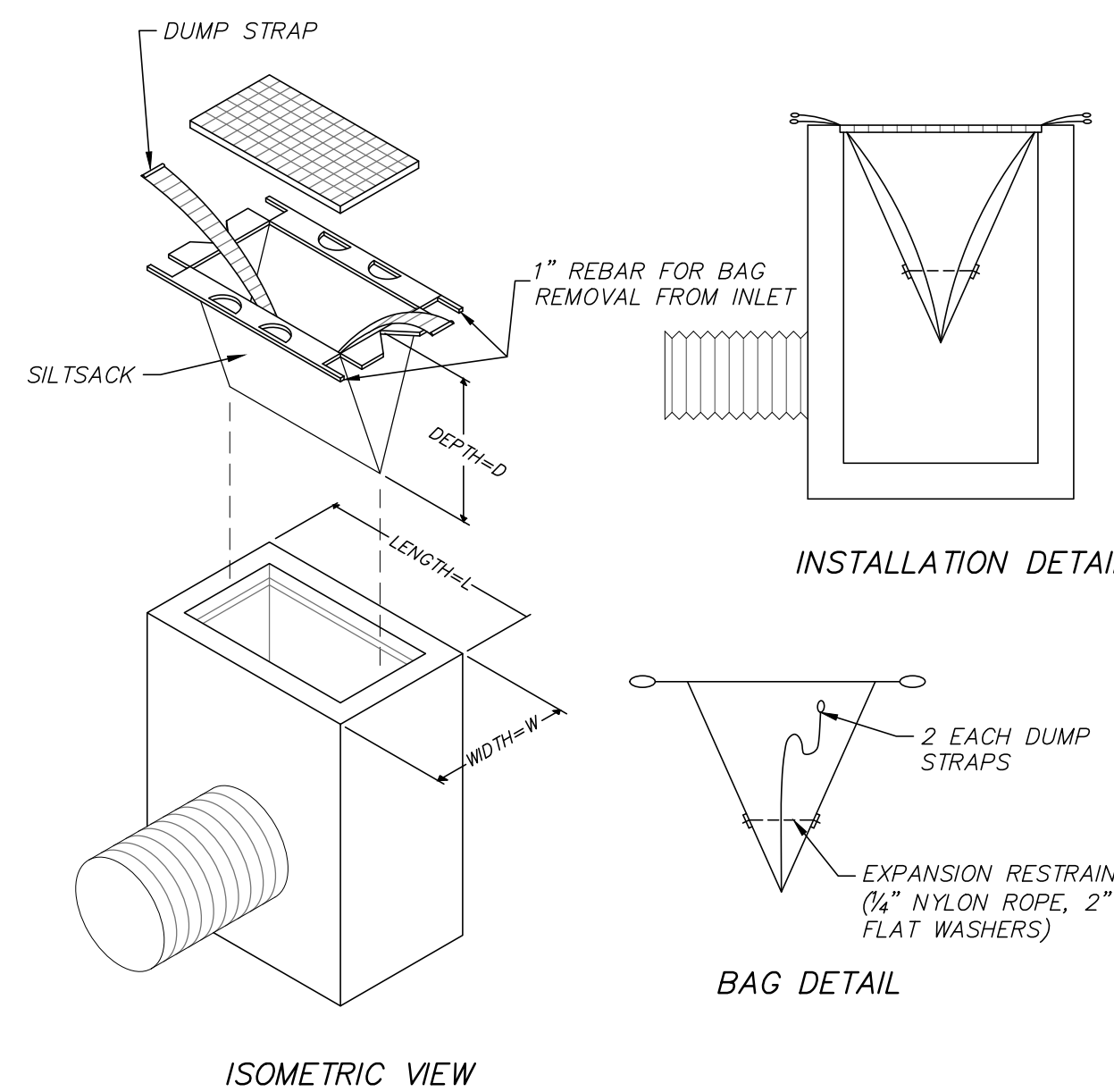


SECTION B-B



SECTION A-A LEVEL SPREADER

(NOT TO SCALE)



ISOMETRIC VIEW

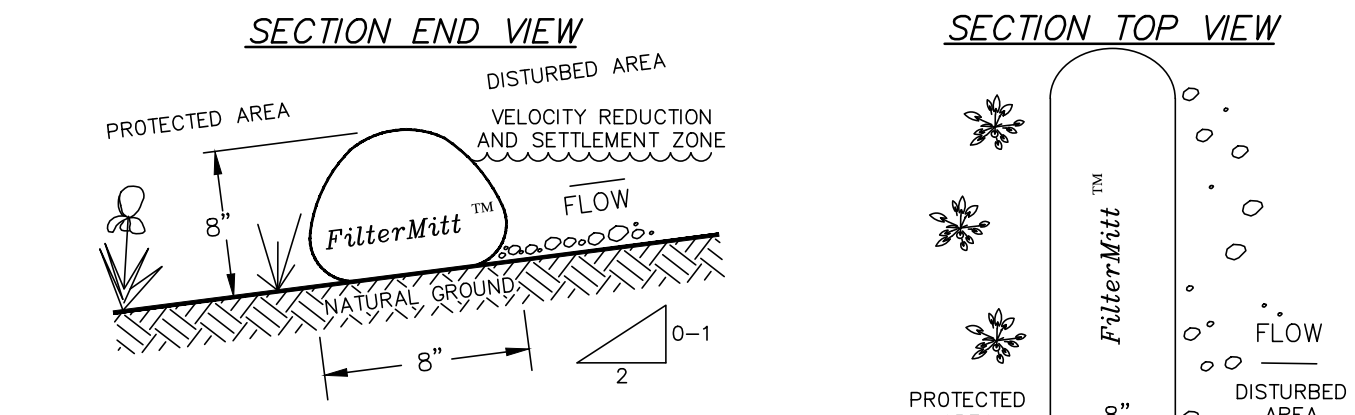
BAG DETAIL

NOTE:

- SILT SACKS SHALL BE INSPECTED WEEKLY AND SILT SHALL BE REMOVED WHEN ACCUMULATED TO ALLOW CATCH BASIN TO FUNCTION PROPERLY

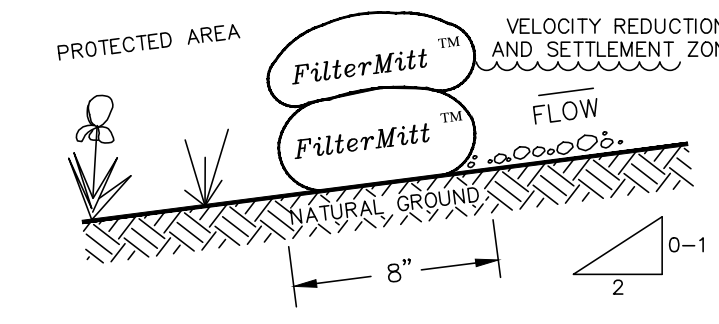
CATCH BASIN FILTER DETAIL

(NOT TO SCALE)



UNION END VIEW

UNION TOP VIEW



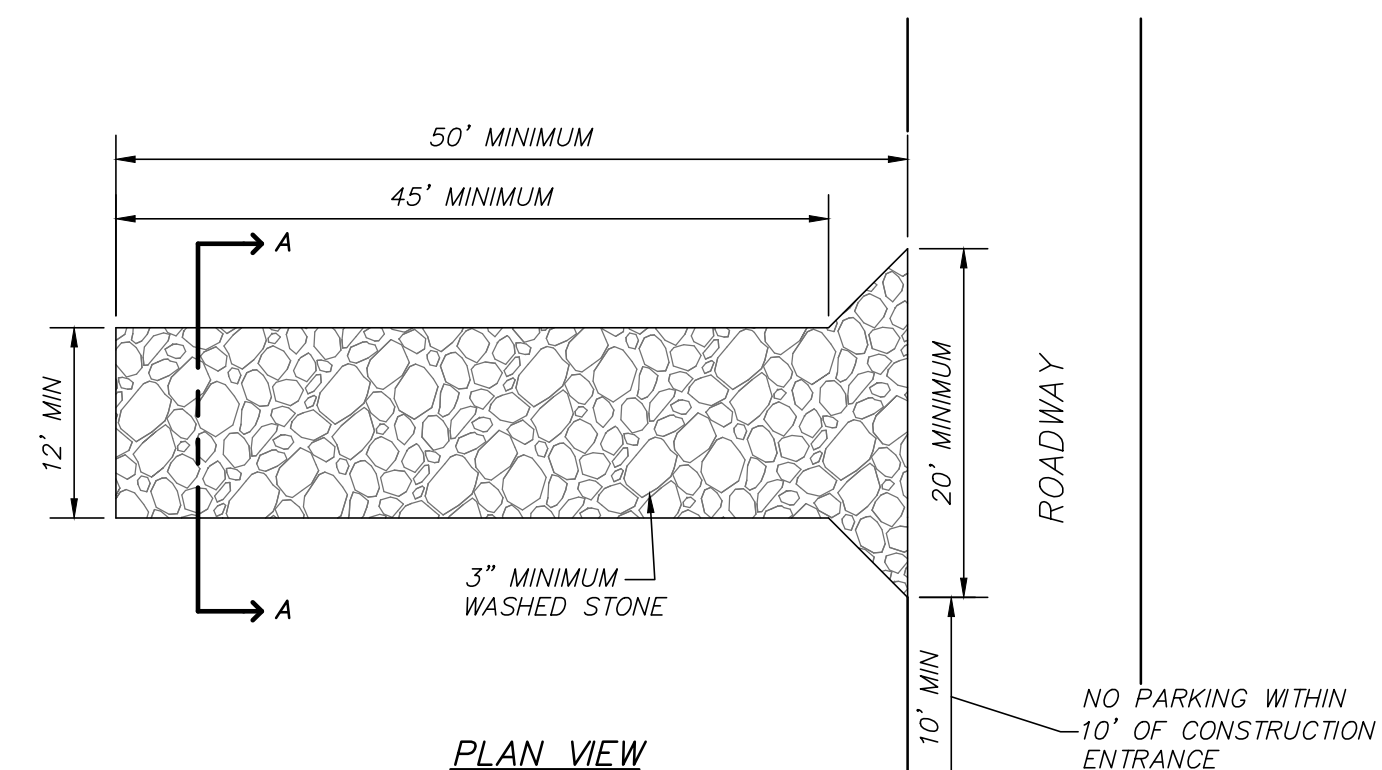
FilterMitt™ COMPONENTS:

- OUTSIDE CASING: 100% organic hessian.
 FILLER INGREDIENT: **FiberRoot Mulch™**
 • A blend of coarse and fine compost and shredded wood.
 • Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 • Weight: Approx. 310 lbs./cu.yd. (Ave. 11.5 lbs./l.f.)

For more information visit:
www.groundscapesexpress.com
 or contact us at:
Groundscapes Express, Inc.
 P.O. Box 737
 Wrentham, MA 02093
 (508) 384-7140

FilterMitt 2:1 SLOPES OR LESS

(NOT TO SCALE)

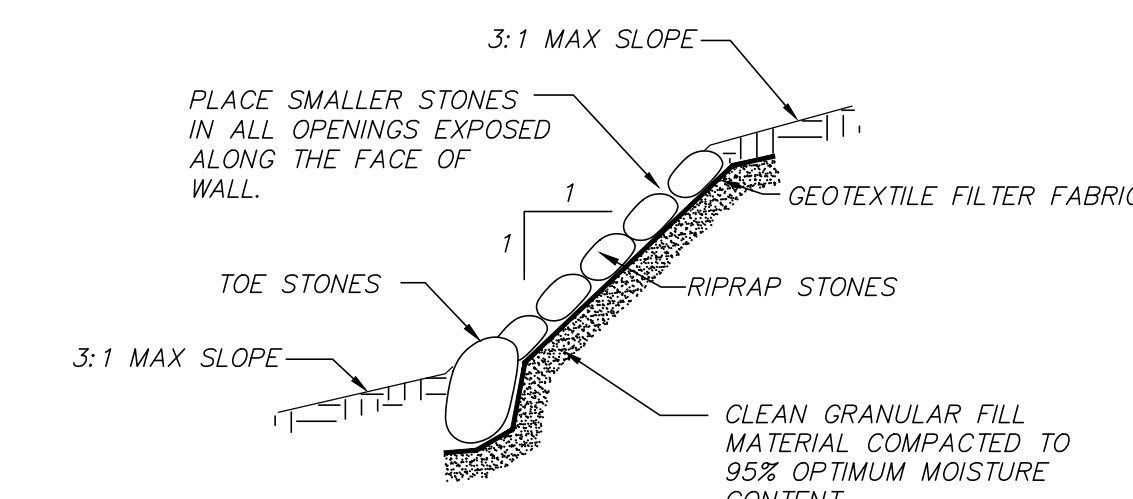


PLAN VIEW

SECTION A-A

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

(NOT TO SCALE)



STONE RIPRAP SLOPE PROTECTION

(NOT TO SCALE)

REVISIONS	DATE	DESCRIPTION



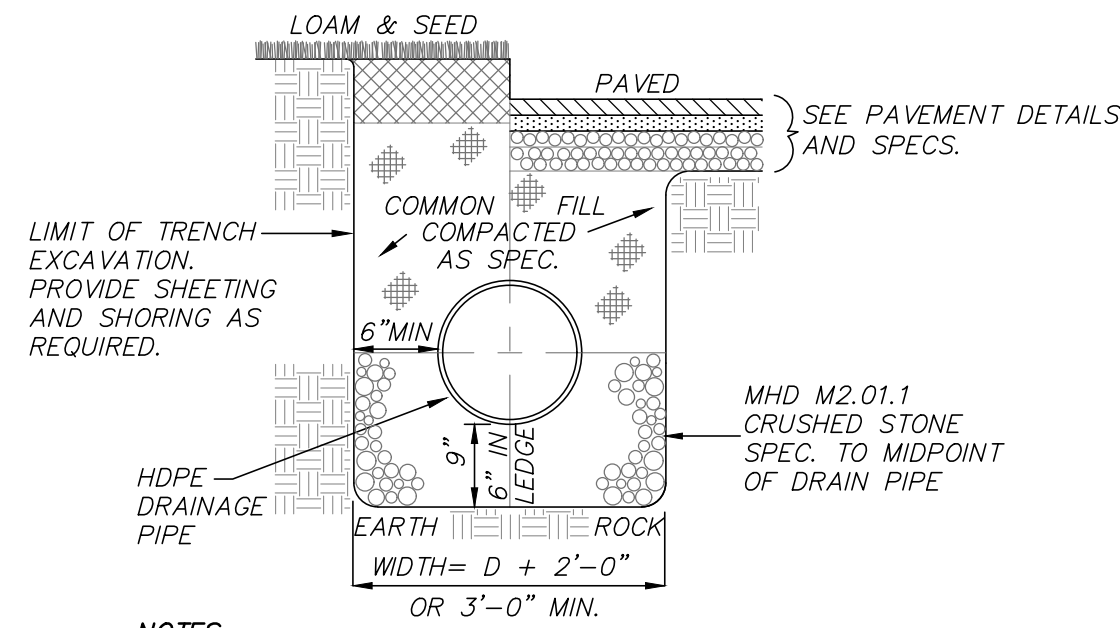
COUNCIL ON AGING COMMUNITY CENTER
SITE CONSTRUCTION DETAILS
 LOCATED IN
WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
TOWN OF WAYLAND

MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 294-0447
 WWW.MERIDIANASSOC.COM

DESIGNED BY: GJR
 CHECKED BY: DSK
 DATE: DECEMBER 7, 2022
 SCALE: AS NOTED
 SHEET No. **C 8.0**
 PROJECT No. **6452**

ENDORSED BY WAYLAND PLANNING BOARD

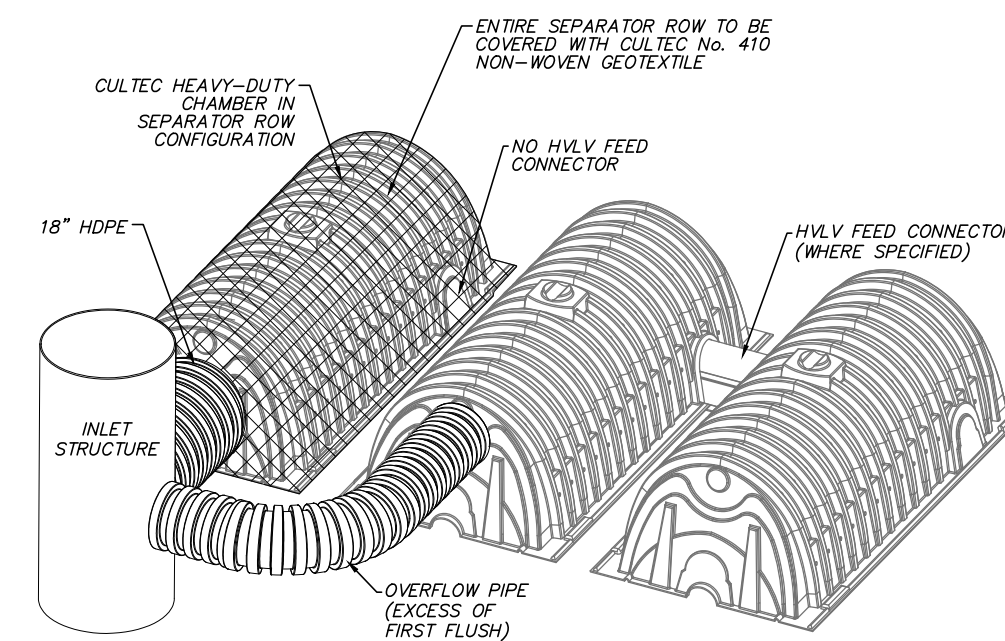
IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR AMENDING THE WAYLAND TOWN CENTER MIXED-USE PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS AND SITE PLAN DECISION
 _____ 2023



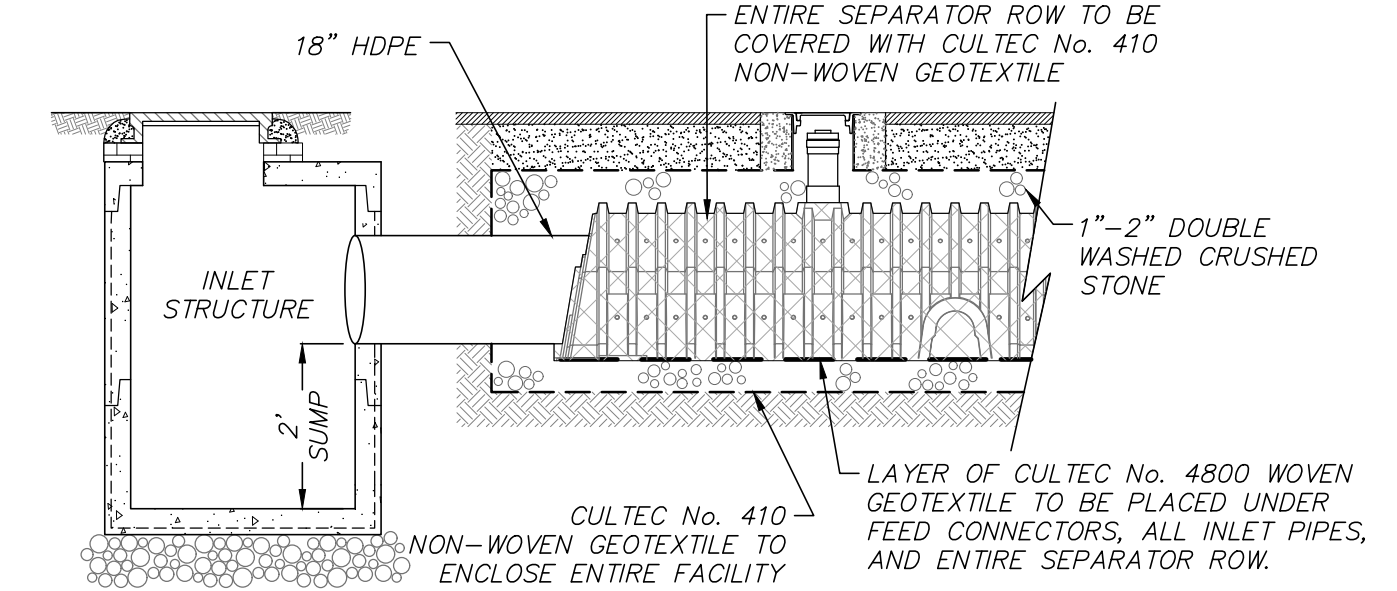
NOTES:

1. INSTALL BEDDING AND COMMON FILL IN 6 INCH LIFTS AND COMPACT TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
2. NON-METALLIC WARNING TAPE SHALL BE INSTALLED NO LESS THAN 24" ABOVE THE CROWN OF THE PIPE.

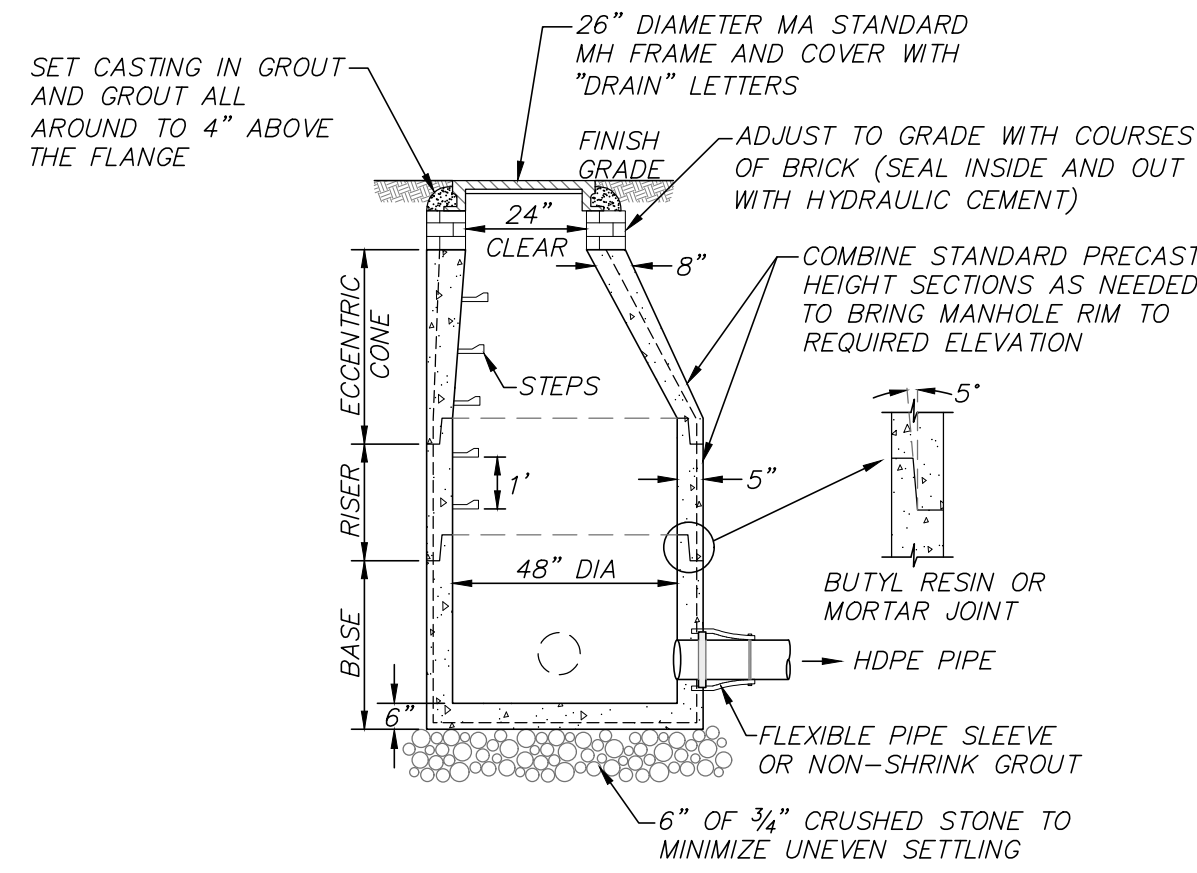
DRAIN TRENCH
(NOT TO SCALE)



SEPARATOR ROW INLET CONFIGURATION
(NOT TO SCALE)



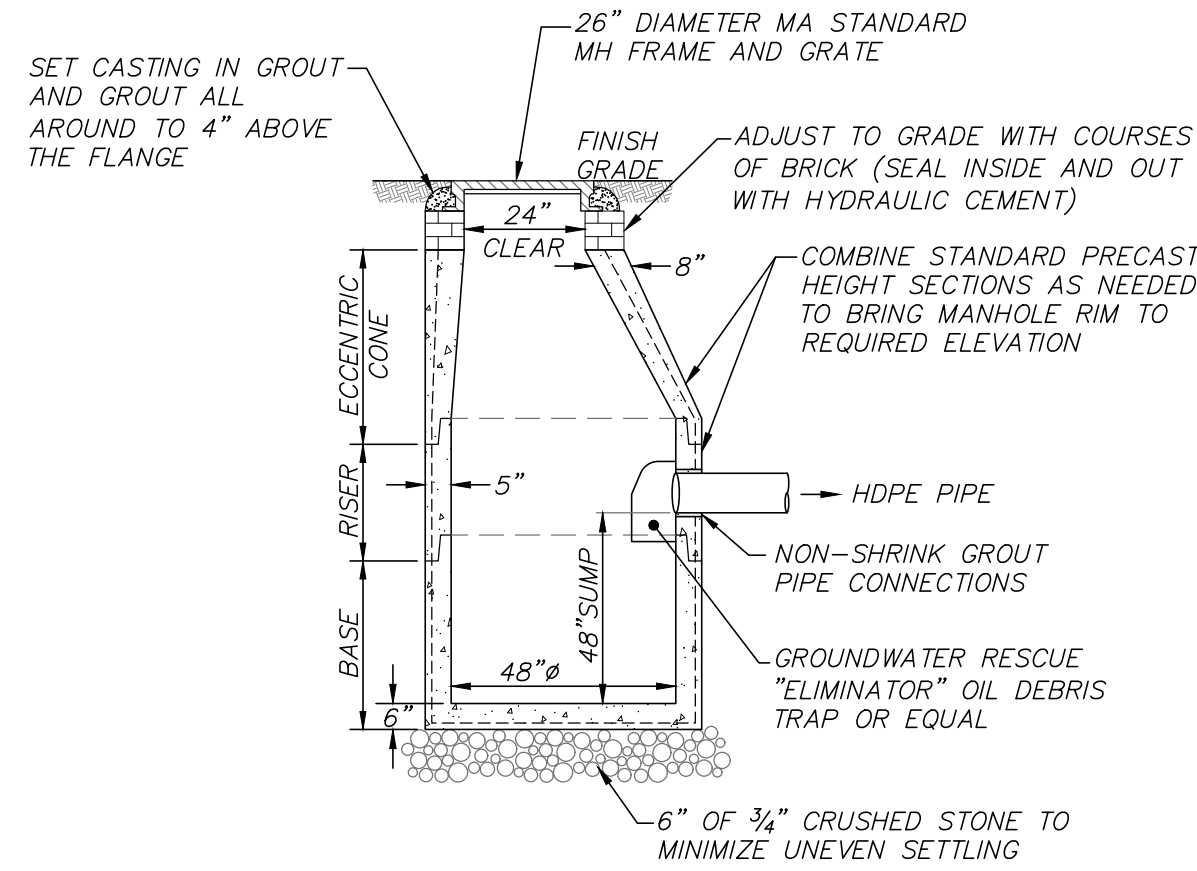
SEPARATOR ROW SECTION VIEW
(NOT TO SCALE)



NOTES:

1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR EQUAL.
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ IN/LINEAL FT AND 0.12 SQ IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. BUTYL RESIN JOINT CONFORMS TO LATEST ASTM C990 SPEC.
6. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.
7. PROVIDE EXTERIOR DAMPPROOFING AS REQUIRED.

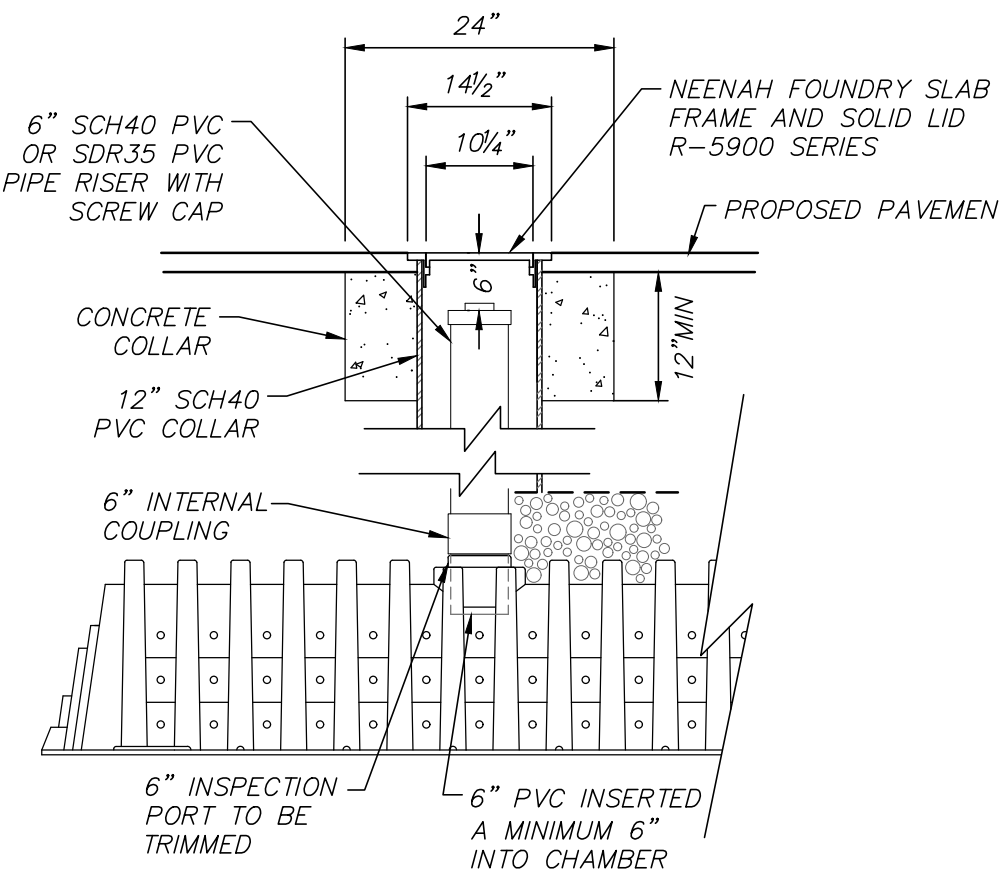
DRAIN MANHOLE DETAIL
(NOT TO SCALE)



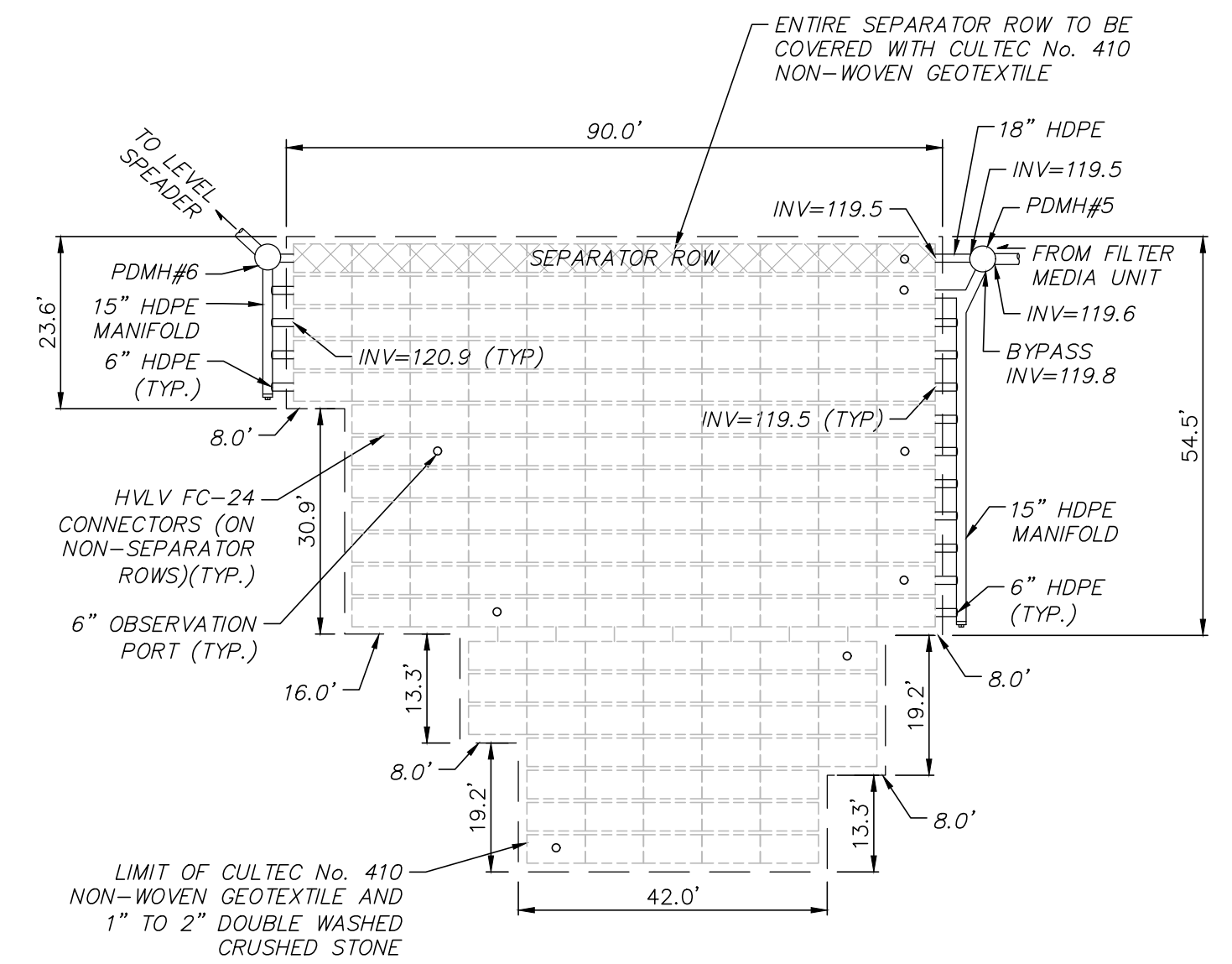
NOTES:

1. 48" DIAMETER CATCHBASIN MANHOLE AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR EQUAL.
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ IN/LINEAL FT AND 0.12 SQ IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. PROVIDE EXTERIOR DAMPPROOFING AS REQUIRED.

CATCHBASIN WITH OIL DEBRIS TRAP
(NOT TO SCALE)

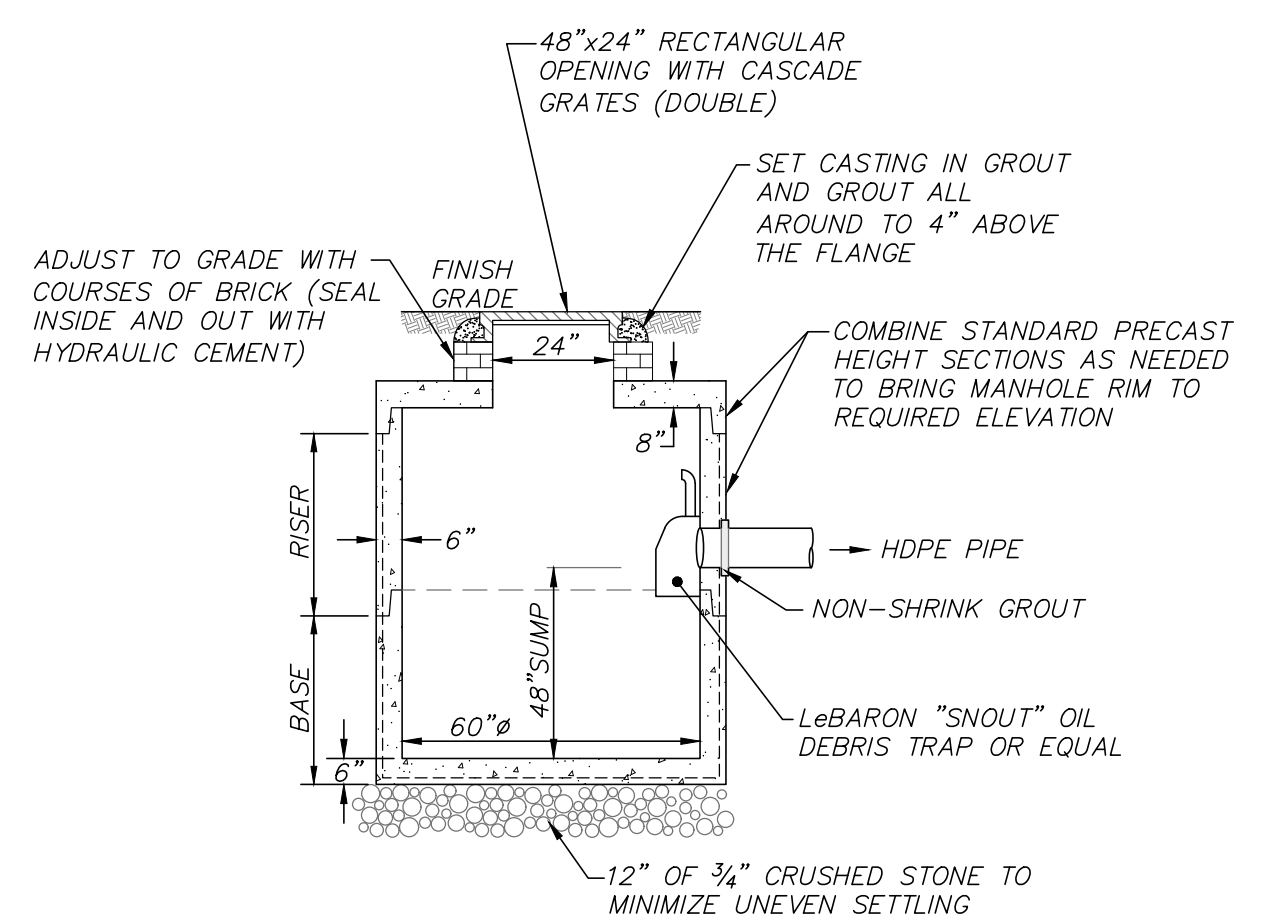


OBSERVATION PORT
(NOT TO SCALE)



PROVIDE 167 CULTEC RECHARGER 280HD HEAVY DUTY CHAMBERS OR APPROVED EQUAL
(PLAN VIEW)

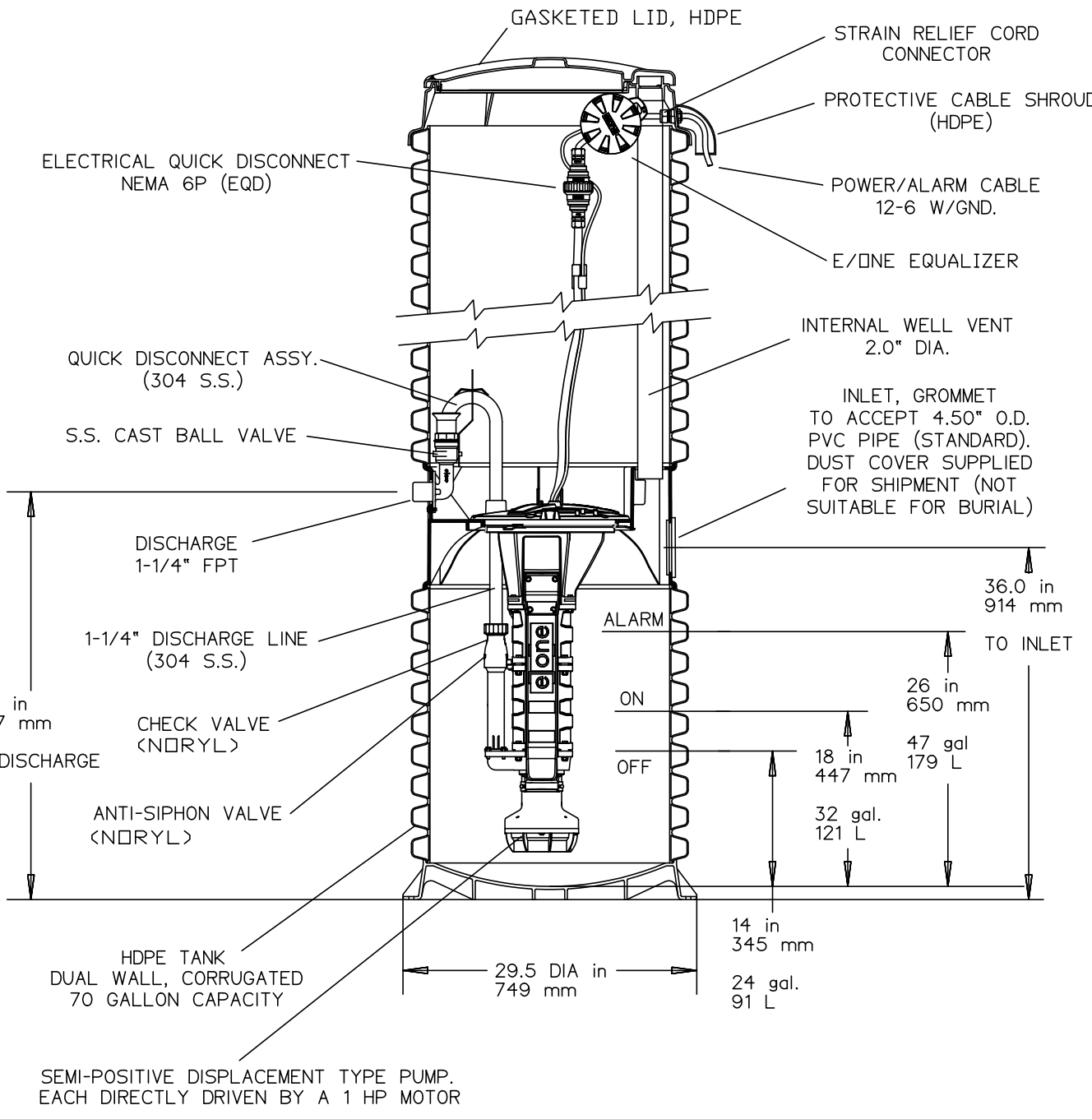
SUBSURFACE INFILTRATION FACILITY
(NOT TO SCALE)



NOTES:

1. 60" DIAMETER CATCHBASIN MANHOLE AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR EQUAL.
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ IN/LINEAL FT AND 0.12 SQ IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. BUTYL RESIN JOINT CONFORMS TO LATEST ASTM C443 SPEC.
6. PROVIDE EXTERIOR DAMPPROOFING AS REQUIRED.

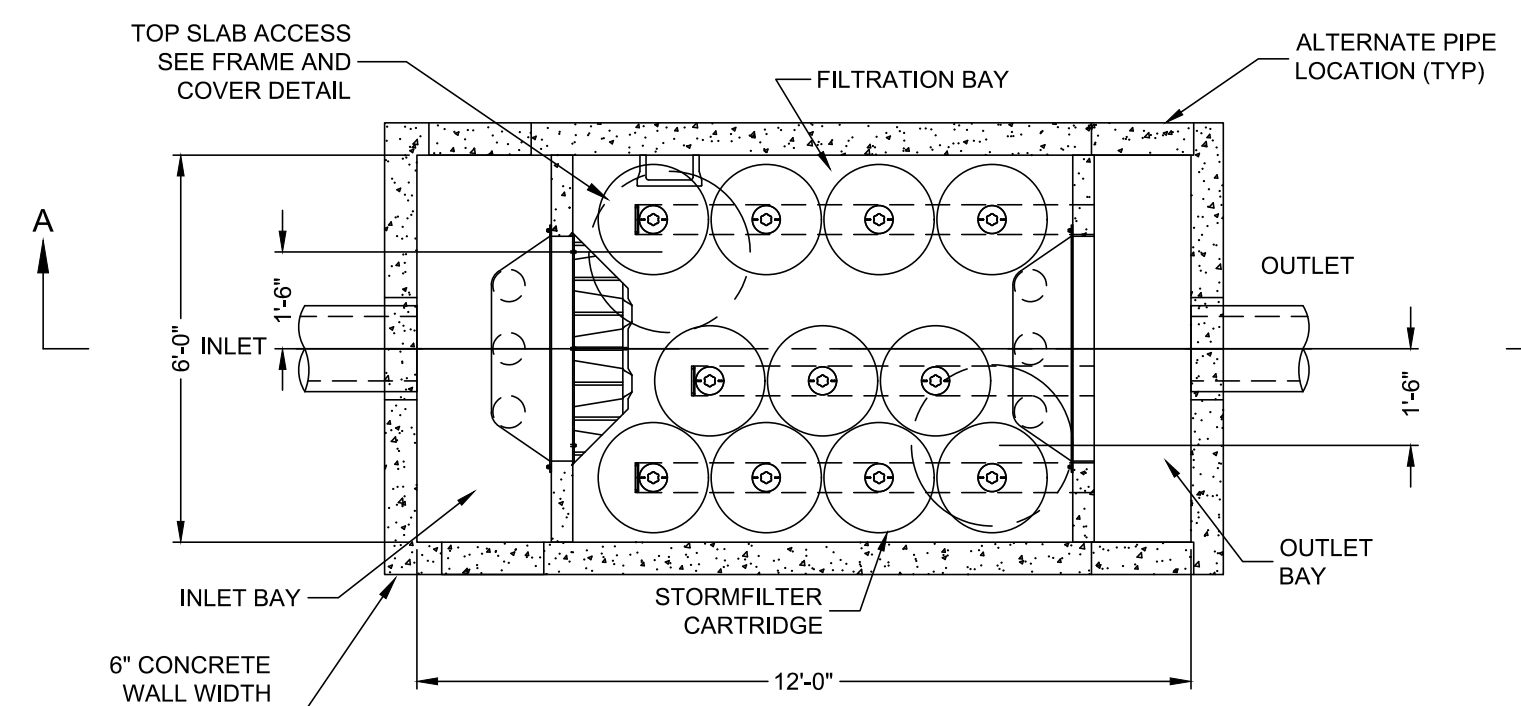
DOUBLE GRATE CATCHBASIN WITH OIL DEBRIS TRAP
(NOT TO SCALE)



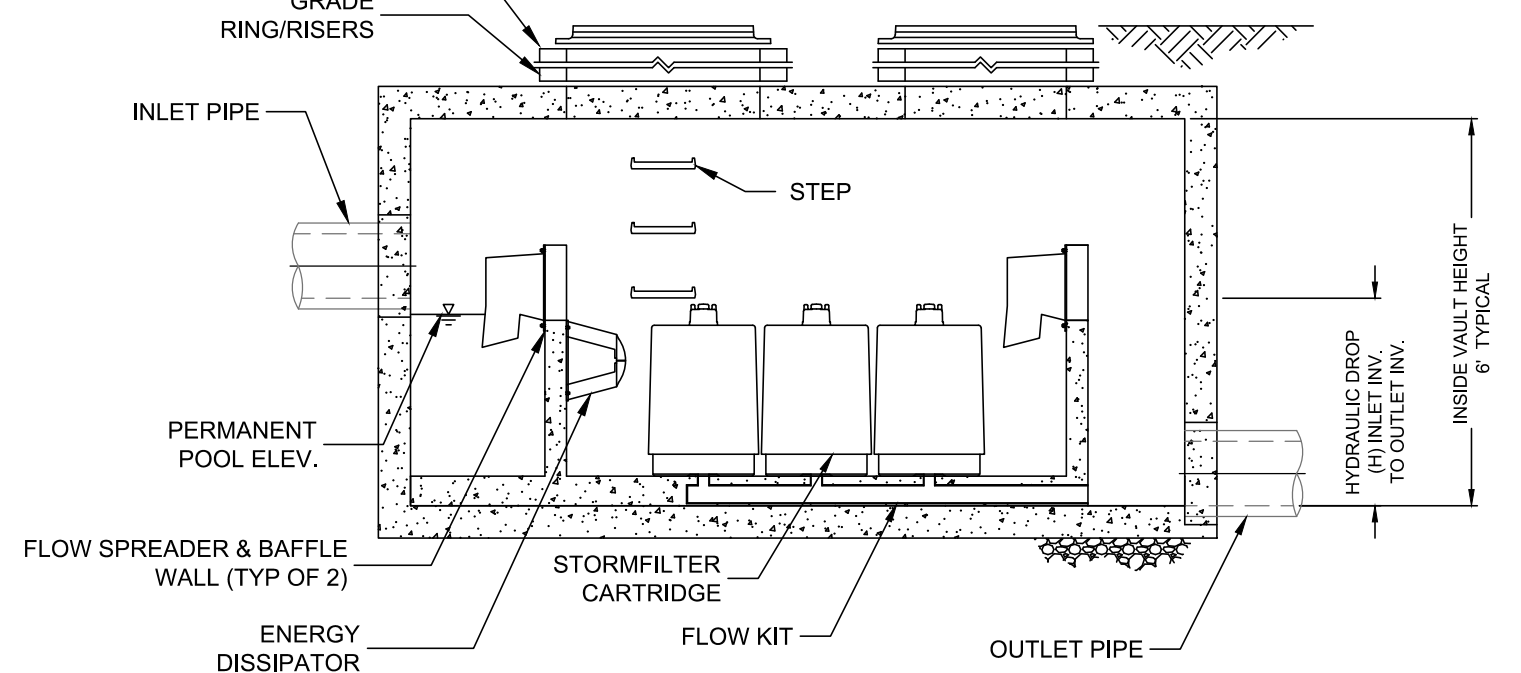
NOTES:

1. THIS DETAIL IS PROVIDED SHOULD AN EXTERNAL SEWER EJECTOR PUMP BE REQUIRED.
2. THIS DETAIL IS PROVIDED FOR SCHEMATIC PURPOSES ONLY. THE GRINDER PUMP SHALL BE DESIGNED/SIZED BY THE MANUFACTURER.

E-ONE GRINDER PUMP MODEL DHO71
(NOT TO SCALE)



PLAN VIEW
VAULT STYLE: INLET BAY - OUTLET BAY

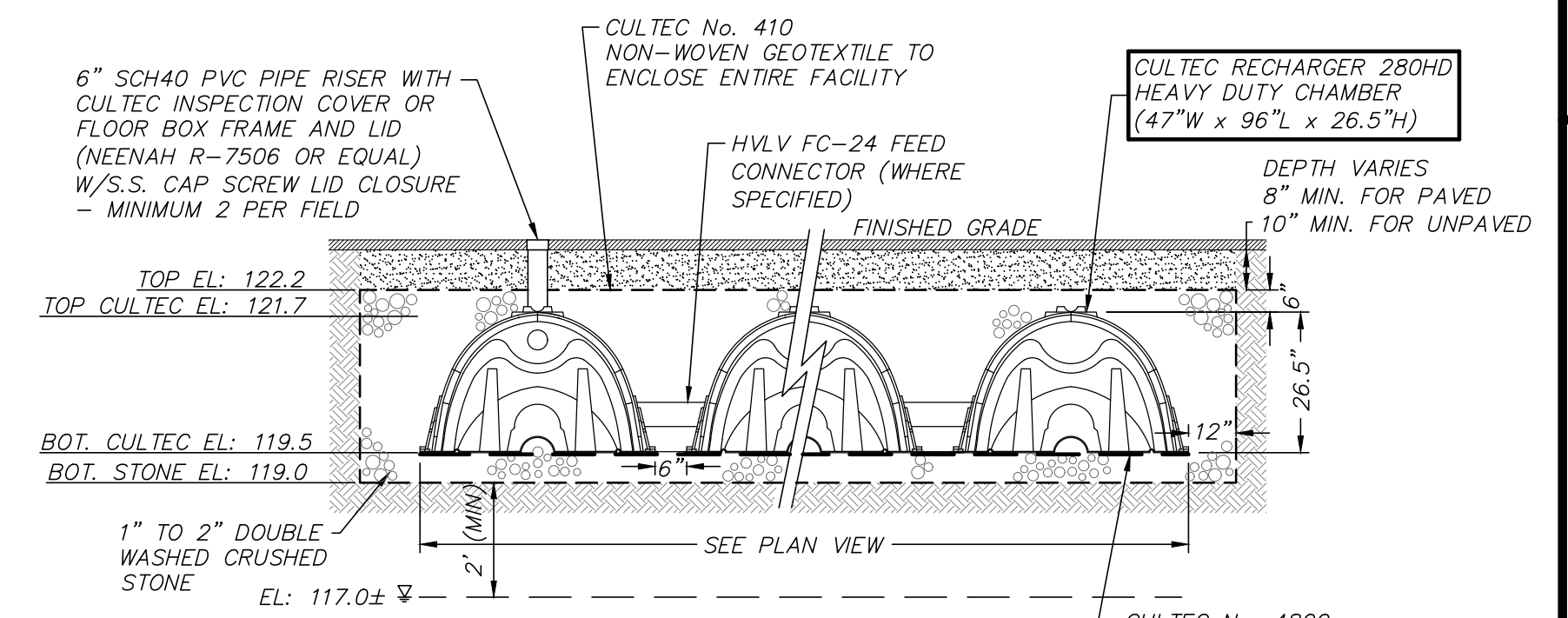


SECTION A-A

NOTES:

1. THIS DETAIL IS SHOWN FOR SCHEMATIC PURPOSES ONLY. THE FILTER MEDIA DEVICE SHALL BE DESIGNED/SIZED BY THE MANUFACTURER.

STORMWATER FILTER MEDIA DEVICE
(NOT TO SCALE)

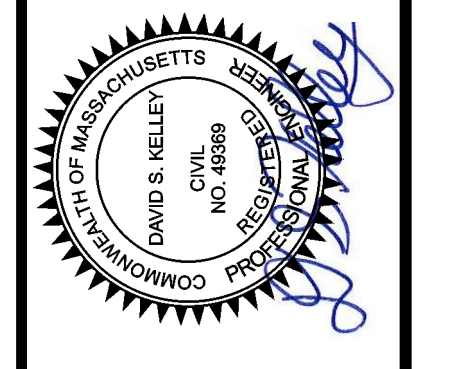


NOTES:

1. PROVIDE MINIMUM 2 FEET SEPARATION BETWEEN BOTTOM OF THE 6 INCH DOUBLE WASHED CRUSHED STONE LAYER AND ESTIMATED SEASONAL HIGH GROUNDWATER TABLE.
2. REMOVE ALL TOPSOIL AND SUBSOIL IN AREA OF PROPOSED INFILTRATION FACILITY AND REPLACE WITH SAND CONFORMING TO 310 CMR 15.255(3), MASSACHUSETTS STATE ENVIRONMENTAL CODE, TITLE 5.
3. CULTEC No. 4800 WOVEN GEOTEXTILE TO BE PLACED UNDER FEED CONNECTORS AND ALL INLET/OUTLET PIPES.

(SECTION VIEW)
SUBSURFACE INFILTRATION FACILITY
(NOT TO SCALE)

REVISIONS	DATE	DESCRIPTION



COUNCIL ON AGING COMMUNITY CENTER
SITE CONSTRUCTION DETAILS
 LOCATED IN
WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
TOWN OF WAYLAND

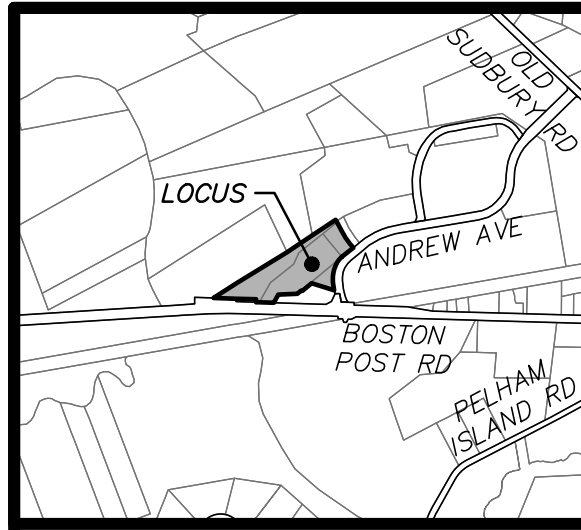
MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 294-0447
 WWW.MERIDIANASSOC.COM

DATE: DECEMBER 7, 2022
 SCALE: AS NOTED
 SHEET No. **C 9.0**
 PROJECT No. **6452**

P:\6452_10 ANDREW AVE. WAYLAND, MA\CAD\CIVIL 3D\6452_SITE.DWG

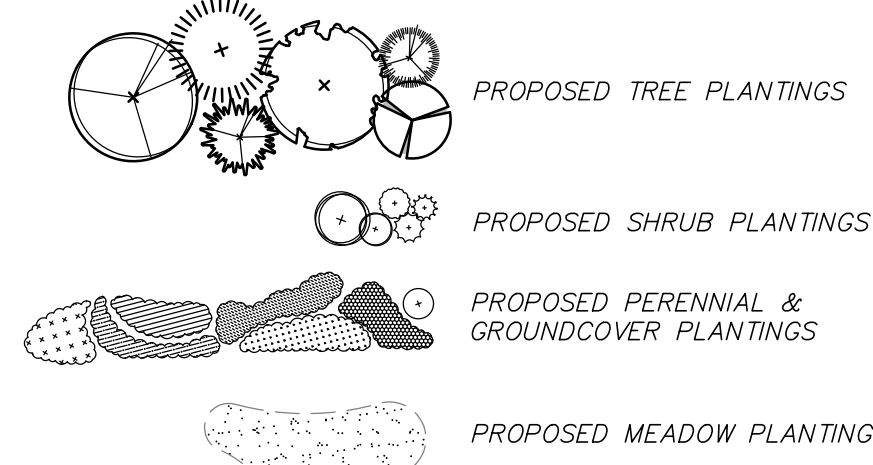
FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION

CHECKED BY: DSK
 DESIGNED BY: CAR



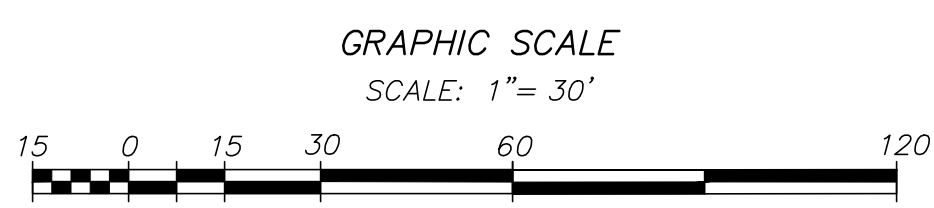
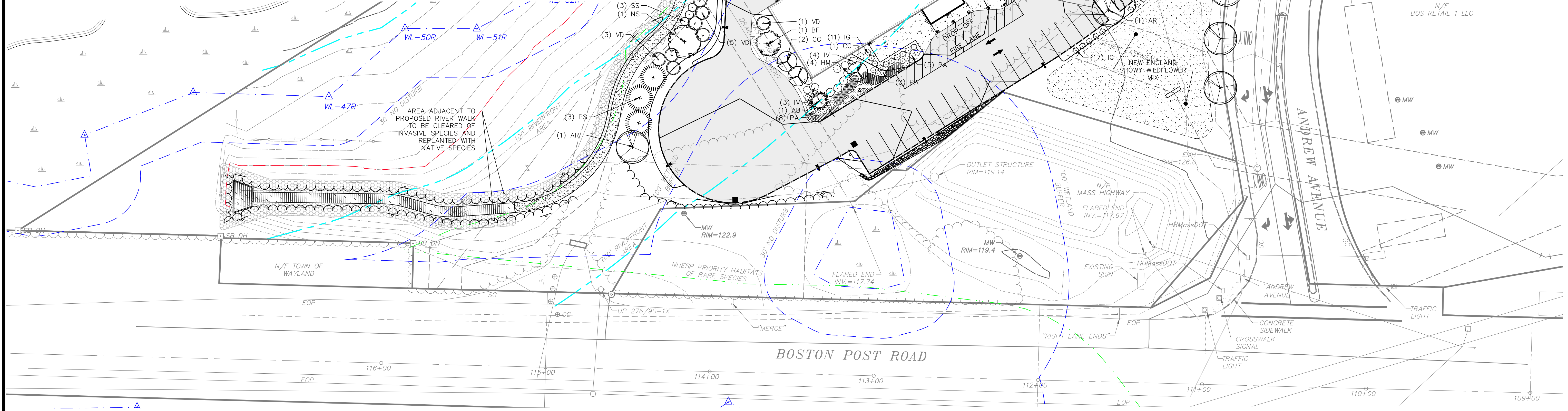
ENDORSED BY WAYLAND PLANNING BOARD
 IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR
 AMENDING THE WAYLAND TOWN CENTER MIXED-USE
 PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
 AND SITE PLAN DECISION
 2023

PLANTING LEGEND



QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AB		Abies balsamea	Balsam Fir	8'-10' Ht. B&B	DR DT N Wildlife Evergreen
AR		Acer rubrum	Red Maple	3"-3.5" Cal. B&B	BR DR DT N Red Fall Color March-April
BF		Benthania florida	Flowering Dogwood	3"-3.5" Cal. MS1 B&B	DR DT N Showy Fall Color Specimen March-April
CC		Cercis canadensis	Eastern Redbud	8'-10' Ht. B&B	DR N Pink Butterflies Showy Fall Color April
CV		Chionanthus virginicus	Fringe Tree	8'-10' Ht. Clump B&B	DR N White Butterflies Showy Fragrant April
IO		Ilex opaca	American Holly	8'-10' Ht. B&B	DR N ST Winter Interest Showy Red Berries Evergreen
JV		Juniperus virginiana	Eastern Red Cedar	10'-12' Ht. B&B	BR DR DT N ST Blueish/Black Fruit Wildlife Evergreen
NS		Nyssa sylvatica	Black Tupelo	8'-10' Ht. B&B	BR DR DT N Fall Foliage Wildlife April-June
PS		Pinus strobus	Eastern White Pine	8'-10' Ht. B&B	DR DT N Birds Evergreen Winter Interest
SHRUBS					
CA		Clethra alnifolia	Summersweet	24"-30" Ht. #3 Pot	BR N ST White Butterflies Showy Fragrant Heavy Shade July-August
HM		Hydrangea macrophylla	Big Leaf Hydrangea	18"-24" Ht. #3 Pot	ST Blue-Pink-White Showy Seasonal Bloomer
IG		Ilex glabra 'Shamrock'	Shamrock Inkberry	24"-30" Ht. B&B	BR DR DT N ST 36" OC Greenish-White Birds Evergreen May-June
IV		Ilex verticillata	Common Winterberry	24"-30" Ht. B&B	BR DR DT N 4" OC Red Berries Birds Winter Interest April-July
SS		Swida sericea	Red-osier Dogwood	24"-30" Ht. #7 Pot	BR DR DT N 4" OC Red Twigs Birds Winter Interest April-July
VC		Vaccinium corymbosum	Highbush Blueberry	36"-48" Ht. #7 Pot	BR DT N 4" OC Showy Edible Fruit Wildlife Fall Color March-June
VD		Viburnum dentatum	Arrowwood Viburnum	36"-60" Ht. #7 Pot	BR DR N ST 6" OC White Birds/Butterflies May-June
PERENNIALS & GROUNDCOVER					
AJ		Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#1 Pot	DR DT ST 18" OC Pink to Copper Bees/Butterflies August-November
AT		Asclepias tuberosa	Butterfly Milkweed	#1 Pot	DR N DT ST 18" OC Orange Bees/Butterflies May - September
CP		Comptonia peregrina	Sweet Fern	#1 Pot	DR N DT 30" OC Butterflies Naturalized May - September
DP		Dennstaedtia punctilobula	Eastern Hay-Scented Fern	#1 Pot	DR N DT 30" OC Naturalized May - November
EP		Echinacea purpurea	Purple Coneflower	#1 Pot	DR DT N ST 18" OC Purple Birds/Butterflies June-August
NF		Nepeta x faassenii 'Walker's Low'	Juniors 'Walkers Low' Catmint	#1 Pot	DR DT ST 24" OC Purple Bees/Butterflies Fragrant May-October
RH		Rudbeckia hirta	Black-eyed Susan	#1 Pot	DR DT N ST 18" OC Yellow Butterflies June-September
VA		Vaccinium angustifolium	Lowbush Blueberry	#1 Pot	BR DT N 24" OC White Showy Edible Fruit Wildlife Fall Color May-June
ORNAMENTAL GRASSES					
PA		Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#2 Pot	DR DT N ST 18" OC Pinkish-White Birds Fall Color Winter Interest August-October
ES		Eragrostis spectabilis	Purple Lovegrass	#1 Pot	DT N Soft Reddish-Purple Showy Winter Interest July-August
SEED MIXES					
6,500 SF		New England Showy Wildflower Mix		23 lbs./ acre	Provided by New England Wetland Plants (see Spec Sheet for specific plant species)

DR = DEER RESISTANT | DT = DROUGHT TOLERANT | N = NATIVE | ST = SALT TOLERANT | OC = ON-CENTER | B&B = BALLED AND BURLAPPED

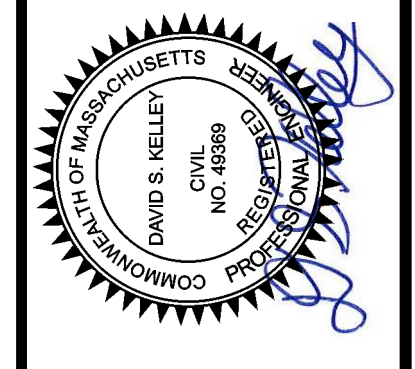


REFER TO SHEET LG 1.0 FOR GENERAL NOTES & LEGEND

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION



8 ANDREW AVENUE
 COUNCIL ON AGING COMMUNITY CENTER
 LANDSCAPE PLAN
 LOCATED IN
 WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
 TOWN OF WAYLAND

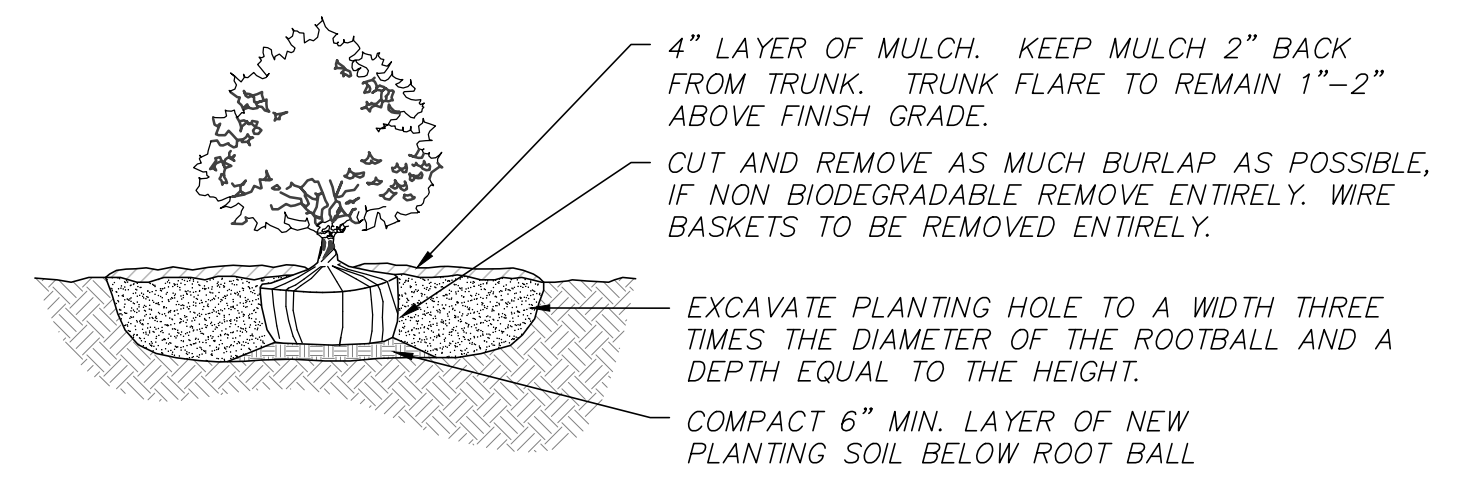
MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 294-0447
 WWW.MERIDIANASSOC.COM

DATE: DECEMBER 7, 2022
 SCALE: 1" = 30'
 SHEET No. **L 1.0**
 PROJECT No. **6452**

DESIGNED BY: CAR
 CHECKED BY: DSK

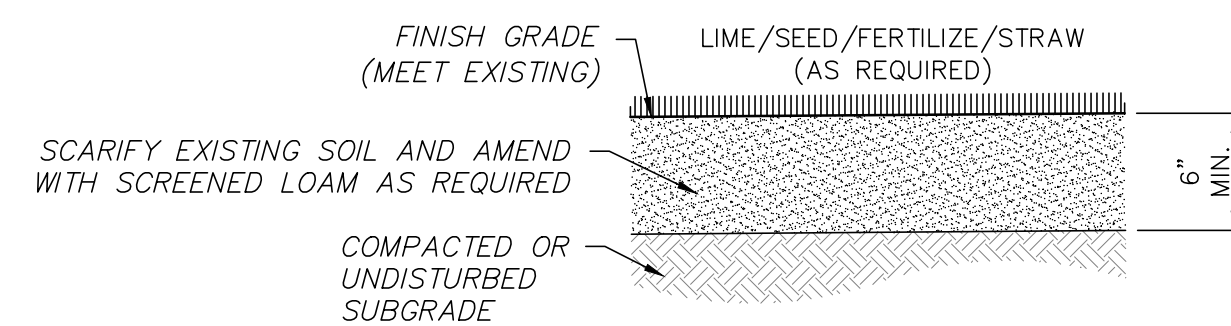
ENDORSED BY WAYLAND PLANNING BOARD

IN ACCORDANCE WITH CERTIFICATE OF VOTE FOR
 AMENDING THE WAYLAND TOWN CENTER MIXED-USE
 PROJECT MASTER SPECIAL PERMIT, SPECIAL PERMITS
 AND SITE PLAN DECISION
 _____ 2023

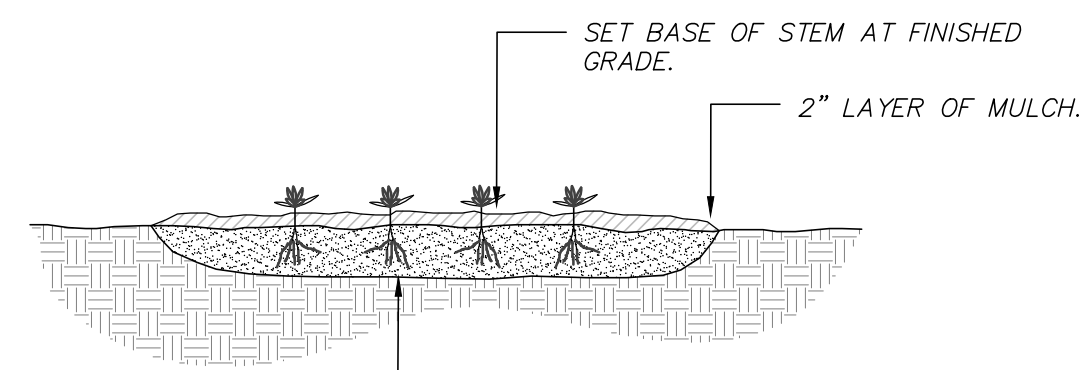


- NOTES:
- BACKFILL PLANTING HOLE WITH NEW PLANTING SOIL.
 - BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
 - IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

SHRUB PLANTING
 NOT TO SCALE



LOAM & SEEDING
 NOT TO SCALE

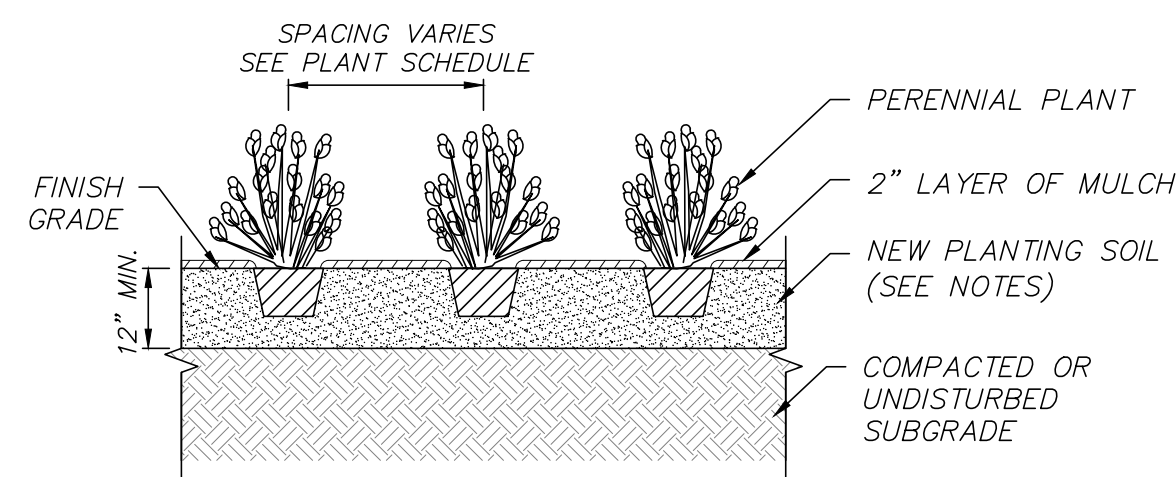


- NOTE:
- SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.

GROUNDCOVER PLANTING
 (NOT TO SCALE)

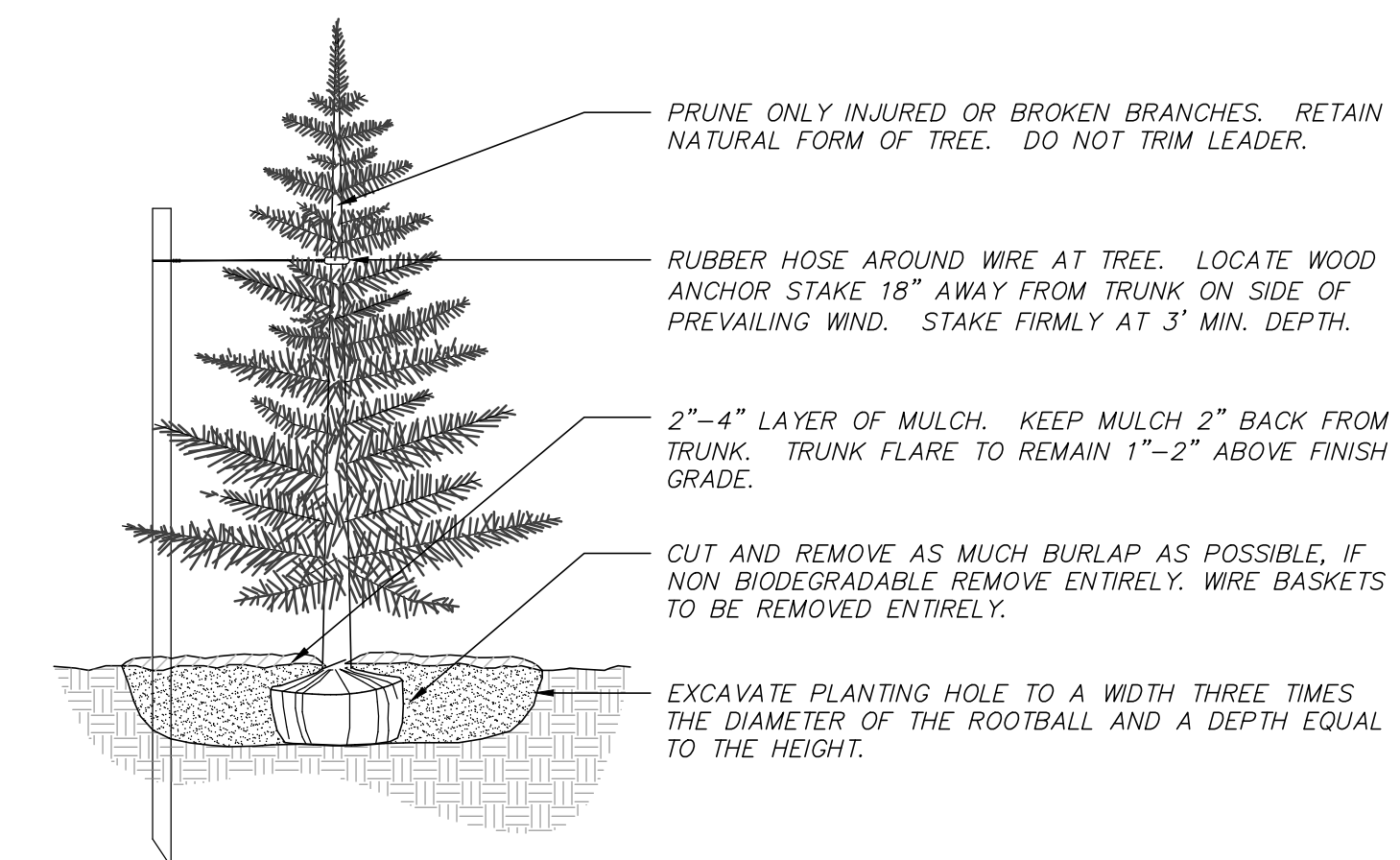
GENERAL PLANTING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICANHORT 2014 AND AS AMENDED.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- NO DEVIATIONS OR SUBSTITUTIONS FROM THE PLANT SCHEDULE SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANT MATERIALS INCLUDING EXISTING TREES AGAINST DAMAGE DURING THE CONSTRUCTION PERIOD. PROTECTION SHALL BEGIN PRIOR TO COMMENCEMENT OF ANY WORK AND CONTINUE UNTIL FINAL ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- ALL NEW PLANTING AREAS SHALL RECEIVE NEW PLANTING SOIL AND BE EXCAVATED TO A DEPTH THAT CONFORMS WITH THE PLANTING DETAILS.
- ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF IN A LEGAL AND PROFESSIONAL MANNER.
- IT IS RECOMMENDED THAT BALLED AND BURLAPPED PLANTS BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.
- PLANTING PLANS ARE DIAGRAMMATIC BY NATURE AND MAY REQUIRE ADJUSTMENTS IN THE FIELD. FINAL APPROVAL OF PLANTING LAYOUT TO BE CONFIRMED BY OWNER AND OR THE OWNERS REPRESENTATIVE PRIOR TO FINAL INSTALLATION OF PLANT MATERIALS.



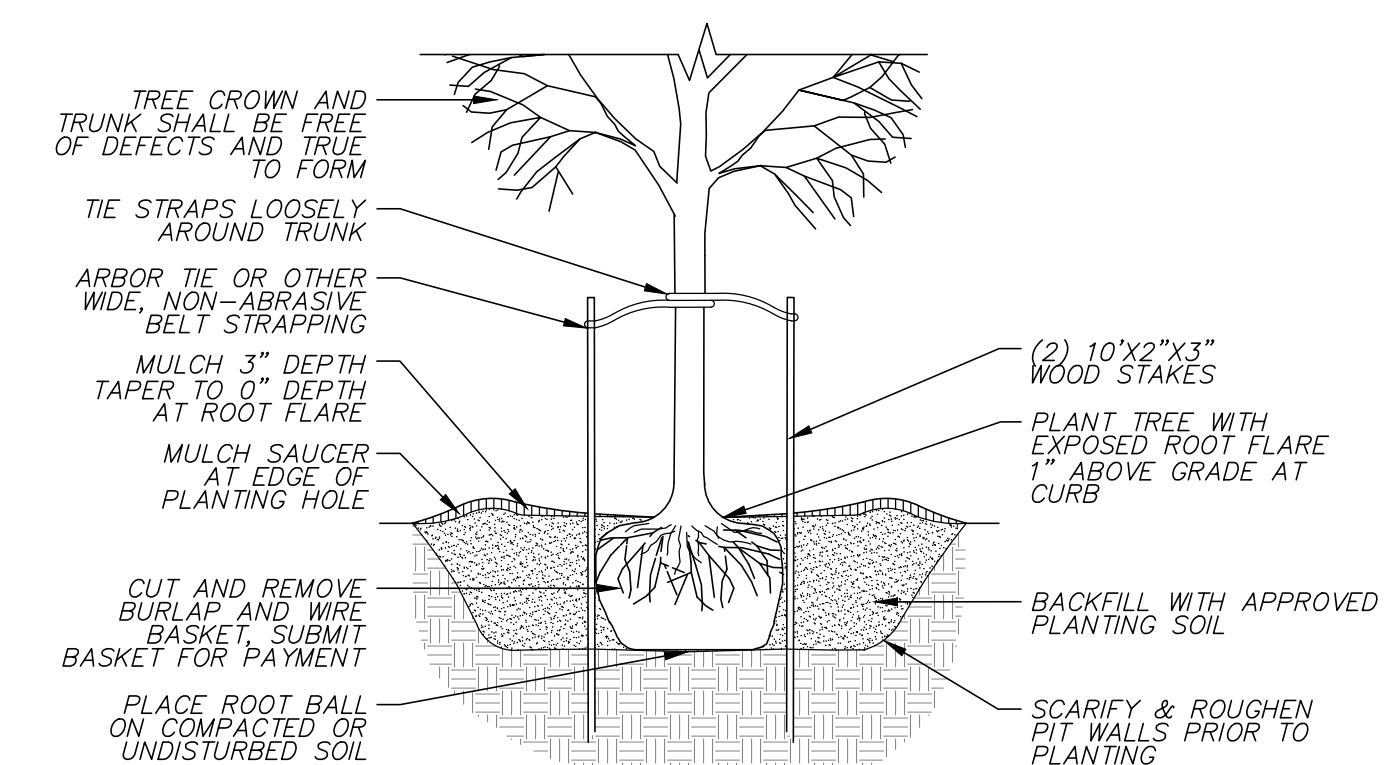
- NOTES:
- SEE LANDSCAPE NOTES FOR ADDITIONAL PLANTING REQUIREMENTS.
 - SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.
 - ALL ROOT BALLS TO BE SCARIFIED PRIOR TO BACKFILLING.

GROUNDCOVER / ANNUAL / PERENNIAL PLANTING
 NOT TO SCALE



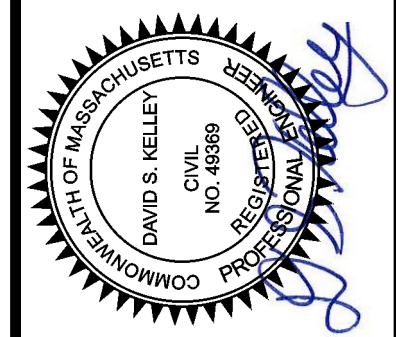
- NOTES:
- BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
 - BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
 - IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.
 - ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.

EVERGREEN TREE PLANTING
 (NOT TO SCALE)



TREE PLANTING
 (NOT TO SCALE)

REVISIONS	DATE	DESCRIPTION



8 ANDREW AVENUE
 COUNCIL ON AGING COMMUNITY CENTER
 LANDSCAPE DETAILS
 LOCATED IN
 WAYLAND, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
 TOWN OF WAYLAND

MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5050
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 294-0447
 WWW.MERIDIANSOCI.COM
 DESIGNED BY: CAR
 CHECKED BY: DSK

DATE:
 DECEMBER 7, 2022
 SCALE:
 AS NOTED
 SHEET No.
L 2.0
 PROJECT No.
6452

FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION



SCHEDULE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
□	AL-1	7	Lithonia Lighting	DSX1 LED P3 30K 80CRI BLC4	DSX1 Area Light 3000K Type 4 Back Light Cut-off Distribution Mounted 14'-0" AFG	0.9	102.17
□	WL-1	6	Lithonia Lighting	WDGE2 LED P3 30K 80CRI T4M	WDGE2 Area Light 3000K Type 4 Distribution Mounted 10'-0" AFG	0.9	32.1375
□	CN-1	8	BY OTHERS	TYPICAL CANOPY LIGHT BY OTHERS	TYPICAL CANOPY LIGHT BY OTHERS	0.9	51.86

NOTES:

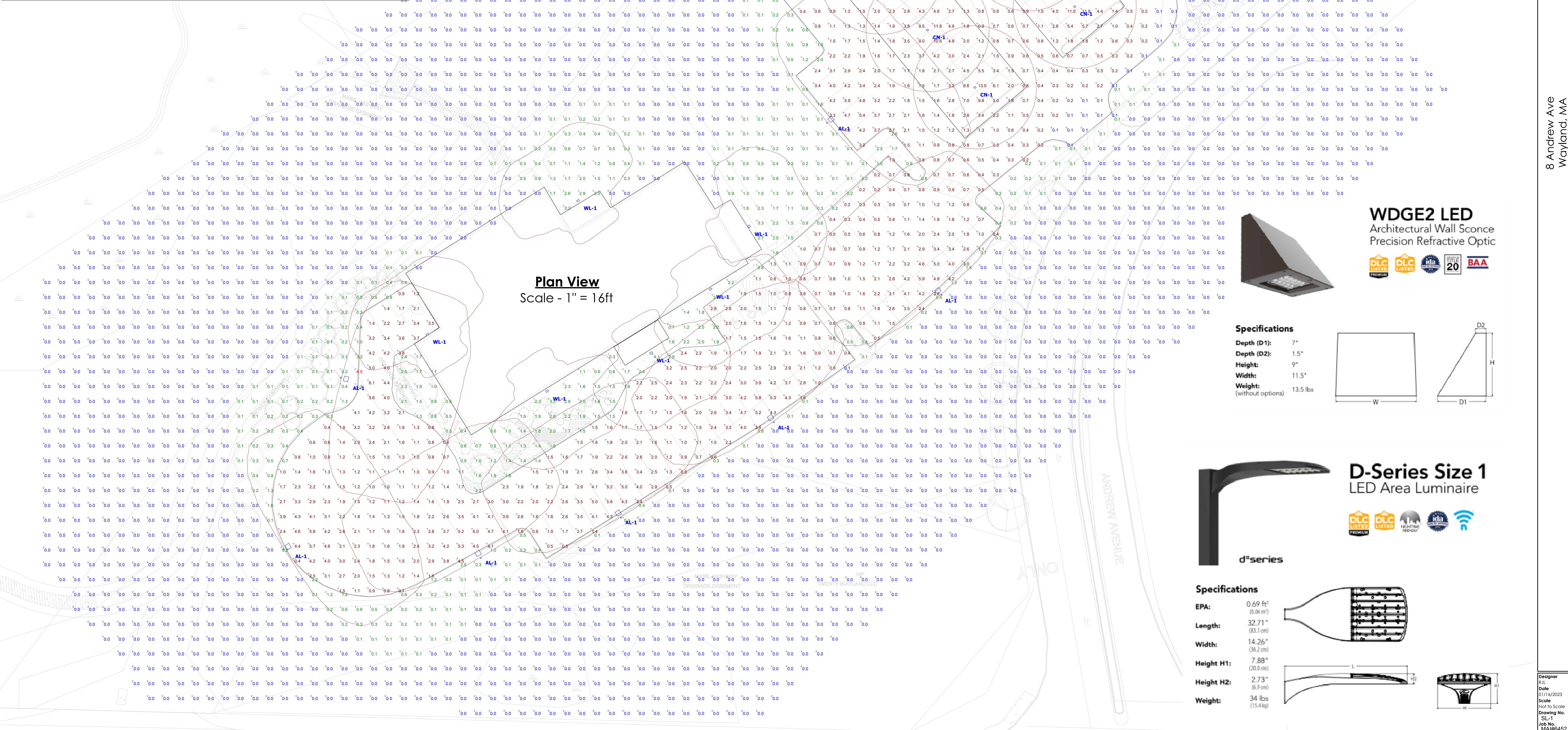
- REFLECTANCES ASSUMED: SURFACE: 50
- MOUNTING HEIGHTS: POLES @ 14'-0" AFG, WALL PACKS @ 10'-0" AFG, CANOPY LIGHTS @ 12'-0" AFG
- TASK HEIGHT: AT SURFACE
- CALCULATION POINT SPACING: 7'X7' OC

DISCLAIMER:

- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

STATISTICS

DESCRIPTION	SYMBOL	AVG.	MAX	MIN.	MAX/MIN	AVG/MIN
Parking Lot	+	2.0 fc	13.4 fc	0.1 fc	134.0:1	20.0:1
Outer Perimeter	+	0.1 fc	4.5 fc	0.0 fc	N/A	N/A



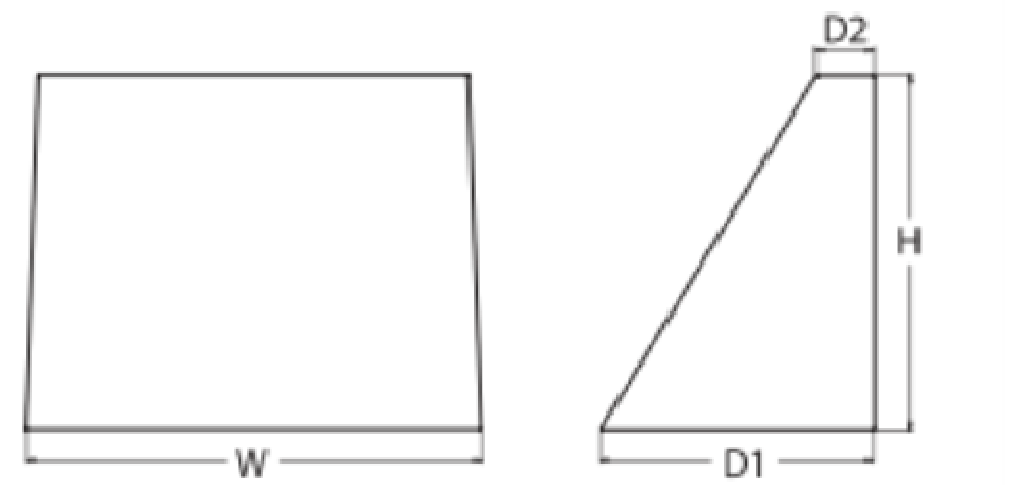
Plan View
Scale - 1" = 16ft



WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic



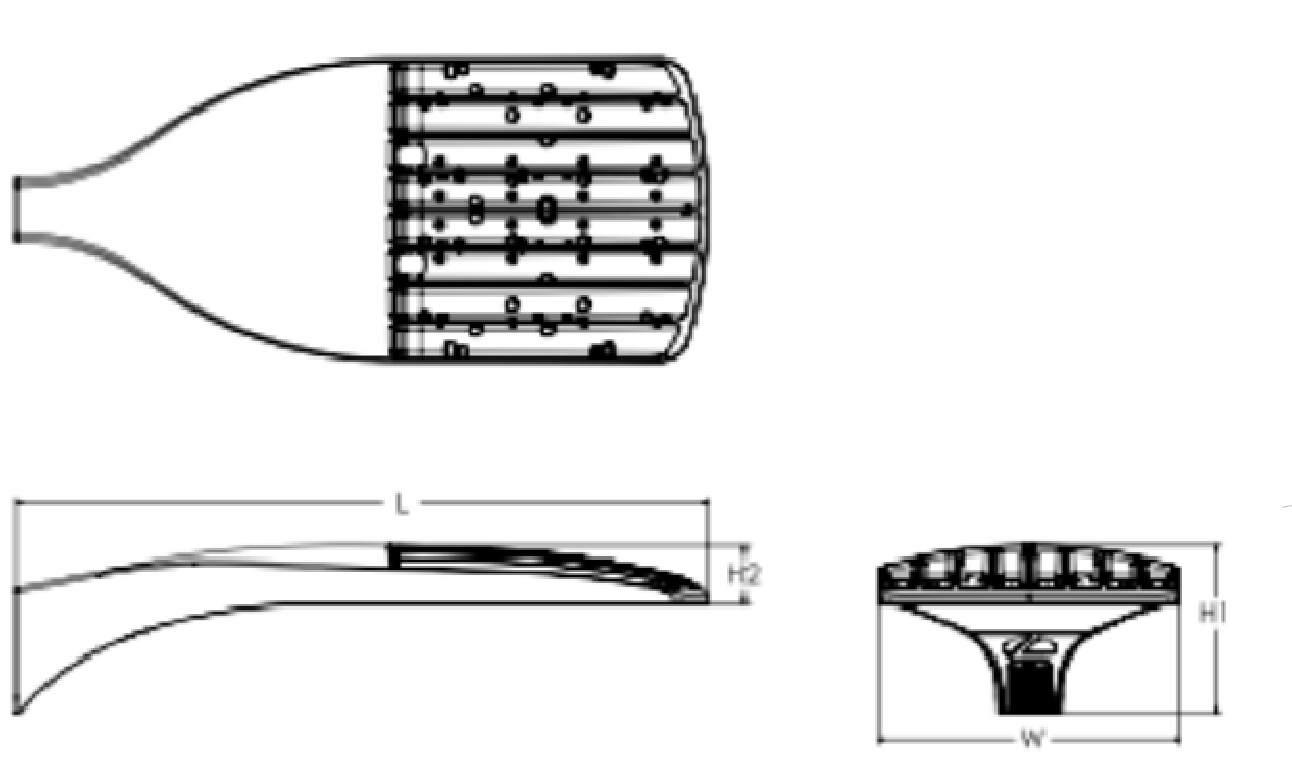
Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs (without options)



D-Series Size 1
LED Area Luminaire



Specifications
EPA: 0.69 ft² (0.06 m²)
Length: 32.71" (83.1 cm)
Width: 14.26" (36.2 cm)
Height H1: 7.88" (20.0 cm)
Height H2: 2.73" (6.9 cm)
Weight: 34 lbs (15.4 kg)





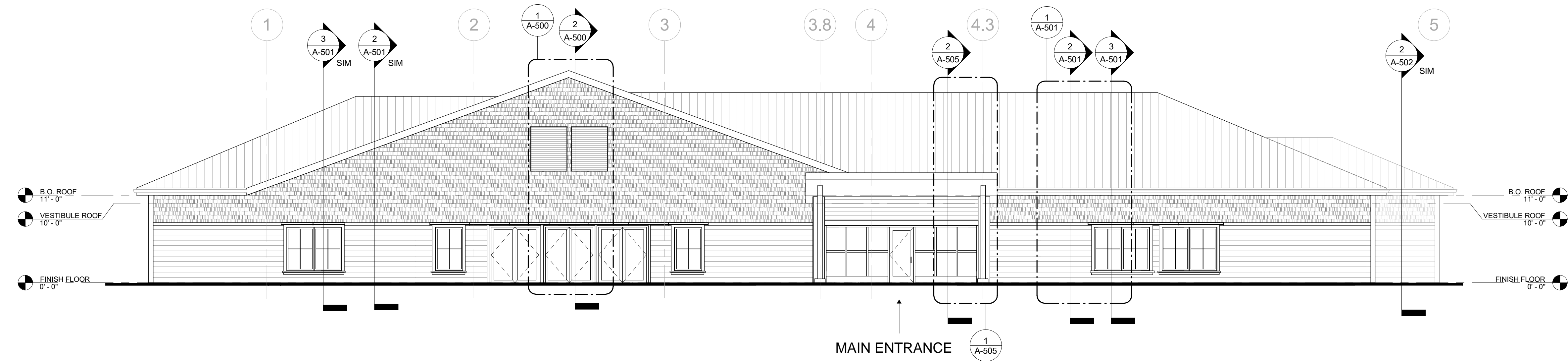
TOWN OF WAYLAND

WAYLAND CoA
COMMUNITY CENTER
8 ANDREW AVENUE,
WAYLAND, MA 01778

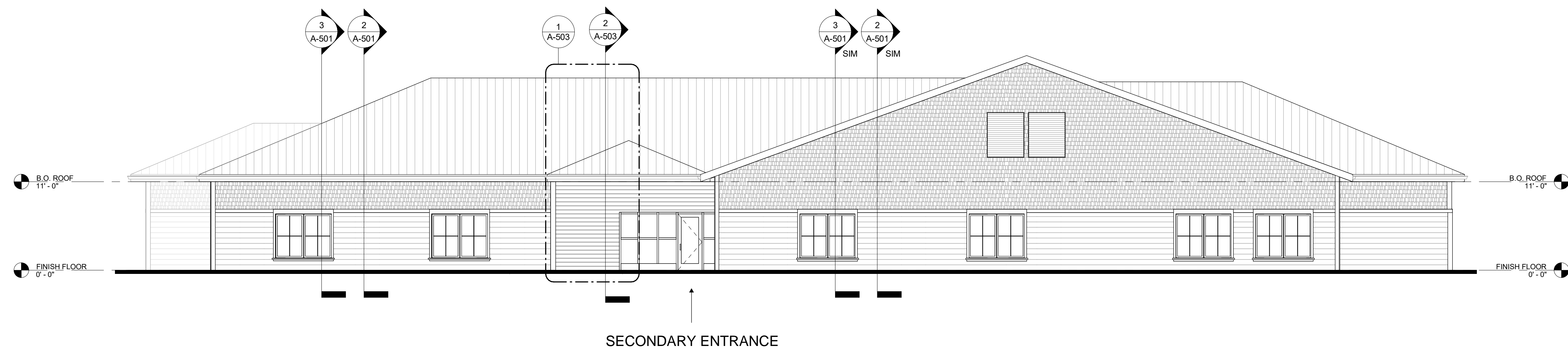
DAI DIGIORGIO
ASSOCIATES
INCORPORATED
A LiRo Group Company

ARCHITECTURE ■ BOSTON
529 MAIN STREET, SUITE 5303
BOSTON, MA 02129
TEL. 617.723.7100
FAX. 617.723.9113
INTERIOR DESIGN
ENGINEERING ■ PORTLAND
500 WASHINGTON AVE
PORTLAND, ME 04103
TEL. 207.582.2400
FAX. 207.582.8320

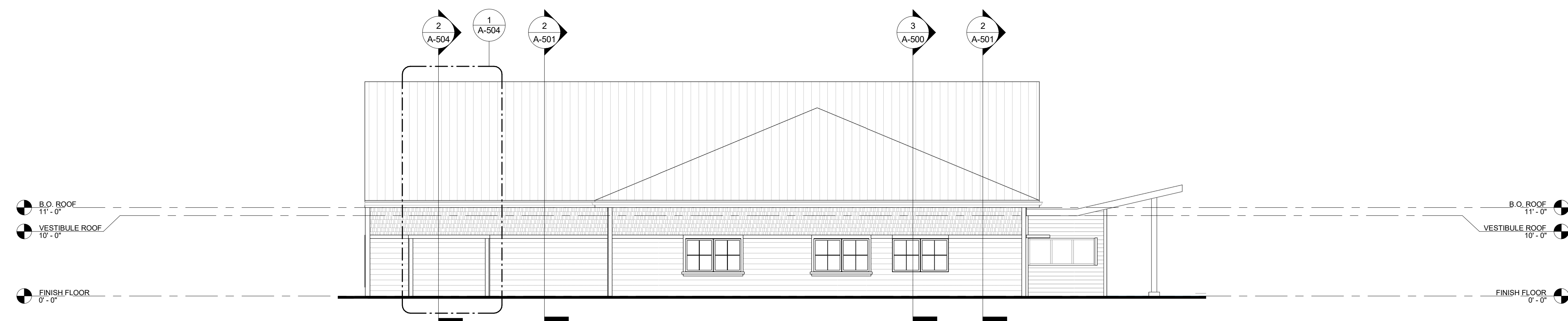
CONSULTANT:



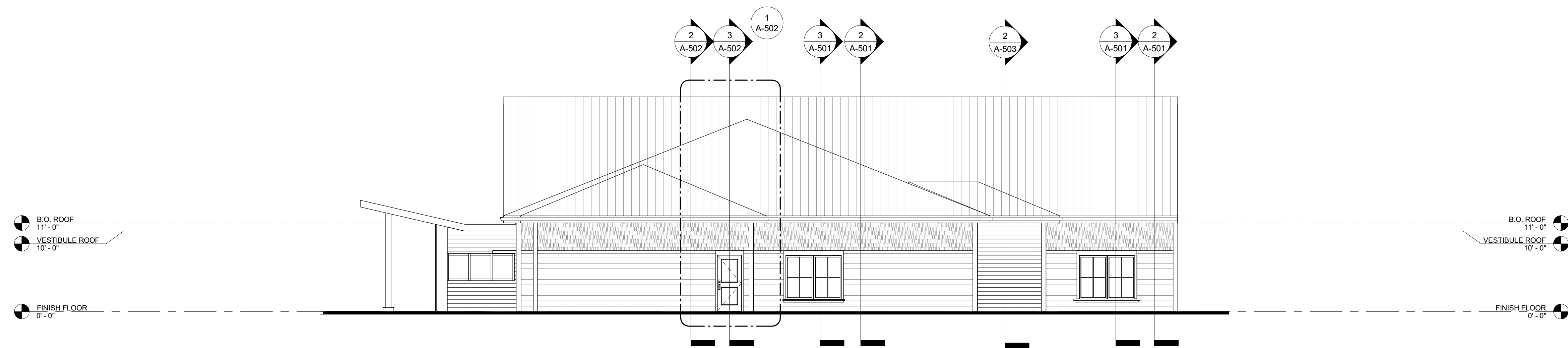
1 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



3 NORTH BUILDING ELEVATION
1/8" = 1'-0"



4 WEST BUILDING ELEVATION
1/8" = 1'-0"

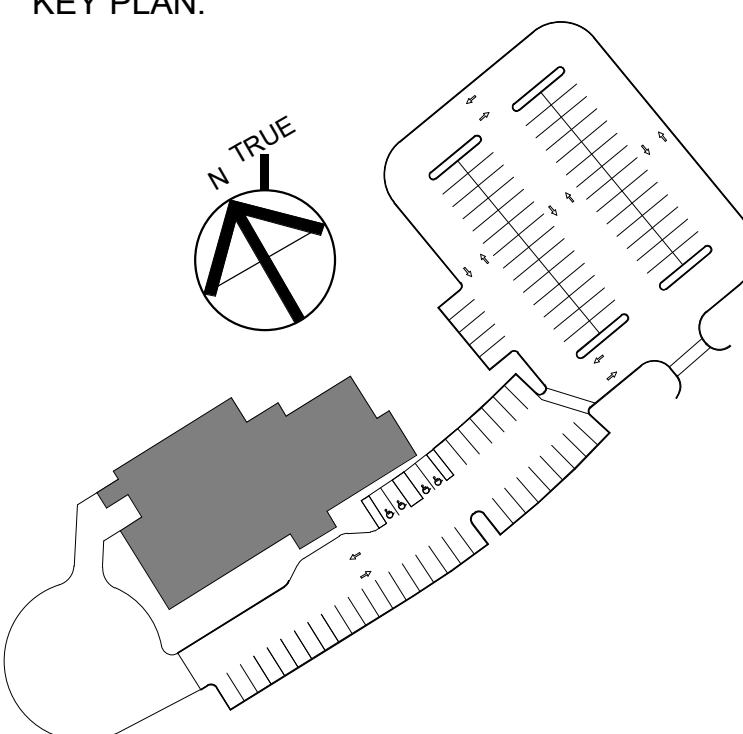


2 EAST BUILDING ELEVATION
1/8" = 1'-0"

ISSUE/REVISION:

NO.	DATE	DESCRIPTION
A	09/19/2022	100% DD SET
B	10/12/2022	50% CD SET
C	11/23/2022	90% CD SET
D	01/04/2023	PLANNING BOARD APPLICATION

KEY PLAN:



DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: MK	SEAL:
CHECKED BY: TA	
SCALE: 1/8" = 1'-0"	
PROJECT NO.: 21-125-2125.04	
DRAWING NO.:	

A-400